

CONDITIONAL USE / MASTER PLAN

FOR

BT 309, LLC

PROPOSED

MIXED USE DEVELOPMENT

321 NORRISTOWN ROAD

LOWER GWYNEDD TOWNSHIP

MONTGOMERY COUNTY

COMMONWEALTH OF PENNSYLVANIA

APN 39-00-02956-00-2 - BLOCK 19, UNIT 7

REFERENCES AND CONTACTS

REFERENCES

♦BOUNDARY & TOPOGRAPHIC SURVEY:
CONTROL POINT ASSOCIATES, INC.
1600 MANOR DRIVE, SUITE 210
CHALFONT, PA 18914
DATED: 4/24/2024, REV 1 - 2/24/25
JOB # 02-2200569-00
ELEVATIONS: NAVD 1983, BASED ON GPS
OBSERVATIONS UTILIZING THE KEYSTONE VRS
NETWORK

♦ACTS SURVEY:
EUSTACE ENGINEERING

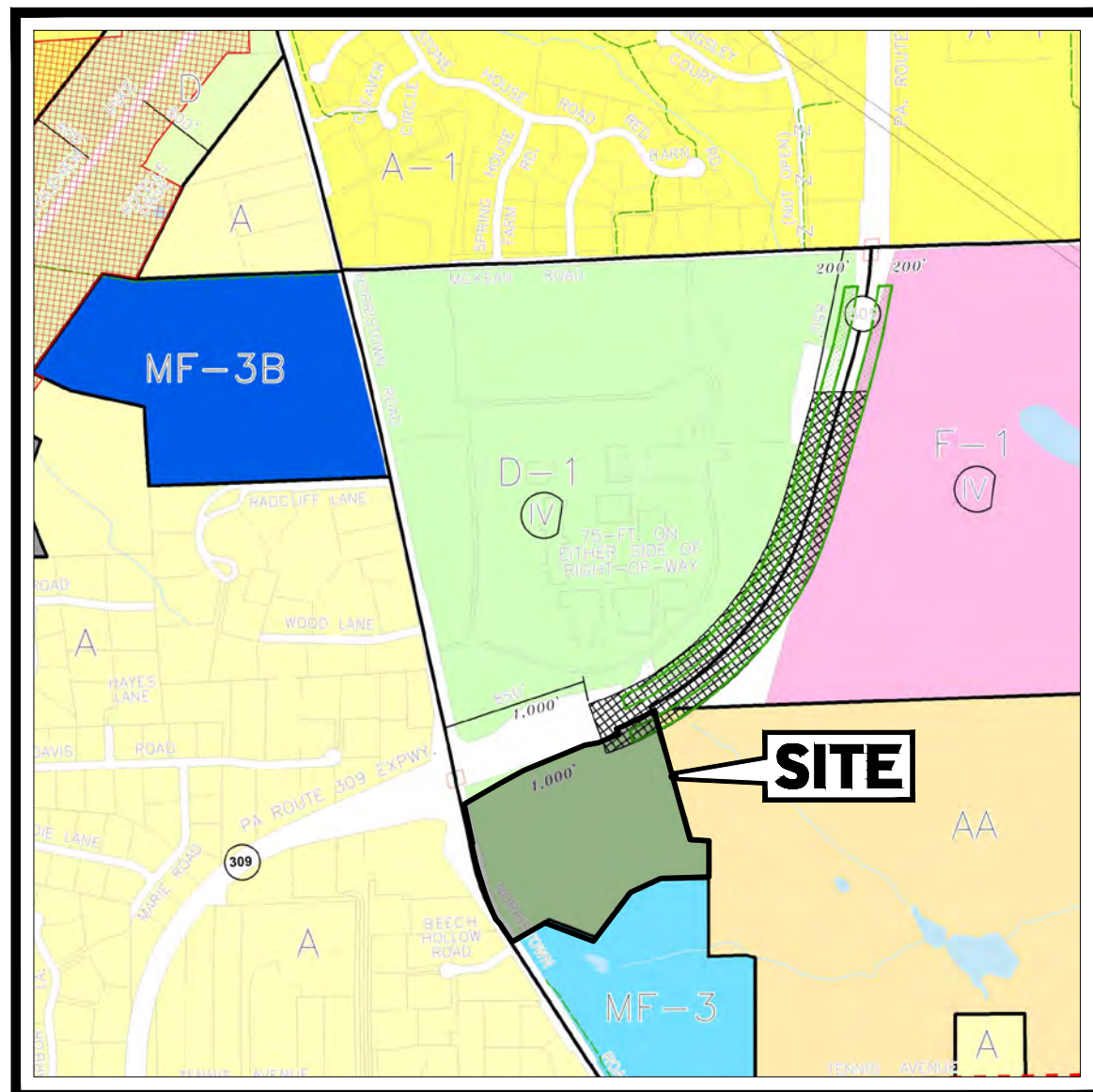
♦ARCHITECTURAL PLAN:
ARCHITECTURE ENGINEERING INTERIORS
5561 PENNELL ROAD
MEDIA, PA 19063
DATED: 6/3/2026, REVISED 7/14/2026
PROJECT # 2380-00-24

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



LOCATION MAP

SCALE: 1" = 2,000'
SOURCE: MICROSOFT CORP



ZONING MAP

SCALE: 1" = 1,000'
SOURCE: LOWER GWYNEDD TOWNSHIP

OWNER/DEVELOPER

BT 309, LLC
200 DRYDEN ROAD SUITE 2000
DRESHER, PA 19025

PREPARED BY

BOHLER //

CONTACT: THOMAS KNAB

SHEET INDEX

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BOHLER //

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	6/26/2026	PER ARCHITECTURAL COORDINATION	JHT
2	7/22/2026	PER CLIENT COMMENTS	JHT



ATTENTION ALL CONTRACTORS:
LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 87 OF 1974 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.
WWW.PA.CALL.ORG
#BOHLERXXXXXXXXXX / #SURVEYXXXXXXXXXX

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAA240076.00-2B
DRAWN BY: PAB
CHECKED BY: GJH
DATE: 02/11/2026
CAD ID: P-CUSE-COVR

PROJECT:

CONDITIONAL USE / MASTER PLAN

FOR

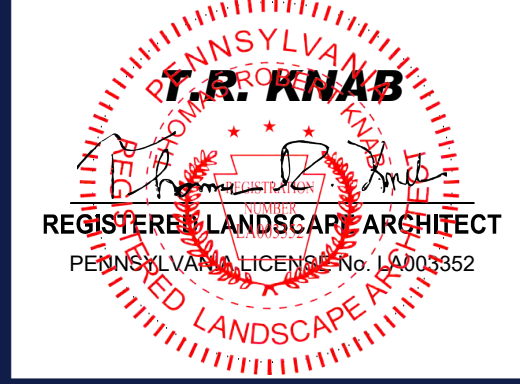
BT 309, LLC

PROPOSED MIXED USE DEVELOPMENT

321 NORRISTOWN ROAD
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY
COMMONWEALTH OF PENNSYLVANIA
19002

BOHLER //

1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
www.BohlerEngineering.com



SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101
1 OF 10

REVISION 2 - 7/22/2026

p:IPA12024IPA240076.00ICADDRAWINGSPLAN SETSCONDITIONAL USE PLANIP-CUSE-COVR-PA240076.00-2B----->LAYOUT: C-102 JURIS

SITE NOTES:

(Rev. 6/2025)

1. **PROPERTY OWNER:**
BT 300, LLC
200 DRYDEN ROAD SUITE 2000
DRESHER, PA 19025
2. **EXISTING PROPERTY INFORMATION:**
APN 58-00-02565-00-2 - BLOCK 19, UNIT 7
321 NORRISTOWN ROAD, AMBLER, PA 19002
ZONED MIF-3 - MULTI-FAMILY RESIDENTIAL
3. **APPLICANT/EQUITABLE OWNER:**
BT 300, LLC
200 DRYDEN ROAD SUITE 2000
DRESHER, PA 19025
4. **PH (215) 938-7300**
5. **HORIZONTAL DATUM IS BASED ON PENNSYLVANIA STATE PLANE SOUTH COORDINATES, NAD 83. VERTICAL DATUM IS NAVD 1983.**
6. **BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).**
7. **TEMPORARY BENCHMARKS:**
TBM-A: MAG NAIL SET IN ASPHALT, ELEVATION = 347.87
TBM-B: MAG NAIL SET IN CONC CURB, ELEVATION = 352.48
TBM-C: MAG NAIL SET IN CONC CURB, ELEVATION = 354.70
8. **BY GRAPHIC PLOTTING ONLY, THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD CLOODPLAIN).**
9. **ALL CURB AND PAVEMENT RADI ARE 5' UNLESS OTHERWISE NOTED.**
10. **ALL PROPOSED PINS AND MONUMENTS SHALL BE PLACED AND CERTIFIED BY A LICENSED PENNSYLVANIA PROFESSIONAL SURVEYOR.**

GRADING NOTES:

- [illegible]

DRAINAGE AND UTILITY NOTES:

- THESE PLANS INCLUDE BUILDINGS THAT MAY BE BUILT AT A LATER DATE. THE CONTRACTOR MUST EXTEND ALL LINES INCLUDING BUT NOT LIMITED TO: SANITARY, TELEPHONE, GAS, ELECTRIC, AND IRRIGATION LINES TO A POINT BEYOND THE PERMANENT CURB OR PAVED DRIVEWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE END OF EACH LINE AND AS APPROPRIATE, MARK LOCATIONS WITH A STAKE, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEARLY IDENTIFIED AND Labeled PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL SANITARY, STORM AND SANITARY PIPE PLACEMENTS INDICATED IN THE PLANS ARE NOMINAL AND ARE MEASURED FROM THE CENTERS OF INLETS AND MANHOLES.
- ALL UTILITIES NOT LISTED, ALL NEW UTILITIES/SERVICES, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, TELEVISION, GAS, ETC. MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDERS INSTALLATION SPECIFICATIONS AND STANDARDS.
- ALL UTILITIES NOT MAINTAINED BY THE CITY OF SAN ANTONIO, INCLUDING BUT NOT LIMITED TO EXISTING PAVED ROADWAYS, MUST BE REPAIRED IN ACCORDANCE WITH THE REFERENCED MUNICIPAL, COUNTY, AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST MAINTAIN ALL UTILITIES AND STRUCTURES IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARDS.
- VARIOUS ASPECTS OF THE UTILITY DESIGNS DEPICTED ON THE PLANS ARE SCHEMATIC IN ORDER TO PROVIDE PLAN CLARITY OR TO CONVEY A DESIGN INTENT. IT IS THE CONTRACTORS RESPONSIBILITY TO PROPERLY CONFIGURE ALL STRUCTURES IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN TO ACHIEVE PROPER SITING, OPERATION, CONNECTIONS, SEPARATIONS, AND ACCESSSES. THE CONTRACTOR SHALL REVIEW THE PLAN SPECIFICATIONS AND PREPARE STRUCTURE DESIGNS THAT INCORPORATE ANY AND ALL INTEGRAL COMPONENTS, SUCH AS: MANHOLES, INLETS, GRATES, COVERS, AND ACCESSORIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FRAMES AND GRATES, PIPE/CONDUIT CONNECTIONS, MATERIALS, ETC. SHOULD DISCREPANCIES OR CONFLICTS ARISE UPON THE CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE CITY OF SAN ANTONIO IMMEDIATELY.
- NOTIFY THE PROFESSIONAL OF RECORD OR BOHLEHR IN WRITING.

SANITARY SEWER PIPE

7. SANITARY SEWER SERVICE/MAIN SHALL BE PROVIDED BY LOWER GWYNEDD TOWNSHIP AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER GWYNEDD TOWNSHIP STANDARD SPECIFICATIONS.
8. SANITARY SEWER SERVICE/MAIN SHALL BE LOCATED WITHIN TEN FEET (10') OF THE PROPERTY LINE AT LEAST THREE (3) BUSINESS DAYS PRIOR TO INSTALLATION OF THE SANITARY COMPONENTS. FAILURE TO HAVE SANITARY INSTALLATION AND TESTING OBSERVED BY LOWER GWYNEDD TOWNSHIP MAY REQUIRE RE-EXCAVATION OF THE SANITARY LINE(S), AND RE-TESTING, WHICH WILL BE DONE AT THE OWNER'S EXPENSE.
9. SANITARY SEWERS CROSSING STREAMS SHALL BE CONFIGURED TO BE NEARLY PERPENDICULAR TO THE STREAM AND SHALL BE PROVIDED WITH A CONCRETE ENCASEMENT FOR THE ENTIRE CROSSING. A MINIMUM OF THREE FEET (3') OF COVER SHALL BE MAINTAINED OVER THE ENTIRE CROSSING. ALL CROSSINGS SHALL BE PROTECTED BY ANTI-SLIP COLLARS, AS SPECIFIED ON THE PLANS OR AS REQUIRED BY LOWER GWYNEDD TOWNSHIP.
10. ALL SEWER CROSSINGS SHALL BE PROTECTED BY ANTI-SLIP COLLARS. FOR NORMAL DEPTHS AND DUCTILE IRON PIPE (DIP) WHEN ANY PORTION OF A SEWER SEGMENT IS 16" IN DEPTH OR GREATER, SANITARY MATERIALS SHALL BE SDR 35 PVC UNLESS INDICATED IN WRITING OTHERWISE.
11. SEWER MAINS SHALL BE LOCATED WITH A MINIMUM COVER OF FOUR FEET (4') AS MEASURED FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
12. CLEANSOUTS SHALL BE PROVIDED FOR ALL LATERSALS LONGER THAN 75' AND REGARDLESS OF LENGTH, SHALL BE PROVIDED AT THE PROPERTY LINE. CLEANSOUTS SHALL BE THE SAME SIZE AS THE PIPE SIZE TO BE SERVED BY CLEANSOUT, EXCEPT THAT CLEANSOUTS FOR PIPING LARGER THAN FOUR INCHES (4") SHALL NOT NEED TO BE LARGER THAN FOUR INCHES.
13. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST TEN FEET (10') HORIZONTALLY. SUCH SEPARATION SHALL BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE SEWER. SEWERS SHALL BE LOCATED AT LEAST TEN FEET (10') BELOW THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNING AGENCY WITH JURISDICTION OVER SAME, WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNING AGENCY WITH JURISDICTION OVER SAME. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE, WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
14. NO TREES SHALL BE LOCATED WITHIN TEN FEET (10') OF SANITARY SEWER MAINS OR LATERSALS.

STORM DRAINAGE

- UNLESS INDICATED OTHERWISE, MAINLINE (15" OR LARGER) STORM SEWER PIPE SHALL BE DUAL WALL, TYPE 5, HIGHDENSITY POLYETHYLENE (HDPE) WITH A MINIMUM WALL THICKNESS OF 0.375" (3/8") CONFORMING TO THE REQUIREMENTS AND SPECIFICATIONS OF NORTH WEA WATER AUTHORITY. FOR APPLICATIONS OUTSIDE OF STATE DOT ROADWAYS, DEPENDENT UPON COST AND AVAILABILITY, PRODUCT USING RECYCLED RESIN ARE PREFERRED; WHEREAS IN STATE DOT APPLICATIONS, ONLY PRODUCTS WITH VIRGIN RESIN ARE ALLOWED. HDPE PIPE SHALL BE JOINTED BY GASKETED FLANGES OR GASKETED END JOINTS. ALL JOINTS SHALL BE MADE WITH SOFT PUTTY JOINT TIGHT JOINTS. FOR APPLICATIONS OUTSIDE OF STATE DOT ROADWAYS, DEPENDENT UPON COST AND AVAILABILITY, PRODUCT USING RECYCLED RESIN ARE PREFERRED; WHEREAS IN STATE DOT APPLICATIONS, ONLY PRODUCTS WITH VIRGIN RESIN ARE ALLOWED. UNDERDRAINS SHALL BE HDPE, PP, OR PVC (SDS OR SCHEDULE 40), UNLESS OTHERWISE NOTED. PIPE MUST CONFORM TO THE FOLLOWING: 4" TO 60" (VIRGIN HDPE, AASHTO M252 (1" TO 12"), AASHTO M294 (12" TO 60"); 4" TO 60" (RECYCLED HDPE, AASHTO M252 (1" TO 12"), AASHTO M294 (12" TO 60"). ALL JOINTS SHALL BE MADE WITH SOFT PUTTY JOINT TIGHT JOINTS. GASKETS MUST CONFORM TO ASTM F477 WATER-TIGHT JOINTS ADHERING TO ASTM D3212 SHALL BE PROVIDED WHERE NECESSARY. JOINTS SHALL BE BY THE FOLLOWING: 4" TO 60" (VIRGIN HDPE, AASHTO M252 (1" TO 12"), AASHTO M294 (12" TO 60"); 4" TO 60" (RECYCLED HDPE, AASHTO M252 (1" TO 12"), AASHTO M294 (12" TO 60"). ALL JOINTS SHALL BE MADE WITH SOFT PUTTY JOINT TIGHT JOINTS. GROUNDWATER SEEPAGE SHOULD BE PREVENTED, AND WHERE THERE ARE ENVIRONMENTAL CONCERNS, THERE SHALL BE A MINIMUM OF FOUR FEET (4') OF HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM STRUCTURES AND OTHER STRUCTURES. UNLESS SPECIFIC MUNICIPAL DETAILS DETICATE OTHERWISE, ALL STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT REVISION OF PENNDOT PUBLICATION 408 "SPECIFICATIONS", PUBLICATION 72M "STANDARD SPECIFICATIONS FOR CONSTRUCTION", AND THE MOST RECENT REVISION OF PENNDOT PUBLICATION 709 "STANDARD SPECIFICATIONS FOR MATERIALS". ALL INLET SIGNS SHALL BE PROVIDED WITH BICYCLE SAFE GRATES. ALL STORM PIPE CONNECTIONS TO STRUCTURES SHALL BE MADE WATER TIGHT. ALL STORM PIPE CONNECTIONS TO STRUCTURES SHALL BE MADE WATER TIGHT.
- WATER SERVICE PIPE SHALL BE PROVIDED BY THE NORTH WALES WATER AUTHORITY AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH NORTH WALES WATER AUTHORITY STANDARD SPECIFICATIONS.
- WATER MAINS SHALL BE PROVIDED BY THE NORTH WALES WATER AUTHORITY AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH NORTH WALES WATER AUTHORITY STANDARD SPECIFICATIONS.
- ALL WATER MAINS AND SERVICE LINES SHALL HAVE A MINIMUM COVER OF FOUR FEET (4'), AS MEASURED FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.
- ALL WATER MAINS AND SERVICE LINES SHALL BE HORIZONTALLY SEPARATED FROM STORM STRUCTURES BY A MINIMUM OF FOUR FEET (4'). A MINIMUM OF 10' OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAIN AND STORM SEWER.
- WATER MAINS SHALL BE PROVIDED WITH MANHOLES WITH THRUST BLOCKING AT ALL CHANGES IN DIRECTION, AND/OR AS DEFINED IN THE SPECIFICATIONS/DETAILS.

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

REVISIONS

[illegible]

ATTENTION ALL CONTRACTORS:
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BEEN DEVELOPED FROM UTILITY
COMPANY RECORDS AND/OR
ABOVE-GROUND INSPECTION OF THE
SITE. COMPLETENESS OR
ACCURACY OF TYPE, SIZE, DEPTH
OR HORIZONTAL LOCATION OF
UTILITIES OR STRUCTURES CANNOT BE
WARRANTED. CONTRACTORS MUST
BE RESPONSIBLE FOR VERIFYING
SLAVE ACT NUMBER 287 OF 1974 AS
OF 2017. CONTRACTORS MUST VERIFY
IF ALL UNDERGROUND UTILITIES AND
PRIOR TO START OF WORK.

#(BOHLER)XXXXXXXXXX / #(SURVEY)XXXXXXXXXXXX

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PROJECT No.:	PAA240076.00-2B
DRAWN BY:	PAB
CHECKED BY:	GJH
DATE:	02/11/2026
CAD I.D.:	P-CUSE-COVR

PROJECT:

**CONDITIONAL
USE / MASTER
PLAN**

_____ FOR _____

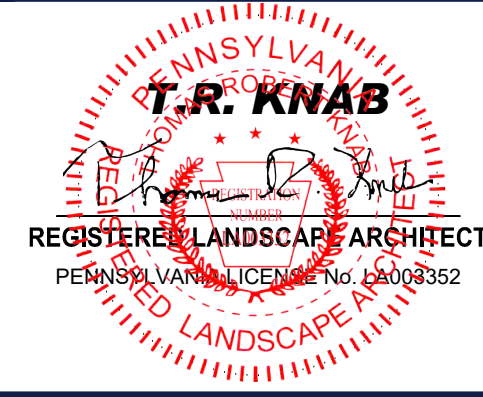
BT 309, LLC

PROPOSED MIXED USE DEVELOPMENT

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LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY
COMMONWEALTH OF PENNSYLVANIA
19002

BOHLERTM //

1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
 Phone: (215) 996-9100
 Fax: (215) 996-9102
www.BohlerEngineering.com



SHEET TITLE

JURISDICTIONAL NOTES

SHEET NUMBER

C-102
2 OF 10

2 OF 10

REVISION 2 - 7/22/2026

PENNSYLVANIA STATE
HIGHWAY U.S. ROUTE 309

(A.K.A. FORT WASHINGTON EXPRESSWAY)
(A.K.A. L.R. 882)
(VARIABLE WIDTH R.O.W. FOR LIMITED ACCESS)
(LIMITED ACCESS HIGHWAY)

LEGAL LIMIT OF SLOPE
HIGHWAY P.B. 27, PG. 21)

RAMP-D

R=1970.08'
Δ=06°43'50"
L=231.43'
CHB=N11°26'09"E
CHD=231.29'

BLOCK 19
UNIT 7
APN #39-00-02956-00-2
N/F LANDS OF
BROOKWOOD PHILADELPHIA I, LLC &
BROOKWOOD PHILADELPHIA II, LLC
D.B. 5966, PG. 1270

BLOCK 19
UNIT 9
APN #39-00-04330-00-5
N/F LANDS OF
OLD YORK ROAD COUNTRY CLUB
OF MONTGOMERY COUNTY
D.B. 3241, PG. 515

BLOCK 19
UNIT 10A
APN #39-00-02955-00-3
N/F LANDS OF
ADULT COMMUNITIES
TOTAL SERVICES, INC.
D.B. 4577, PG. 439

NORRISTOWN ROAD
(A.K.A. S.R. 2007)(L.R. 880.3)
(VARIABLE WIDTH LEGAL R.O.W.)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

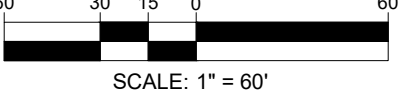
R=1362.69'
Δ=06°04'44"
L=144.58'
CHB=N68°17'00"W
CHD=144.51'

R=1372.69'
Δ=09°16'49"
L=222.34'
CHB=N75°57'53"W
CHD=222.09'



EXISTING LEGEND	
PROPERTY LINE	---
RIGHT-OF-WAY LINE	---
ADJOINING PROPERTY LINE	---
EASEMENT LINE	---
CONTOUR	-----123-----
FIRE HYDRANT	⊕
FIRE DEPARTMENT CONNECTION	⊕
WATER VALVE	⊕
GAS VALVE	⊕
OVERHEAD WIRES	---OH---
APPROX LOC UNDERGROUND ELEC LINE PER UTILITY MARKOUT	---E---
APPROX LOC UNDERGROUND GAS LINE PER UTILITY MARKOUT	---G---
APPROX LOC UNDERGROUND SEWER LINE	---S---
APPROX LOC UNDERGROUND TEL LINE PER UTILITY MARKOUT	---T---
APPROX LOC UNDERGROUND WATER LINE PER UTILITY MARKOUT	---W---
APPROX LOC UNDERGROUND STORM SEWER LINE	---SS---
LIMITS OF FLOODPLAIN	---F---
FLARED END SECTION	⏏
UTILITY POLE	⊕
TRAFFIC SIGNAL	⊕
MONITORING WELL	⊕
ELECTRIC METER	⊕
ELECTRIC BOX	⊕
TRANSFORMER	⊕
SANITARY MANHOLE	⊕
TELEPHONE MANHOLE	⊕
ELECTRIC MANHOLE	⊕
WATER MANHOLE	⊕
STORM DRAIN MANHOLE	⊕
WATER METER	⊕
ROOF DRAIN	⊕
SIGN	⊕
MAIL BOX	⊕
BOLLARD	⊕
U-BOLLARD	⊕
METAL GUARDRAIL	⊕
FENCE	⊕
LANDSCAPED AREA	⊕
AREA LIGHT	⊕
CLEAN OUT	⊕
PAINTED ARROWS	⊕
DENOTES PARKING SPACE COUNT	⊕
BENCHMARK	⊕
UTILITY POLE/LIGHT POLE	⊕
STREET LIGHT	⊕
GUY WIRE	⊕
TRAFFIC SIGNAL POLE	⊕
TREE LINE	⊕
TREE (SIZE AS NOTED)	⊕
PROP CORNERS TO BE SET	⊕
BORING LOCATION	⊕

DEMO LEGEND	
UTILITY POLE	⊕
TYPICAL SIGN	⊕
PARKING COUNT	⊕
CONTOUR	-----170-----
SPOT ELEVATIONS	TC 516.4 OF 516.4
SANITARY LATERAL	---S---
SANITARY MAIN	---M---
WATER LINE	---W---
ELECTRIC LINE	---E---
GAS LINE	---G---
OVERHEAD WIRE	---OH---
STORM SEWER	---SS---
FIRE HYDRANT	⊕
SANITARY MANHOLE	⊕
STORM MANHOLE	⊕
WATER VALVE	⊕
WATER METER	⊕
GAS VALVE	⊕
TYPICAL END SECTION	⏏
CLEANOUT	⊕



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WWW.PA.CALL.CALL

#BOHLER\XXXXXXXXXX\RESERVE\XXXXXXXXXXXX

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PROJECT No.: PAA240076.00.2B
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DATE: 02/11/2026
CAD ID: P-CUSE-PROP

PROJECT:
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FOR

BT 309, LLC

PROPOSED MIXED USE
DEVELOPMENT
321 NORRISTOWN ROAD
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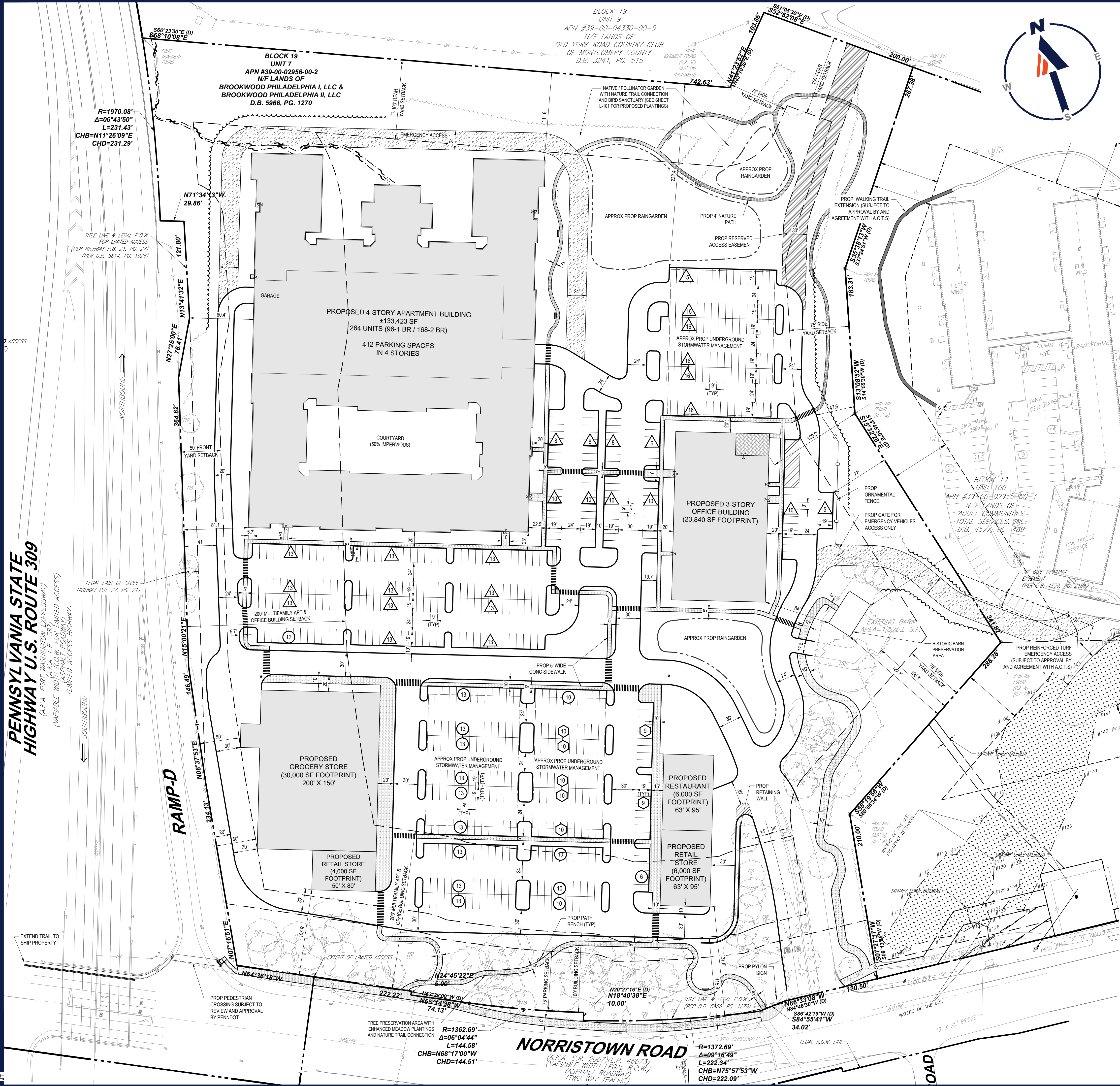
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P.R. KNAB
REGISTERED LANDSCAPE ARCHITECT
PENNSYLVANIA LICENSE NO. 00003352
UNITED LANDSCAPE ARCHITECTS

SHEET TITLE:
**EXISTING
CONDITIONS/
DEMOLITION
PLAN**

SHEET NUMBER:
C-201
3 OF 10

REVISION 2 - 7/22/2026



ZONING TABLE				
ZONE: MF-3 (MULTIFAMILY RESIDENTIAL DISTRICT)				
USE PERMITTED BY CONDITIONAL USE: MIXED USE DEVELOPMENT (MULTI-FAMILY APARTMENT BUILDING, OFFICE BUILDING, RETAIL & RESTAURANT)				
APPLICANT / OWNER INFORMATION				
APPLICANT:	BT 309, LLC 200 DRYDEN ROAD, SUITE 2000 DREHER, PA 19025			
BULK REQUIREMENTS				
ITEM	CODE	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	§ 1276.09 (a)	20 AC	24,097 AC (1,049,679 SF)	24,097 AC (1,049,679 SF)
MIN LOT WIDTH	§ 1276.09 (b)	800.0'	820.9'	820.9'
FRONT YARD MULTIFAMILY & OFFICE BUILDING SETBACK	§ 1276.09(c)(1)A	200.0'	159.3' (ENC)	80.4' (NON-CONFORMING)
FRONT YARD (NORRISTOWN RD)	§ 1276.09(c)(1)B	100.0'	436.3'	107.9'
FRONT YARD (PA 309)	§ 1276.09(c)(1)B	50.0'	159.3'	50.0'
SIDE YARD	§ 1276.09(c)(2)	75.0'	159.3'	120.2'
REAR YARD	§ 1276.09(c)(3)	100.0'	445'	111.6'
MAX BUILDING COVERAGE	§ 1276.09(d)	30.0% *	5.6% (58,480 SF)	19.5% (204,789 SF)
MAX LOT COVERAGE	§ 1276.09(e)	60.0%	32.7% (343,285 SF)	55.8% (585,377 SF)
MAX PERMITTED HEIGHT (MULTI-FAMILY APARTMENT)	§ 1276.09(f)(1)	55.0' & 4 STORIES	N/A	<55.0' - 4 STORIES
MAX PERMITTED HEIGHT (OFFICE BUILDING)	§ 1276.09(f)(2)	50.0' & 3 STORIES	UNKNOWN	<50.0' - 3 STORIES
MAX PERMITTED HEIGHT (OTHER BUILDINGS)	§ 1276.09(f)(3)	35.0' & 2 STORIES	N/A	<35.0' - 1 STORY
MIN BUILDING SPACING	§ 1276.09(g)	75.0'	40.5' (ENC)	84.0'
MAX BUILDING FLOOR AREA FOR INDIVIDUAL RETAIL USE	§ 1276.09(h)	30,000 SF	N/A	30,000 SF
DENSITY	§ 1276.09(i)	11 DWELLING UNITS / ACRE (237 STANDARD UNITS & 27 WORKFORCE HOUSING UNITS) **	N/A	11 DWELLING UNITS / ACRE (237 STANDARD UNITS & 27 WORKFORCE HOUSING UNITS)
MIN PARKING, SERVICE, OR LOADING AREA SETBACKS	§ 1276.09(j)(7)	10' FROM ANY SIDE YARD PROPERTY LINE ABUTTING A MAJOR ROADWAY (ADJ 309 RAMP)	4.1' (ENC) (ADJ 309 RAMP)	20.0'
MIN PARKING, SERVICE, OR LOADING AREA SETBACKS	§ 1276.09(j)(7)	75' FROM ANY SIDE OR REAR PROPERTY LINE	SIDE YARD ADJ TO ACTS 195.4' REAR YARD TO OLD YORK RD CC 203.3'	SIDE YARD ADJ TO ACTS 77.0' REAR YARD TO OLD YORK RD CC 232.4'
SERVICE DRIVEWAY SETBACKS	§ 1276.09(j)(7)	25' FROM SIDE OR REAR PROPERTY LINE	SIDE YARD ADJ TO ACTS 112.9'	SIDE YARD ADJ TO ACTS 47.6'
ENC = EXISTING NON-CONFORMITY				

NOTES:
 * THE TOTAL BUILDING COVERAGE MAY BE INCREASED FROM 20% TO 30% IF A PARKING STRUCTURE IS INCLUDED AS PART OF A MIXED-USE DEVELOPMENT IN THE MF-3 DISTRICT
 ** THE DENSITY MAY BE INCREASED TO 11 DU/ACRE PROVIDED THAT A MINIMUM OF 10% OF THE RESIDENTIAL UNITS ARE DESIGNATED AS WORKFORCE HOUSING)

PARKING REQUIREMENTS				
ITEM	CODE	REQUIRED	EXISTING	PROPOSED
MULTIFAMILY APARTMENTS	\$ 1276.09(j)(1)	1.5 SPACES / DWELLING UNIT 264 UNITS x 1.5 SPACES = 396 396 SPACES	N/A	412 GARAGE SPACES
OFFICE	\$ 1276.09(j)(2)	1 SPACE/250 SF 71,520 GFA / 250 SF = 286.1 287 SPACES	623 SPACES (144,359 GFA)	322 SPACES
RETAIL	\$ 1276.09(j)(3)	1 SPACE / 250 SF 40,000 GFA / 250 SF = 160 160 SPACES	N/A	175 SPACES
RESTAURANT	\$ 1276.09(j)(4)	1 SPACE / 100 SF 6,000 GFA / 100 SF = 60 60 SPACES	N/A	68 SPACES

PARKING SYMBOL LEGEND		
NUMBER OF SPACES	TYPE	USE DESCRIPTION
322		OFFICE PARKING SPACES
175		RETAIL PARKING SPACES
68		RESTAURANT PARKING SPACES

PROP SITE LEGEND	
PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
PROPOSED BUILDING	
CURB	---
UTILITY POLE	+
TYPICAL SIGN	+
BOLLARD	o
UTILITY POLE W/ LIGHT	+
TYPICAL LIGHT	+
PARKING COUNT	+

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	6/26/2026	PER ARCHITECTURAL COORDINATION	JHT
2	7/22/2026	PER CLIENT COMMENTS	JHT

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF THIS SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014, AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

#(BOHLER\XXXXXXXXXX) / #SERV\JHTXXXXXXXXXX

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAA240076.00-2B
 DRAWN BY: PAB
 CHECKED BY: CJH
 DATE: 02/11/2026
 CAD ID: P-CUSE-PROP

PROJECT: **CONDITIONAL USE / MASTER PLAN** FOR

BT 309, LLC

PROPOSED MIXED USE DEVELOPMENT

321 NORRISTOWN ROAD
 LOWER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY
 COMMONWEALTH OF PENNSYLVANIA
 19002

BOHLER

1600 MANOR DRIVE, SUITE 200
 CHALFONT, PA 18914
 Phone: (215) 996-9100
 Fax: (215) 996-9102
www.BohlerEngineering.com

P.R. KNAB

REGISTERED LANDSCAPE ARCHITECT
 PENNSYLVANIA LICENSE NO. 0003352

SHEET TITLE: **CONDITIONAL USE PLAN**

SHEET NUMBER: **C-301**
 4 OF 10

REVISION 2 - 7/22/2026



RAMP-D

PROPOSED 4-STORY APARTMENT BUILDING
±133,423 SF
264 UNITS (96-1 BR / 168-2 BR)
412 PARKING SPACES
IN 4 STORIES

COURTYARD
50% IMPERVIOUS

PROPOSED 3-STORY
OFFICE BUILDING
23,840 SF FOOTPRINT

PROPOSED
GROCERY STORE
(30,000 SF FOOTPRINT)

PROPOSED
RETAIL STORE
(4,000 SF)
FOOTPRINT
50' X 80'

PROPOSED
RESTAURANT
(6,000 SF
FOOTPRINT)
63' X 95'

PROPOSED
RETAIL
STORE
(6,000 SF
FOOTPRINT)
63' X 95'

PROPOSED
RETAIL
STORE
(6,000 SF
FOOTPRINT
63' X 95'

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
ARB	55	ACER RUBRUM 'BOWHALL'	BOWHALL MAPLE	2.5' CAL	B&B
AROG	22	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5' CAL	B&B
GTIK	55	GLEDITSIA TRIACANTHOS INERMIS SKYCLAY	SKYLINE THORNLESS HONEY LOCUST	2.5' CAL	B&B
LSR	34	LOQUAMAR STRYACIFLUA 'ROTUNDILoba'	ROUND-LEAF SEEDLESS SWEET GUM	2.5' CAL	B&B
NS	13	NYSSA SYLVATICA	SOUR GUM	2.5' CAL	B&B
PHS	38	QUERCUS PHELLO	WILLOW OAK	2.5' CAL	B&B
TA	44	TILIA AMERICANA	AMERICAN LINDEN	2.5' CAL	B&B
TP	14	TILIA AMERICANA 'MCKSENTY'	AMERICAN SENTRY LINDEN	2.5' CAL	B&B
UP	40	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	2.5' CAL	B&B
EVERGREEN TREES					
ABC	37	ABIES CONCOLOR	WHITE FIR	6-8'	B&B
PGL	36	PICEA GLAUCA	WHITE SPRUCE	6-8'	B&B
PIAB	24	PICEA ABIES	NORWAY SPRUCE	6-8'	B&B
PM	35	PSUEDOTSUGA MENZIESII	DOUGLAS FIR	6-8'	B&B
ORNAMENTAL TREES					
BC	15	AMELANCHIER CANADENSIS	SHADLOW SERVICEBERRY	8-10'	B&B
BN	12	BETULA NIGRA 'HERITAGE	HERITAGE RIVER BIRCH	12-14'	B&B
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	2-2.5' CAL	B&B
CFC	8	CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF DOGWOOD	2-2 1/2' CAL	B&B
QA	4	OXYDENDRUM ARBOREUM	SOURWOOD TREE	6-8'	B&B
SHRUBS					
AB	21	ARONIA ARBUTIFOLIA	BRIGHT RED CHOKEBERRY	3-4'	B&B
AP	16	AEQUILUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	3-4'	CONTAINER/B&B
CS	20	CORNUS SERICEA	RED TWIG DOGWOOD	2-3'	B&B
CV	14	HAMAMELUS VIRGINIANA	COMMON WITCH HAZEL	3-4'	CONTAINER/B&B
RM	18	RHOODODENDRON CHRISOM	ROSE BAY RHOODODENDRON	4-5'	B&B
VDC	17	VIBURNUM DENTATUM 'MAXIMUM'	BLUE MUFFIN VIBURNUM	3-4'	B&B
VR	15	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4'	B&B

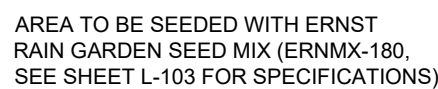
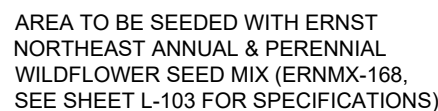
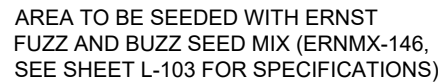
* DENOTES NATIVE SPECIES

* DENOTES NATIVE SPECIES

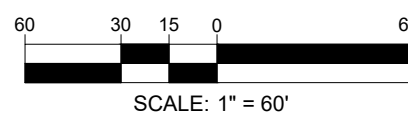
GENERAL LANDSCAPE NOTES:

1. THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, ARE CONSIDERED PART OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND COMPLY CONFORM WITH ALL SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS & IN THE LANDSCAPE DETAILS SHEET.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
3. ALL SHRUBS PLACED ALONG HEAD-IN PARKING STRIPS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FLANGE OF CURB TO ALLOW FOR BUMPER OVERHANG.
4. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S LANDSCAPING ENGINEER AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
5. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
6. IRRIGATION SYSTEM REQUIRED BY THE OWNER OR APPROVED/RECOMMENDED BY THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM DESIGNED BY THE MANUFACTURER OF THE IRRIGATION PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF ANY IRRIGATION SYSTEM.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE CARE, WATERING, AND MAINTENANCE OF ALL PLANT MATERIAL: LAWN MOWING; AND SEASONAL MAINTENANCE.
8. REFER TO SHEET L-102 FOR LANDSCAPE COMPLIANCE CHART.

SEED HATCH LEGEND



**THIS PLAN TO BE UTILIZED
FOR LANDSCAPE
PURPOSES ONLY**



BOHLER

CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

[illegible]

ATTENTION ALL CONTRACTORS:
LOCATIONS OF ALL EXISTING
UTILITIES SHOWN HEREIN HAVE
BEEN DEVELOPED FROM UTILITY
COMPANY RECORDS AND/OR
ABOVE-GROUND INSPECTION OF THE
SITE. COMPLETENESS OR
ACCURACY OF TYPE, SIZE, DEPTH
OR HORIZONTAL LOCATION OF
UTILITIES OR STRUCTURES CANNOT BE
WARRANTED. CONTRACTORS MUST BE
SUBJUNCT TO REQUIREMENTS OF
SLATIVE ACT NUMBER 287 OF 1974 AS
OF 2017. CONTRACTORS MUST VERIFY
THE LOCATION AND DEPTH OF
ALL UNDERGROUND UTILITIES AND
PRIOR TO START OF WORK.

#(BOHLER)XXXXXXXXXX / #(SURVEY)XXXXXXXXXXXX

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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
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PROJECT No.:	PAA240076.00-2B
DRAWN BY:	PAB
CHECKED BY:	GJH
DATE:	02/11/2026
CAD I.D.:	P-CUSE-LLGT

PROJECT:

CONDITIONAL USE / MASTER PLAN

- FOR -

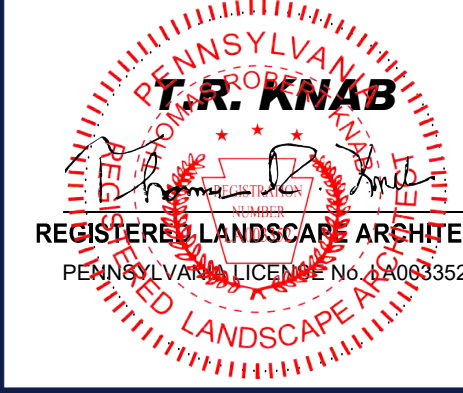
BT 309, LLC

**PROPOSED MIXED USE
DEVELOPMENT**

321 NORRISTOWN ROAD
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY
COMMONWEALTH OF PENNSYLVANIA
19002

BOHLERTM

**1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914**
Phone: (215) 996-9100
Fax: (215) 996-9102
www.BohlerEngineering.com



SHEET TITLE:

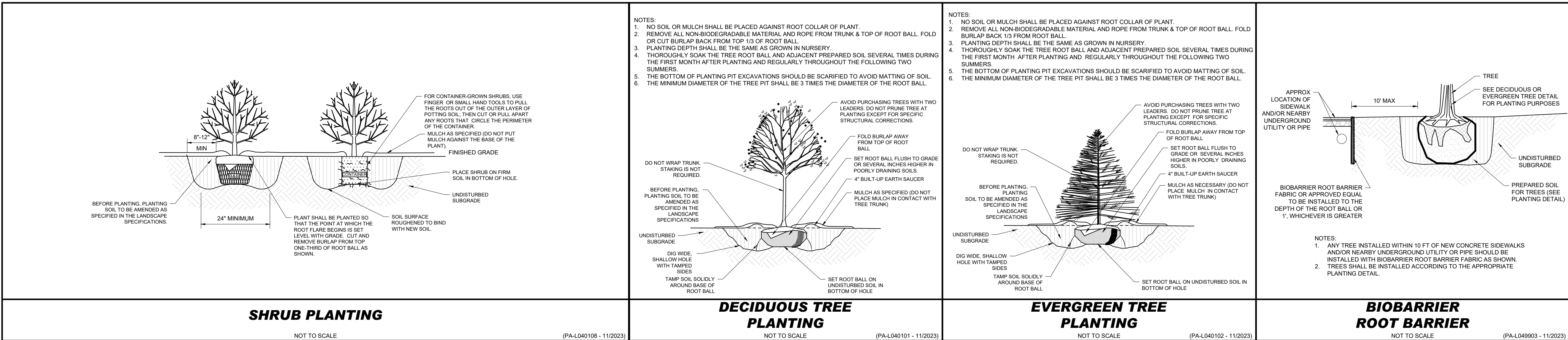
LANDSCAPE PLAN

SHEET NUMBER:

L-101

6 OF 10

REVISION 2 - 7/22/2026



ERNST SEED CO. "FUZZ & BUZZ" SEED MIX SEEDING SPECIFICATIONS (ERNMX-146)

LOLIUM PERENNE, 'CRAVE', TETRAPLOID	PERENNIAL RYEGRASS, 'CRAVE' TETRAPLOID	26.4%
DACTYLIS GLOMERATA, POTOMAC	ORCHARDGRASS, POTOMAC	21%
POA PRATENSIS, 'GINGER'	KENTUCKY BLUEGRASS, 'GINGER' 9PASTURE TYPE)	18.9%
BROMUS BIEDERSTEINI, 'FLEET'	MEADOW BLUME, 'FLEET'	12%
TRIFOLIUM HYBRIDUM	ALSIKE CLOVER	5.7%
FESTUCA ELATIOR x LOLIUM PERENNE, DUO	FESTULOLIUM, 'DUO'	5%
TRIFOLIUM PRATENSE, MEDIUM	RED CLOVER, MEDIUM	4.8%
LOTUS CORNICULATUS, 'LEO'	BIRDS' FOOT TREFLOIL, 'LEO'	2%
LINUM PERENNE	PERENNIAL BLUE FLAX	1%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	0.9%
CHAMAECRISTA FASCICULATA, PA ECOTYPE	PARTRIDGE PEA, PA ECOTYPE	0.8%
CICHORIUM INTYBUS	BLUE CHICORY	0.6%
CHRYSANTHEMUM LEUCANTHEMUM	OXEYE DAISY	0.5%
SOLIDAGO NEMORALIS, PA ECOTYPE	GRAY GOLDENROD, PA ECOTYPE	0.4%

SEEDING RATE: 40 lb. PER ACRE

NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS APPROPRIATE FOR THE TIME OF YEAR:

- ANNUAL RYE (12 LBS PER ACRE)
- OR SPRING OATS (64 LBS PER ACRE)
- OR WINTER RYE (56 LBS PER ACRE)

NOTES:

1. THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. THE MOST CURRENT FORMULATION AS SPECIFIED BY THE ERNST COMPANY AT THE TIME OF PLANTING SHALL BE USED.
2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY. THE CONTRACTOR MUST ENSURE DIRECT SEED-TO-SOIL CONTACT. HYDROSEEDING IS NOT PERMITTED WITH THIS SEED MIX; IT WILL PROHIBIT GERMINATION.
3. THE ENTIRE AREA SHALL BE STABILIZED WITH A NORTH AMERICAN GREEN SC150 STRAW & COCONUT BLANKET (OR APPROVED EQUAL). THE BLANKET SHOULD BE INSTALLED ON TOP OF THE SEED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
4. THE SEED MIX WILL NEED DAILY SUPPLEMENTAL WATERING UNTIL IT HAS GERMINATED AND REACHED AN AVERAGE HEIGHT OF AT 12-18".
5. THE SEEDING AREA SHALL BE MOWED ONCE AFTER THE FIRST GROWING SEASON, EARLY IN THE SPRING, AND THEN SHALL BE MOWED NO MORE THAN ONCE EVERY THREE YEARS THEREAFTER EARLY IN SPRING ONLY.

ERNST SEED CO. NORTHEAST ANNUAL & PERENNIAL WILDFLOWER MIX SEEDING SPECIFICATIONS (ERNMX-168)

COSMOS BIPINNATUS	COSMOS	10.4%
CENTAUREA CYANUS	CORNFLOWER	10%
ECHINACEA PURPUREA	PURPLE CONEFLOWER	8%
LINUM GRANDIFLORUM RUBRUM	SCARLET FLAX	7.9%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	6%
DELPHINIUM AJACIS	ROCKET LARKSPUR	6%
RUDEBECKIA HIRTA (COASTAL PLAIN NC ECOTYPE)	BLACK EYED SUSAN	5.4%
LUPINUS POLYPHYLLUS	BIGLEAF LUPINE	5.4%
CALENDULA OFFICINALIS	CALENDULA	5.2%
LAVATERA TRIMESTRIS	TREE MALLOW	4%
LINUM PERENNE SSP. LEWISII	PERENNIAL BLUE FLAX	3.5%
TRIFOLIUM INCARNATUM	CRIMSON CLOVER	3.3%
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA ORANGE POPPY	3%
HELIOPSIS HELIANTHOIDES (PA ECOTYPE)	OXEYE SUNFLOWER	3%
CHRYSANTHEMUM MAXIMUM	SHASTA DAISY	2.5%
CHEIRANTHUS ALLIONII	WALLFLOWER	2%
RATIBIDA COLUMNARIS	RED PRAIRIE CONEFLOWER	2%
ACHILLEA MILLEFOLIUM	COMMON YARROW	1.5%
LIATRIS SPICATA	MARSH (DENSE) BLAZING STAR	1.5%
POYCNANTHEMUM TENUIFOLIUM	NARROWLEAF MOUNTAINMINT	1.2%
LOBULARIA MARITIMA	SWEET ALYSSUM	1%
PENSTEMON DIGITALIS (PA ECOTYPE)	TALL WHITE BEARDTONGUE	1%
TRADESCANTIA OHIENSIS (PA ECOTYPE)	OHIO SPIDERWORT	1%
MONARDA FISTULOSA (FORT INDIANTOWN GAP-PA ECOTYPE)	WILD BERGAMOT	0.8%
PAPAVER RHOEAS (SHIRLEY MIX)	CORN POPPY	0.8%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	0.5%
ASTER LAEVIS (NY ECOTYPE)	SMOOTH BLUE ASTER	0.5%
ASTER PRENANTHOIDES (PA ECOTYPE)	ZIGZAG ASTER	0.5%
BAPTISIA AUSTRALIS (SOUTHERN WV ECOTYPE)	BLUE FALSE INDIGO	0.5%
CLARKIA ELEGANS	CLARKIA	0.5%
SILENE ARMERIA	CATCHFLY	0.2%
MONARDA FISTULOSA (FORT INDIANTOWN GAP-PA ECOTYPE)	GRAY GOLDENROD	0.2%
SOLIDAGO ODORA (PA ECOTYPE)	LICORICE SCENTED GOLDENROD	0.1%

SEEDING RATE: 7-10 lb. PER ACRE OF THE ERNST MIX

NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS APPROPRIATE FOR THE TIME OF YEAR:

- ANNUAL RYE (10 LBS PER ACRE)
- OR SPRING OATS (64 LBS PER ACRE)
- OR WINTER RYE (56 LBS PER ACRE)

NOTES:

1. THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. THE MOST CURRENT FORMULATION AS SPECIFIED BY THE ERNST COMPANY AT THE TIME OF PLANTING SHALL BE USED.
2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY. THE CONTRACTOR MUST ENSURE DIRECT SEED-TO-SOIL CONTACT. HYDROSEEDING IS NOT PERMITTED WITH THIS SEED MIX; IT WILL PROHIBIT GERMINATION.
3. THE ENTIRE FACILITY SHALL BE STABILIZED WITH A NORTH AMERICAN GREEN SC150 STRAW & COCONUT BLANKET (OR APPROVED EQUAL). THE BLANKET SHOULD BE INSTALLED ON TOP OF THE SEED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
4. THE SEED MIX WILL NEED DAILY SUPPLEMENTAL WATERING UNTIL IT HAS GERMINATED AND REACHED AN AVERAGE HEIGHT OF AT 12-18".
5. THE SEEDING AREA SHALL BE MOWED ONCE AFTER THE FIRST GROWING SEASON, EARLY IN THE SPRING, AND THEN SHALL BE MOWED NO MORE THAN ONCE EVERY THREE YEARS THEREAFTER EARLY IN SPRING ONLY.

ERNST SEED CO. RAIN GARDEN MIX SEEDING SPECIFICATIONS (ERNMX-180)

CHASMANTHIUM LATIFOLIUM (PA/VA ECOTYPE BLEND)	RIVER OATS	38%
ELYMUS VIRGINICUS (PA ECOTYPE)	VIRGINIA WILD RYE	20%
CAREX VULPINOIDEA (PA ECOTYPE)	FOX SEDGE	10%
ECHINACEA PURPUREA	PURPLE CONEFLOWER	4%
PENSTEMON DIGITALIS (PA ECOTYPE)	TALL WHITE BEARDTONGUE	3%
RUDEBECKIA HIRTA (COASTAL PLAIN NC ECOTYPE)	BLACKEYED SUSAN	3%
COREOPSIS LANCEOLATA (COASTAL PLAIN NC ECOTYPE)	LANCELEAF COREOPSIS	3%
TRADESCANTIA OHIENSIS (PA ECOTYPE)	OHIO SPIDERWORT	2%
HELIOPSIS HELIANTHOIDES (PA ECOTYPE)	OXEYE SUNFLOWER	2%
AGROSTIS PERENNANS (PA ECOTYPE)	AUTUMN BENTGRASS	2%
CHAMAECRISTA FASCICULATA (PA ECOTYPE)	PARTRIDGE PEA	2%
LIATRIS SPICATA (PA ECOTYPE)	MARSH (DENSE) BLAZING STAR	2%
ASTER LAEVIS (NY ECOTYPE)	SMOOTH BLUE ASTER	1.5%
SENNA HEBECARPA (VA & WV ECOTYPE)	WILD SENNA	1%
ASTER NOVAE-ANGLIAE (PA ECOTYPE)	NEW ENGLAND ASTER	1%
ASCLEPIAS INCARNATA (PA ECOTYPE)	SWAMP MILKWEED	1%
JUNCUS TENUIS (PA ECOTYPE)	PATH RUSH	1%
JUNCUS EFFUSUS	SOFT RUSH	1%
MONARDA FISTULOSA (FORT INDIANTOWN GAP-PA ECOTYPE)	WILD BERGAMOT	1%
EUPATORIUM COELESTINUM (VA ECOTYPE)	MISTFLOWER	0.5%
BAPTISIA AUSTRALIS (SOUTHERN WV ECOTYPE)	BLUE FALSE INDIGO	0.5%
SOLIDAGO JUNCEA (VA ECOTYPE)	EARLY GOLDENROD	0.5%
POYCNANTHEMUM TENUIFOLIUM	SLENDER MOUNTAINMINT	0.2%

SEEDING RATE: 20 lb. PER ACRE OF THE ERNST MIX

NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS APPROPRIATE FOR THE TIME OF YEAR:

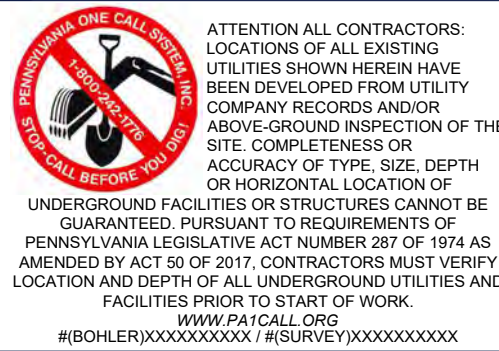
- ANNUAL RYE (10 LBS PER ACRE)
- OR SPRING OATS (64 LBS PER ACRE)
- OR WINTER RYE (56 LBS PER ACRE)

NOTES:

1. THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. THE MOST CURRENT FORMULATION AS SPECIFIED BY THE ERNST COMPANY AT THE TIME OF PLANTING SHALL BE USED.
2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY. THE CONTRACTOR MUST ENSURE DIRECT SEED-TO-SOIL CONTACT. HYDROSEEDING IS NOT PERMITTED WITH THIS SEED MIX; IT WILL PROHIBIT GERMINATION.
3. THE ENTIRE FACILITY SHALL BE STABILIZED WITH A NORTH AMERICAN GREEN SC150 STRAW & COCONUT BLANKET (OR APPROVED EQUAL). THE BLANKET SHOULD BE INSTALLED ON TOP OF THE SEED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
4. THE SEED MIX WILL NEED DAILY SUPPLEMENTAL WATERING UNTIL IT HAS GERMINATED AND REACHED AN AVERAGE HEIGHT OF AT 12-18".
5. THE SEEDING AREA SHALL BE MOWED ONCE AFTER THE FIRST GROWING SEASON, EARLY IN THE SPRING, AND THEN SHALL BE MOWED NO MORE THAN ONCE EVERY THREE YEARS THEREAFTER EARLY IN SPRING ONLY.



REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	6/26/2026	PER ARCHITECTURAL COORDINATION	JHT	TRK
2	7/22/2026	PER CLIENT COMMENTS	JHT	TRK



THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAA24076.00-2B
DRAWN BY: PAB
CHECKED BY: CJH
DATE: 02/11/2026
CAD ID: P-CUSE-LLGT

PROJECT:
CONDITIONAL USE / MASTER PLAN
FOR

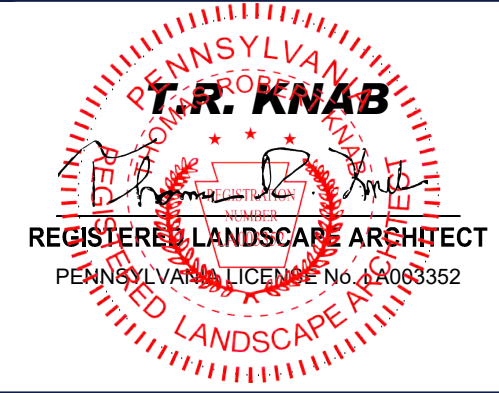
BT 309, LLC

PROPOSED MIXED USE DEVELOPMENT

321 NORRISTOWN ROAD
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY
COMMONWEALTH OF PENNSYLVANIA
19002

BOHLER

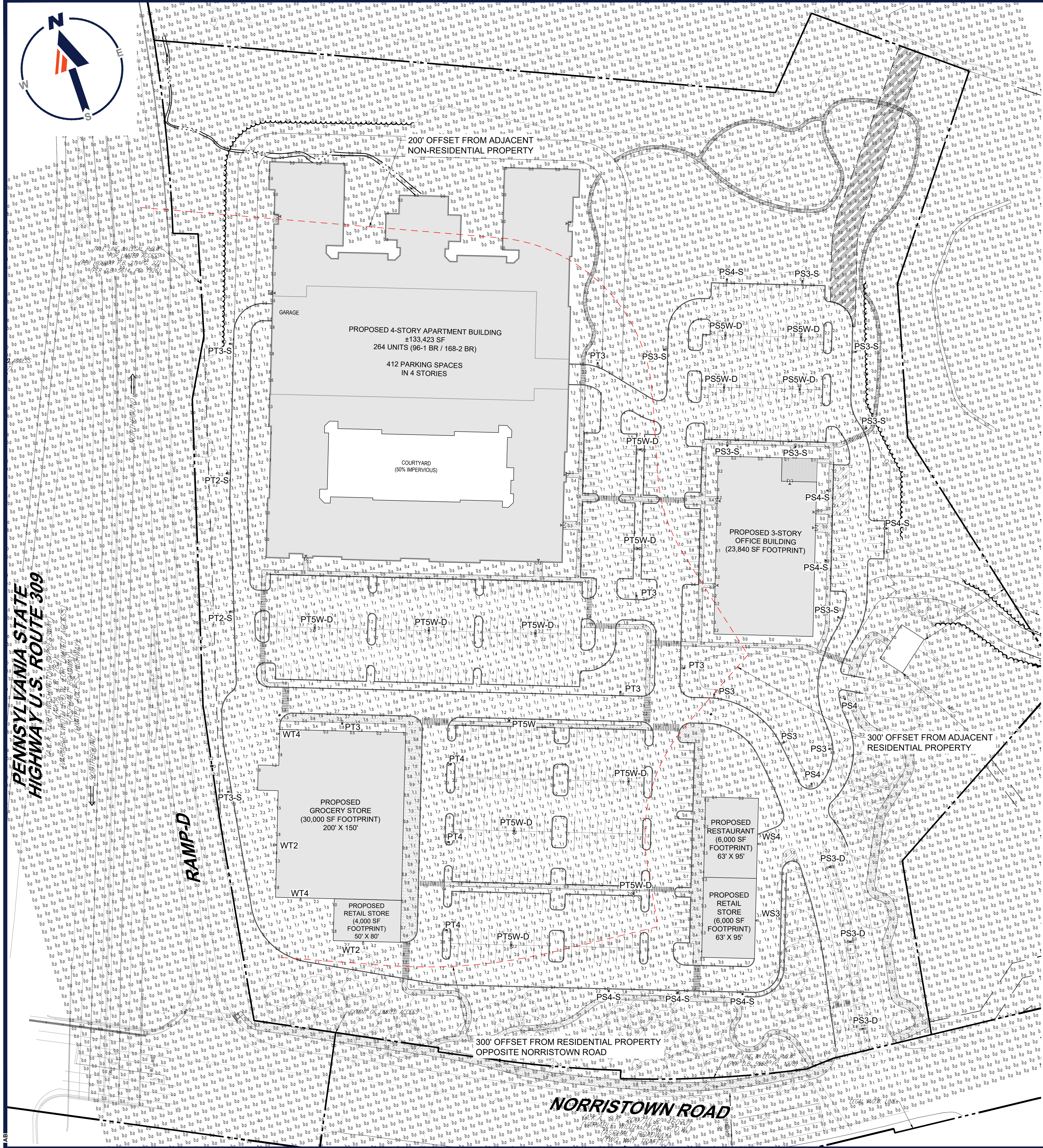
1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
www.BohlerEngineering.com



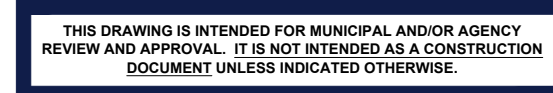
SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:
L-103
8 OF 10

REVISION 2 - 7/22/2026



1. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE ELECTRICAL CONTRACTOR MUST BECOME FAMILIAR WITH, REFER TO AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY.
2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THIS LIGHTING PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL APPLICABLE AGENCY AND GOVERNMENTAL REGULATIONS. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S) ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND TYPE OF LIGHT SOURCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIGHTING PLAN TO VARY IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, MAINTENANCE, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES, EXISTING AMBIENT LIGHT SOURCE ON AND OFF SITE, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL, GEOMETRIC PLANE, AT GROUND LEVEL, UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC) AND LUXES.
4. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING, CONTROLS, AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, ELECTRICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND WIRING METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AS REQUIRED BY FEDERAL, STATE, AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE BUILDING AND LOCAL ELECTRICAL CODES.
5. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ATTENTION OF THE ARCHITECT. RECORDS ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATION OF LIGHTING FIXTURES, INCLUDING THE START OF CONSTRUCTION, INCLUDING THE LOCATION, ORIENTATION, SHIELDING, AND/OR ROTATED OPTICS IN ORDER TO ACHIEVE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. EXISTING POLES AND FOUNDATIONS ARE NOT TO BE REUSED.
7. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICE, AND REPAIRS OF ALL LUMINAIRES, CONDUITS, AND RELATED SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND OTHER MAINTENANCE SPECIFIED BY THE MANUFACTURER. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND/OR INABILITY TO COMPLY WITH THE LIGHTING PLAN.
8. THE LIGHT LOSS PERCENT (LLP) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-21 TESTING (OR MOST RECENT EDITION) OF THE LIGHTING FIXTURES. THE LIGHT LOSS PERCENT WERE CALCULATED BASED ON THE LLP LISTED IN THE LUMINAIRE SCHEDULE.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOEHLER FOR REVIEW AND APPROVAL.
10. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATION OF LIGHTING FIXTURES, INCLUDING THE LOCATION OF LIGHTING FIXTURES, INCLUDING THE LOCATION, ORIENTATION, SHIELDING, AND/OR ROTATED OPTICS IN ORDER TO ACHIEVE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. EXISTING POLES AND FOUNDATIONS ARE NOT TO BE REUSED.
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[illegible]

PROJECT:

***CONDITIONAL
USE / MASTER
PLAN***

_____ FOR _____

BOHLER 

**1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914**

Phone: (215) 996-9100
Fax: (215) 996-9102

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SHEET NUMBER: _____

REVISION 2 - 7/22/2026

P:\PA\2024\PAAB

CONDITIONAL USE PLANS

ARCHITECTURE

APPLICANT: BT 309, LLC

PROPOSED:

MIXED-USE DEVELOPMENT

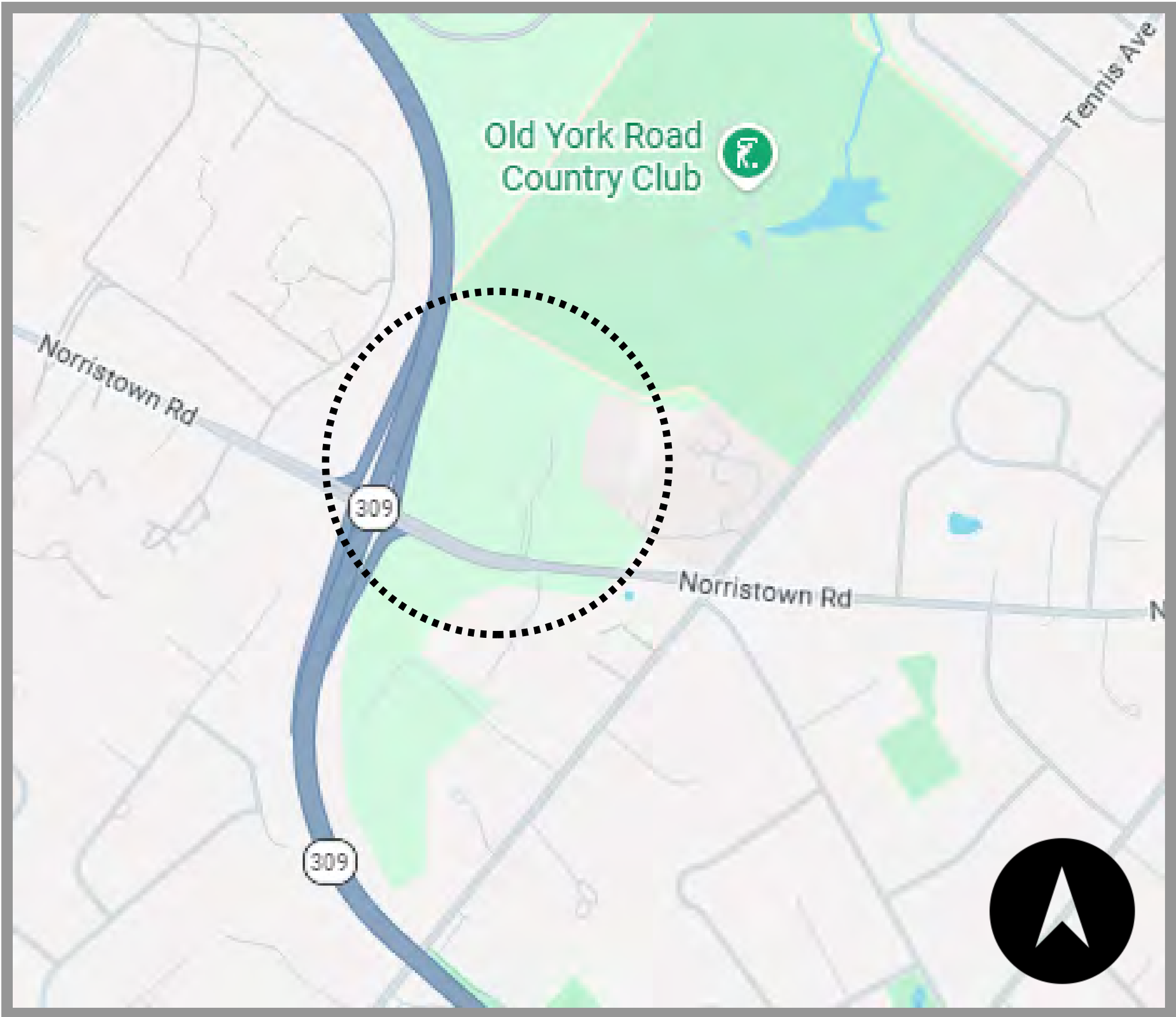
321 NORRISTOWN ROAD
LOWER GWYNNED TOWNSHIP
MONTGOMERY COUNTY
COMMONWEALTH OF PENNSYLVANIA
APN 39-00-02956-00-2 - BLOCK 19, UNIT 7

OWNER/DEVELOPER
BT 309, LLC
200 DRYDEN ROAD
SUITE 2000
DRESHER, PA 19025

ARCHITECT
AEI-AE PC
5561 PENNELL ROAD
MEDIA, PA 19063
CONTACT: Michael S. McCloskey, AIA, LEED AP - Principal

SHEET LIST

- A-001 - COVERSHEET
- A-002 - OVERALL SITE PLAN WITH RENDERING VIEW LOCATIONS
- A-003 - PROPOSED RENDERED PERSPECTIVE 1.0
- A-004 - PROPOSED RENDERED PERSPECTIVE 2.0
- A-005 - PROPOSED RENDERED PERSPECTIVE 3.0
- A-006 - PROPOSED RENDERED PERSPECTIVE 4.0
- A-007 - PROPOSED RENDERED PERSPECTIVE 5.0
- A-008 - PROPOSED RENDERED PERSPECTIVE 6.0
- A-009 - PROPOSED RENDERED PERSPECTIVE 7.0
- A-010 - PROPOSED RENDERED PERSPECTIVE 8.0
- A-011 - PROPOSED RENDERED PERSPECTIVE 9.0
- A-012 - PROPOSED APARTMENT EXTERIOR ELEVATIONS
- A-013 - PROPOSED APARTMENT EXTERIOR ELEVATIONS
- A-014 - PROPOSED APARTMENT EXTERIOR FINISH BOARD
- A-015 - PROPOSED MARKET EXTERIOR ELEVATIONS
- A-016 - PROPOSED MARKET EXTERIOR ELEVATIONS
- A-017 - PROPOSED MARKET EXTERIOR FINISH BOARD
- A-018 - PROPOSED RETAIL EXTERIOR ELEVATIONS
- A-019 - PROPOSED RETAIL EXTERIOR ELEVATIONS
- A-020 - PROPOSED RETAIL EXTERIOR FINISH BOARD
- A-021 - PROPOSED OFFICE EXTERIOR ELEVATIONS
- A-022 - PROPOSED OFFICE EXTERIOR ELEVATIONS
- A-023 - PROPOSED OFFICE EXTERIOR FINISH BOARD



LOCATION MAP

SCALE: NTS.



**321 NORRISTOWN ROAD
MIXED-USE
DEVELOPMENT**
321 Norristown Road, Lower Gwynned
Township, Montgomery County, Pennsylvania

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A	CONDITIONAL USE SUBMISSION	07.22.26

COVERSHEET

A-001

Project Number: 2380.00-24



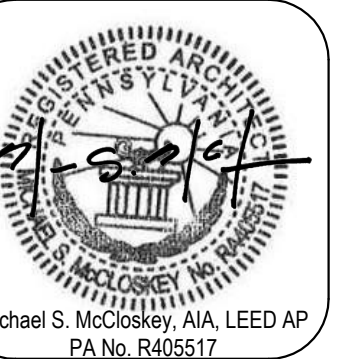
ARCHITECTURE
ENGINEERING
INTERIORS

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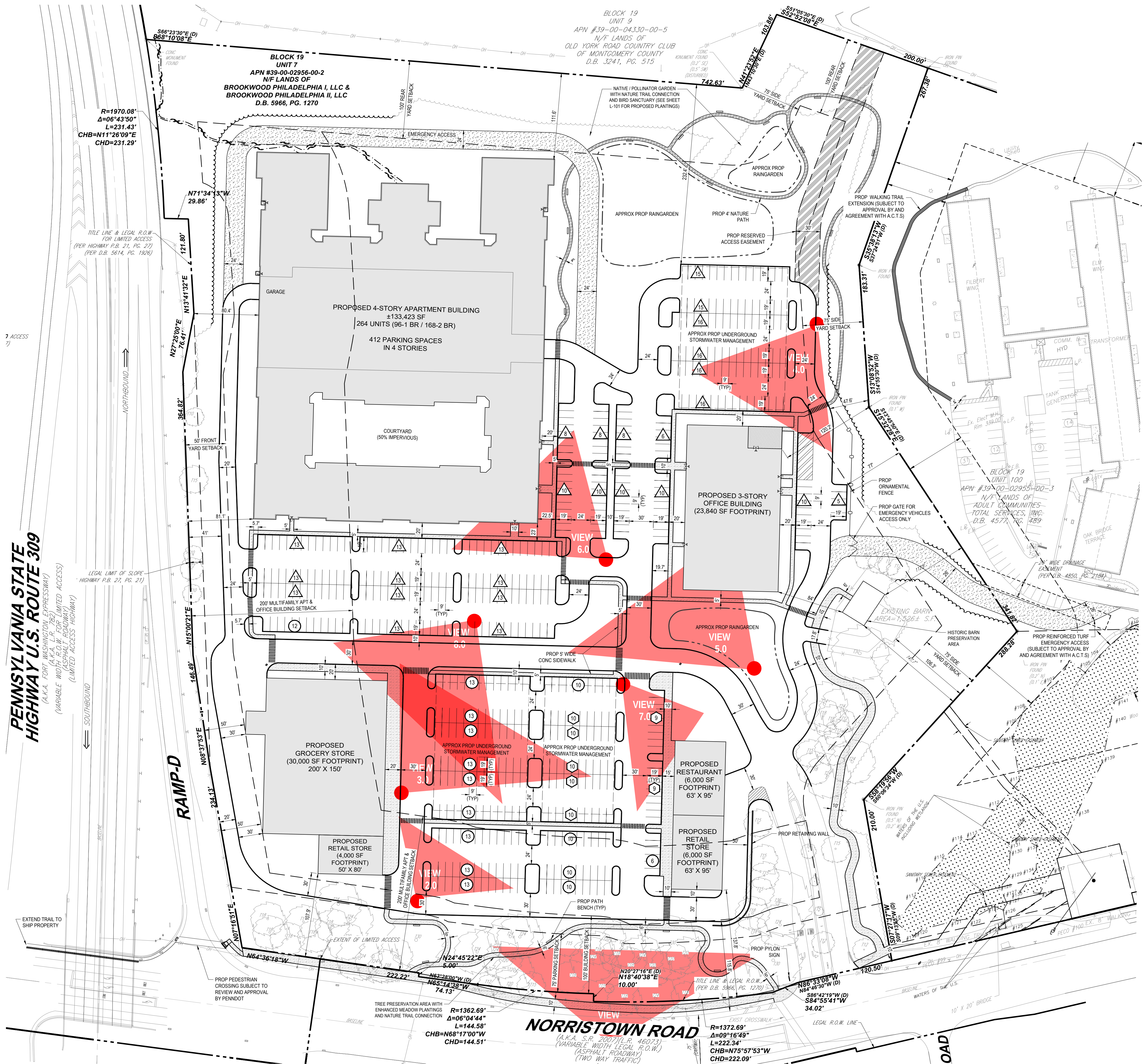


REV	DESCRIPTION	DATE
A	CONDITIONAL USE SUBMISSION	07.22.26

OVERALL MASTERPLAN

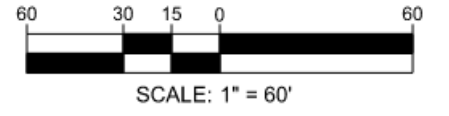
A-002

Project Number: 2380.00-24



MASTERPLAN WITH
RENDERING VIEW
LOCATIONS

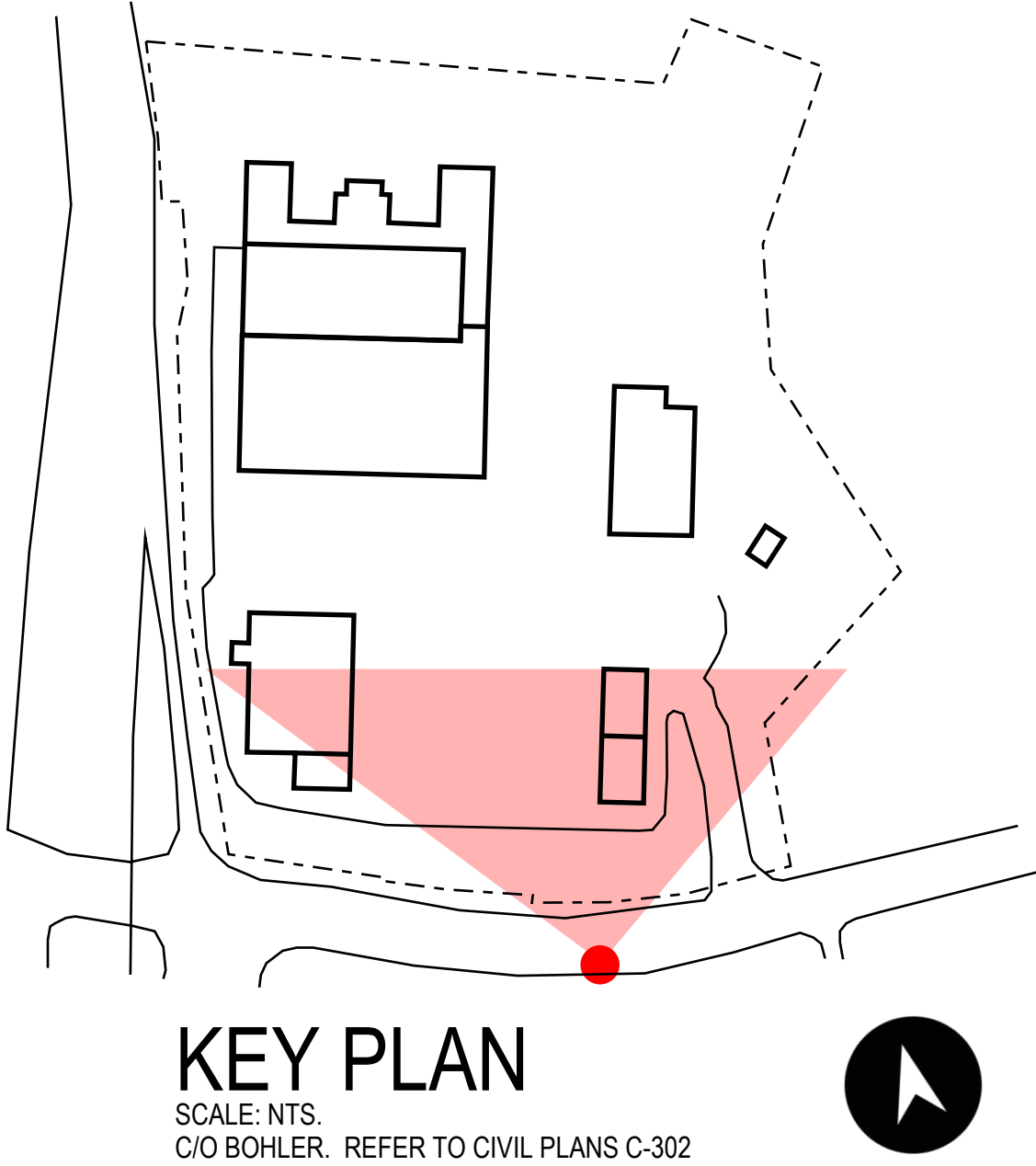
C/O BOHLER. REFER TO CIVIL PLANS C-302





PROPOSED RENDERED PERSPECTIVE VIEW 1.0
VIEW FROM NORRISTOWN ROAD - LOOKING NORTH

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING EXISTING BARN.





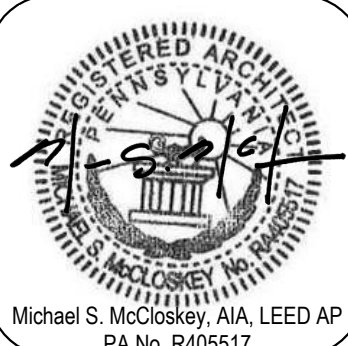
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**321 NORRISTOWN ROAD
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REV	DESCRIPTION	DATE
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PROPOSED RENDERING 1.0

A-003

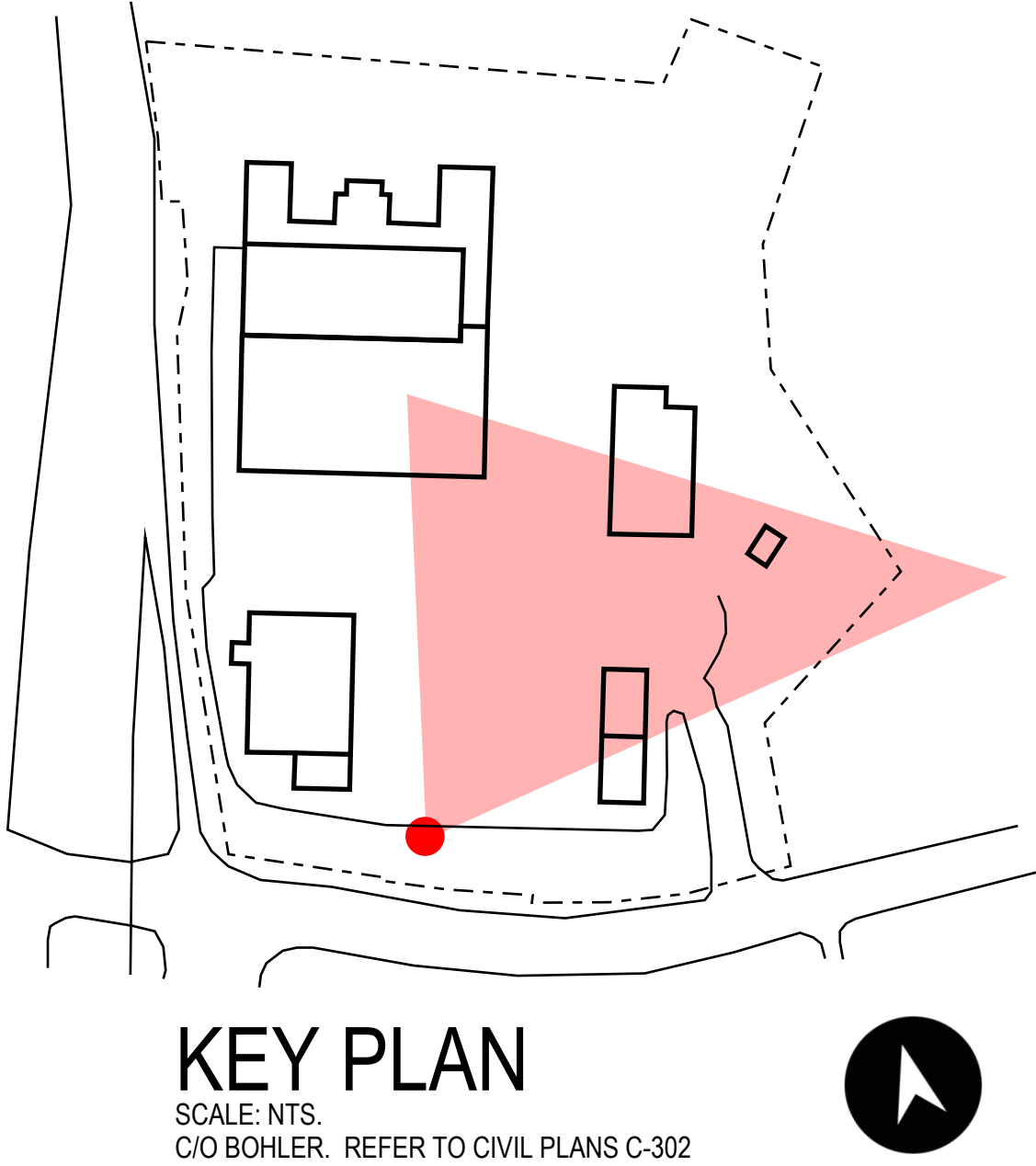
Project Number: 2380.00-24



PROPOSED RENDERED PERSPECTIVE VIEW 2.0

VIEW FROM PEDESTRIAN PATH ALONG NORRISTOWN ROAD - LOOKING NORTH

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING BARN.





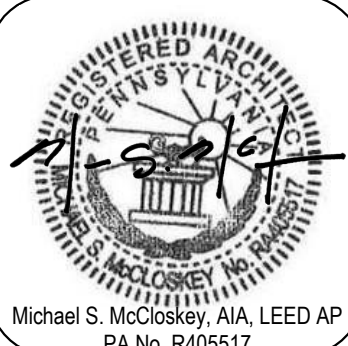
ARCHITECTURE
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**321 NORRISTOWN ROAD
MIXED-USE
DEVELOPMENT**

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PA No. R406517

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PROPOSED RENDERING 2.0

A-004

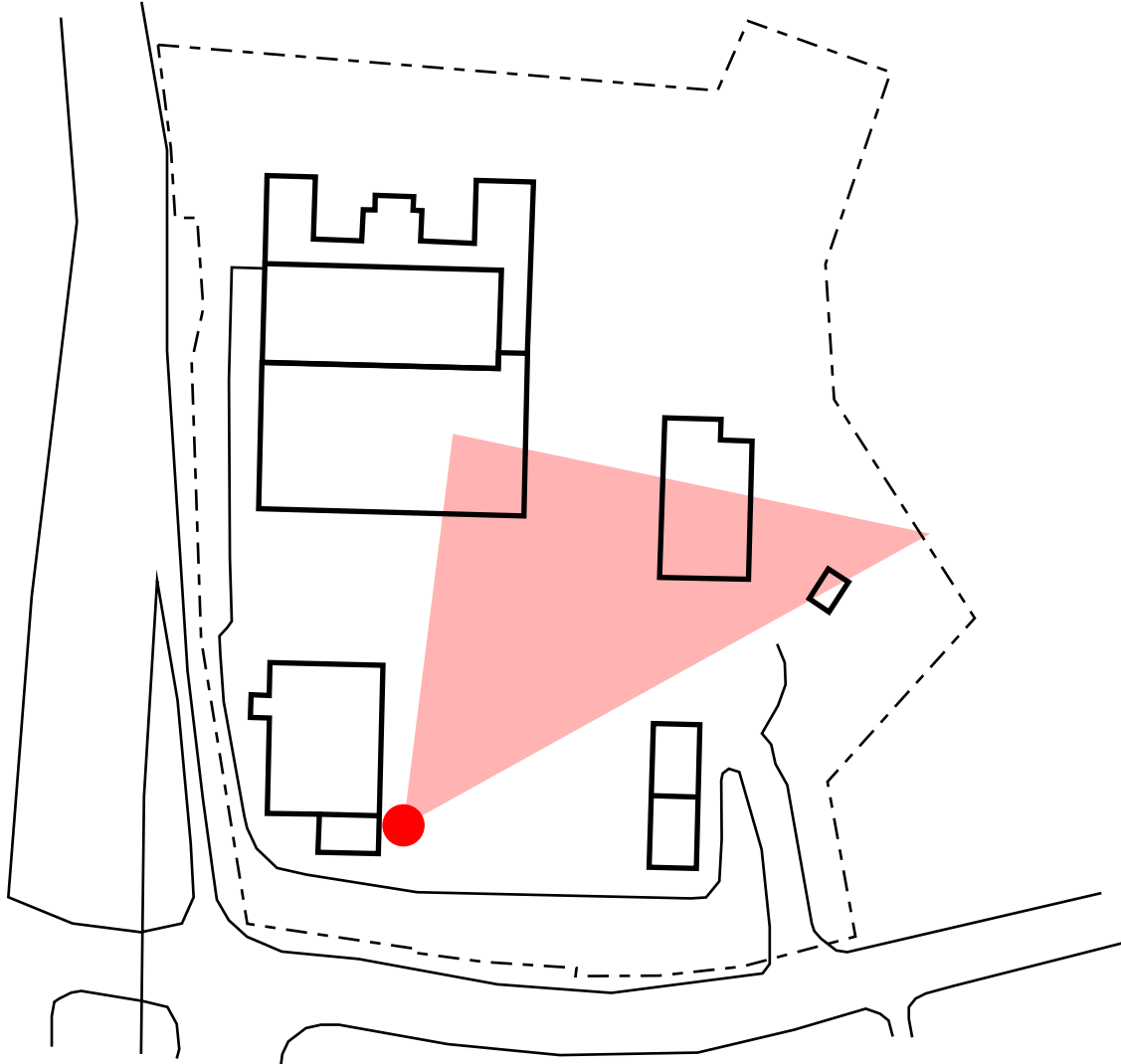
Project Number: 2380.00-24



PROPOSED RENDERED PERSPECTIVE VIEW 3.0
VIEW ALONG FRONT FACADE OF MARKET - LOOKING NORTH TOWARDS APARTMENT BUILDING

PROPOSED SIDEWALK ALONG FRONT OF
MARKET CONNECTS TO TRAIL NETWORK AT
NORTH AND SOUTH LOCATIONS

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING EXISTING BARN.



KEY PLAN
SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302

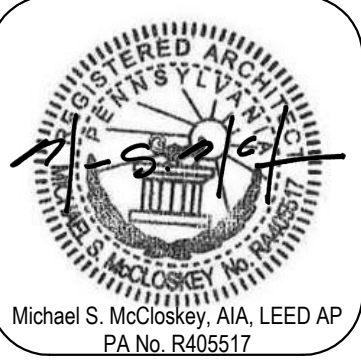


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PROPOSED RENDERING 3.0

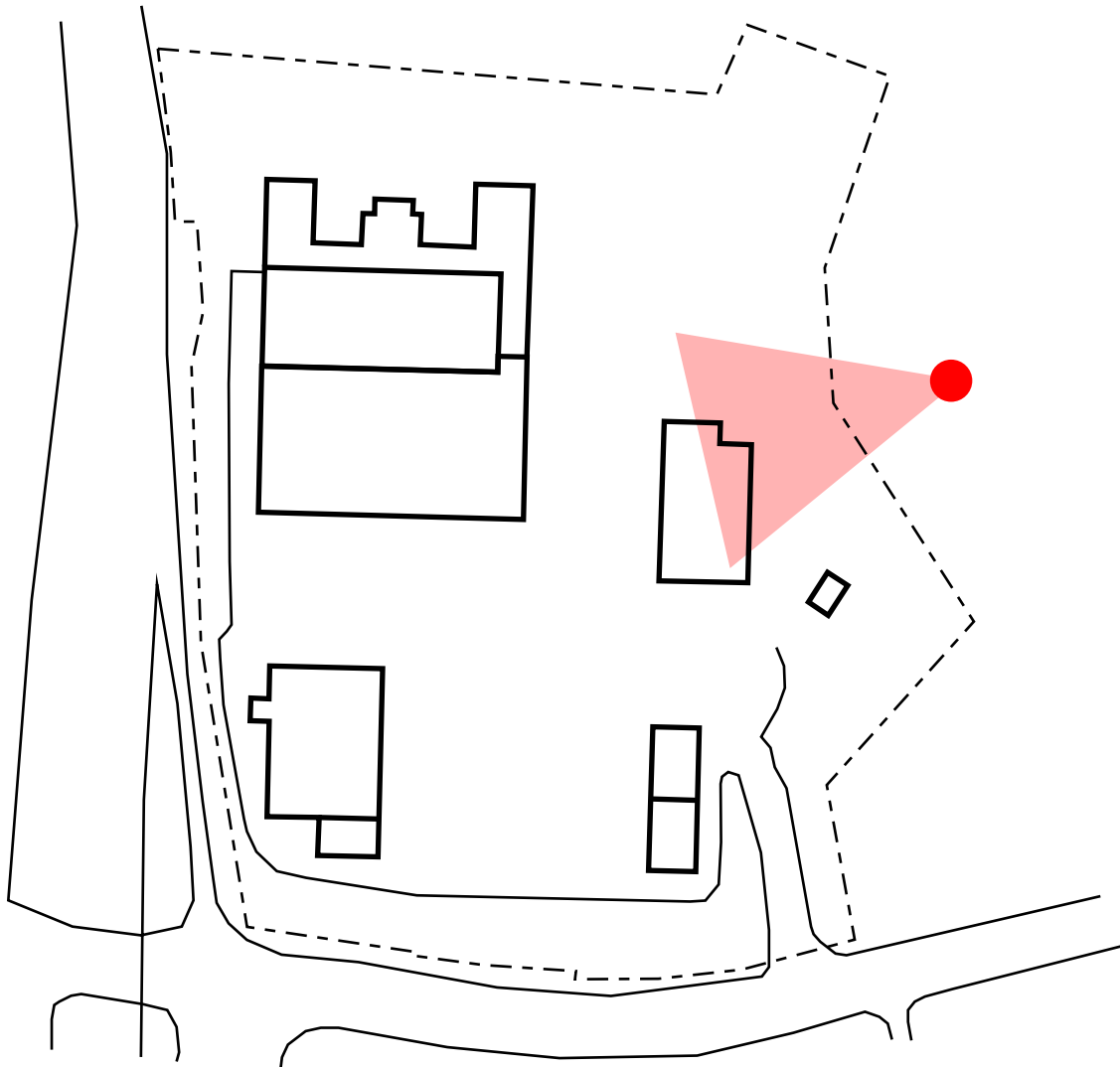
A-005

Project Number: 2380.00-24



PROPOSED RENDERED PERSPECTIVE VIEW 4.0
VIEW FROM NEIGHBORING PROPERTY - GWYNEDD ESTATES PROPERTY - LOOKING WEST AT APARTMENT BUILDING THROUGH EXISTING VEGETATION

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING BARN.



KEY PLAN
SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302



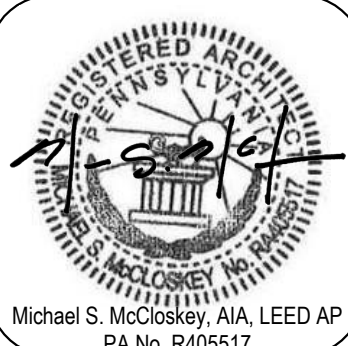
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PROPOSED RENDERING 4.0

A-006

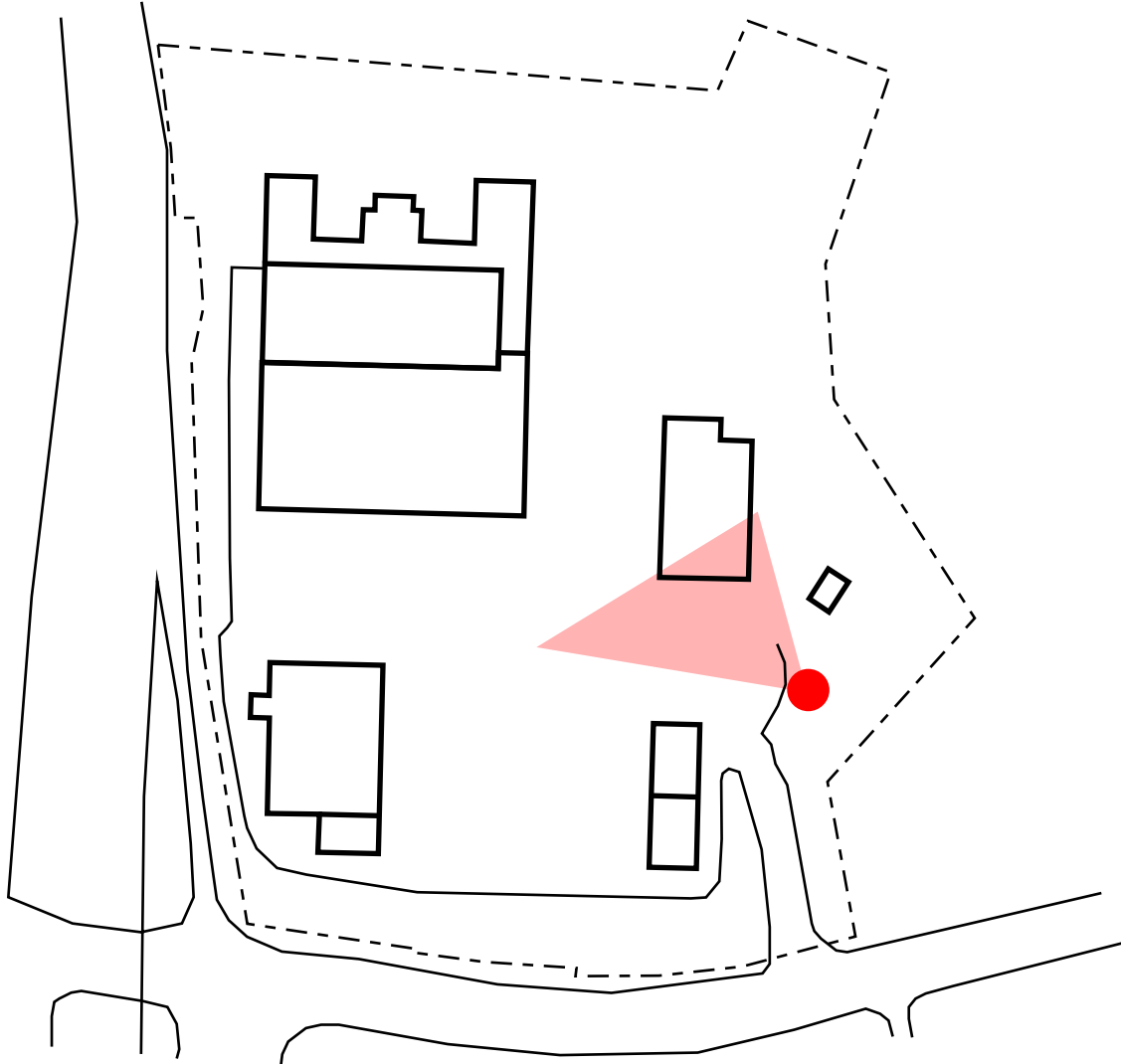
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PROPOSED RENDERED PERSPECTIVE VIEW 5.0
VIEW OF FRONT FACADE OF PROPOSED APARTMENT BUILDING

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING BARN.

PROPOSED SIDEWALK ALONG FRONT OF APARTMENT BUILDING CONNECTS TO TRAIL NETWORK AT NORTH AND SOUTH LOCATIONS



KEY PLAN

SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302



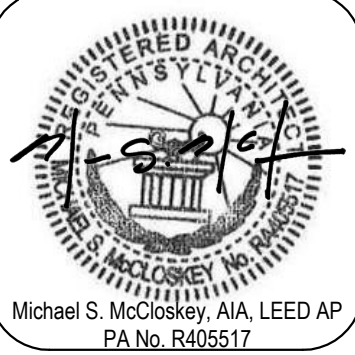
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PROPOSED RENDERING 5.0

A-007

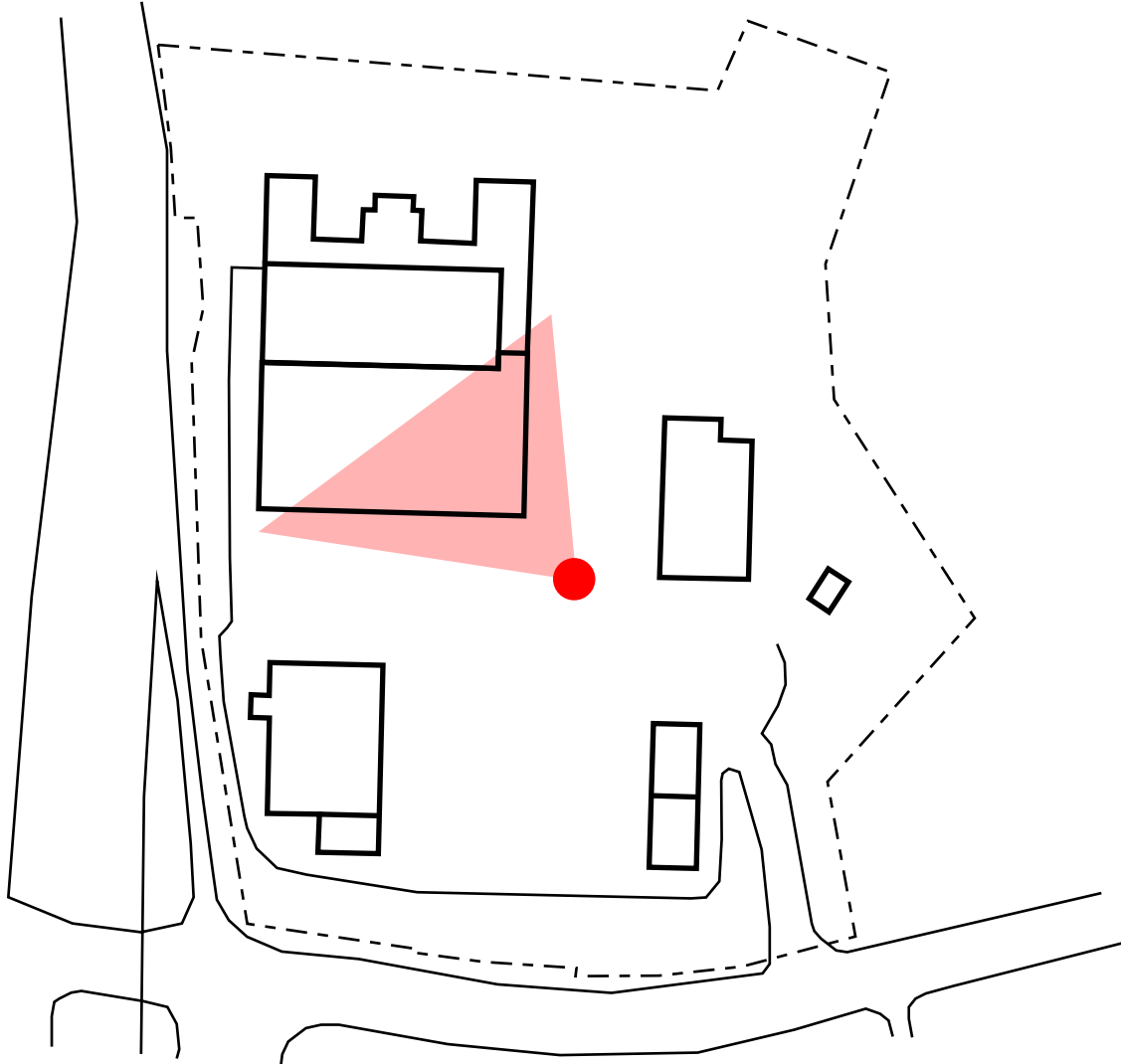
Project Number: 2380.00-24



PROPOSED RENDERED PERSPECTIVE VIEW 6.0
VIEW OF FRONT AND SIDE FACADE OF PROPOSED APARTMENT BUILDING

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING EXISTING BARN.

PROPOSED SIDEWALK ALONG FRONT OF APARTMENT BUILDING CONNECTS TO TRAIL NETWORK AT NORTH AND SOUTH LOCATIONS



KEY PLAN

SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302



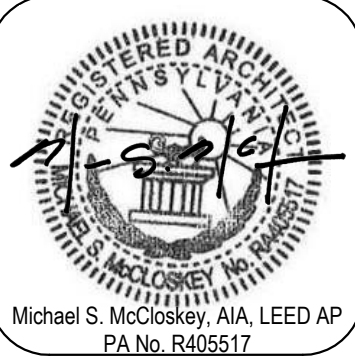
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PROPOSED RENDERING 6.0

A-008

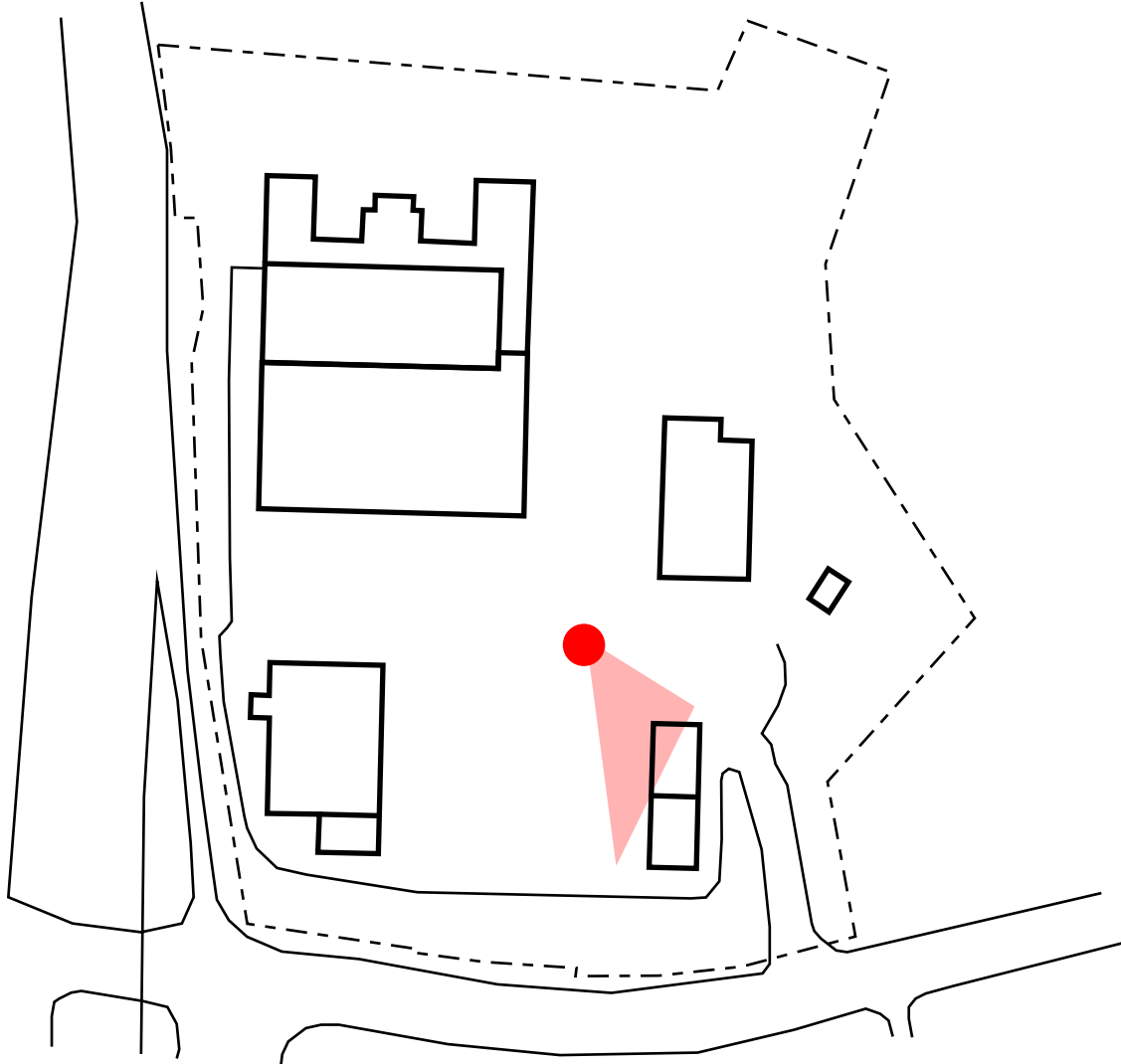
Project Number: 2380.00-24



PROPOSED RENDERED PERSPECTIVE VIEW 7.0
VIEW OF FRONT AND SIDE FACADE OF PROPOSED ONE STORY RETAIL BUILDING

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING EXISTING BARN.

PROPOSED SIDEWALK ALONG FRONT
OF RETAIL BUILDING CONNECTS TO
TRAIL NETWORK AT NORTH AND
SOUTH LOCATIONS



KEY PLAN

SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302

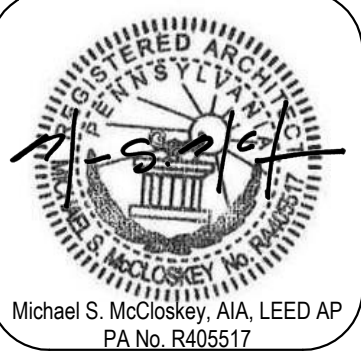


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PROPOSED RENDERING 7.0

A-009

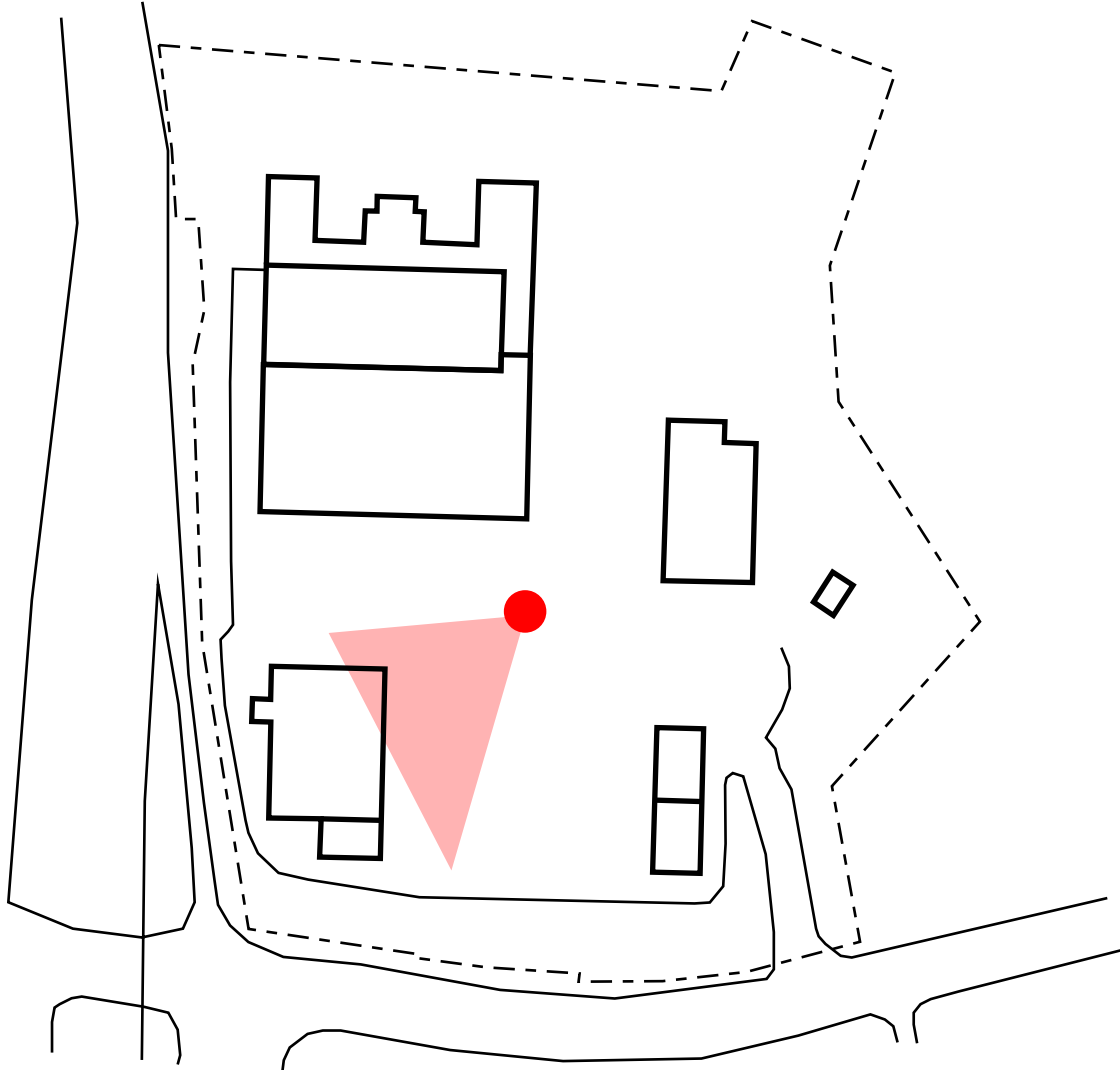
Project Number: 2380.00-24



PROPOSED RENDERED PERSPECTIVE VIEW 8.0
VIEW OF FRONT AND SIDE FACADE OF PROPOSED ONE STORY MARKET BUILDING

- NOTES:
- 1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
 - 2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING EXISTING BARN.

PROPOSED SIDEWALK ALONG FRONT
OF APARTMENT BUILDING CONNECTS
TO TRAIL NETWORK AT NORTH AND
SOUTH LOCATIONS



KEY PLAN

SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302



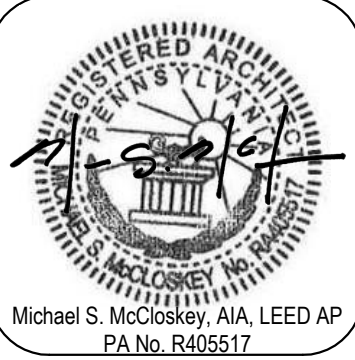
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PROPOSED RENDERING 8.0

A-010

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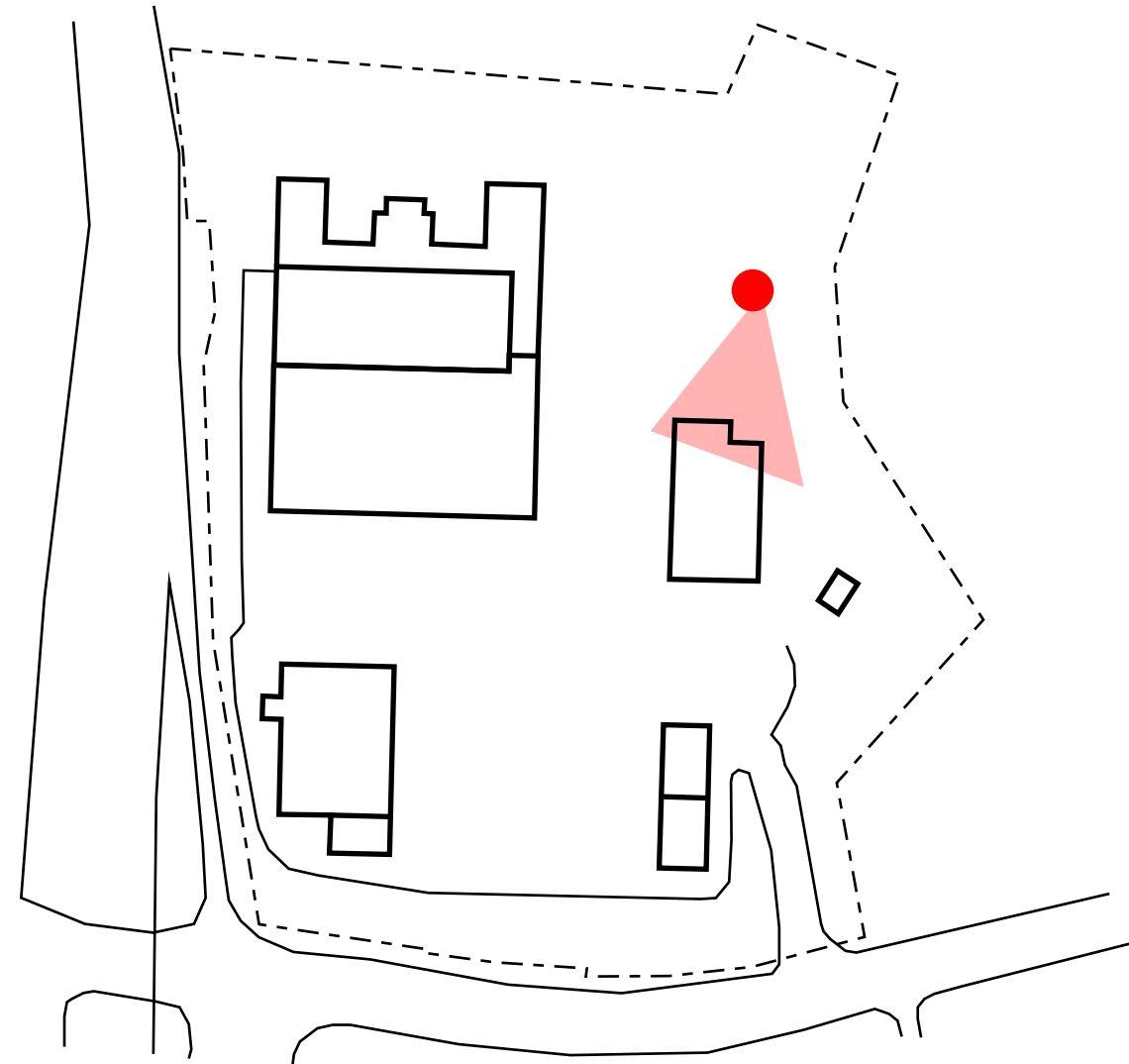


PROPOSED RENDERED PERSPECTIVE VIEW 9.0

VIEW OF FRONT AND SIDE FACADE OF PROPOSED ONE STORY MARKET BUILDING

NOTES:

1. CONNECTIONS TO THE EXISTING AND PROPOSED TRAILS ARE INDICATED WITH NOTATIONS.
2. PROPOSED BUILDING ARCHITECTURE REFLECTS A COORDINATED DESIGN AMONGST THE PROPOSED APARTMENT BUILDING, MARKET, RETAIL AND OFFICE BUILDINGS THAT IS COMPLIMENTARY TO THE ARCHITECTURE OF THE EXISTING BARN.



KEY PLAN

SCALE: NTS.
C/O BOHLER. REFER TO CIVIL PLANS C-302



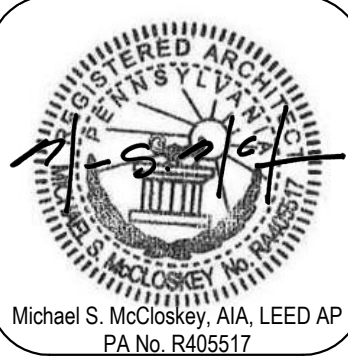
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PROPOSED RENDERING 8.0

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1

APARTMENT BUILDING - EAST ELEVATION

SCALE: 1/16" = 1'-0"

NOTES:

- MULTIFAMILY APARTMENT BUILDING HEIGHT: THE PROPOSED HEIGHT OF THE APARTMENT BUILDING IS LESS THAN 55 FEET AND DOES NOT EXCEED 4 STORIES. FOR PURPOSES OF MEASURING THE BUILDING, UNOCCUPIED ARCHITECTURAL FEATURES EXTENDING ABOVE THE MAIN ROOF, SUCH AS DORMERS, GABLES AND SIMILAR TREATMENTS ARE EXCLUDED FROM THE 55 FEET HEIGHT. SUCH FEATURES, AS PROVIDED, DO NOT EXCEED 10 FEET IN TOTAL HEIGHT.
- PARKING STRUCTURE HEIGHT: THE PROPOSED PARKING STRUCTURE IS NOT TALLER THAN THE RESIDENTIAL PORTIONS OF THE BUILDING.
- PARKING STRUCTURE: THE PARKING STRUCTURE IS WRAPPED WITH RESIDENTIAL UNITS AND NO MORE THAN 25% OF THE PERIMETER OF THE PARKING STRUCTURE IS EXPOSED. THE TOTAL PERIMETER OF THE PARKING STRUCTURE IS 892 FEET LONG AND THE EXPOSED PORTION IS 223 FEET (25%). THE EXPOSED PORTION OF THE PARKING GARAGE FACES ROUTE 309.



2

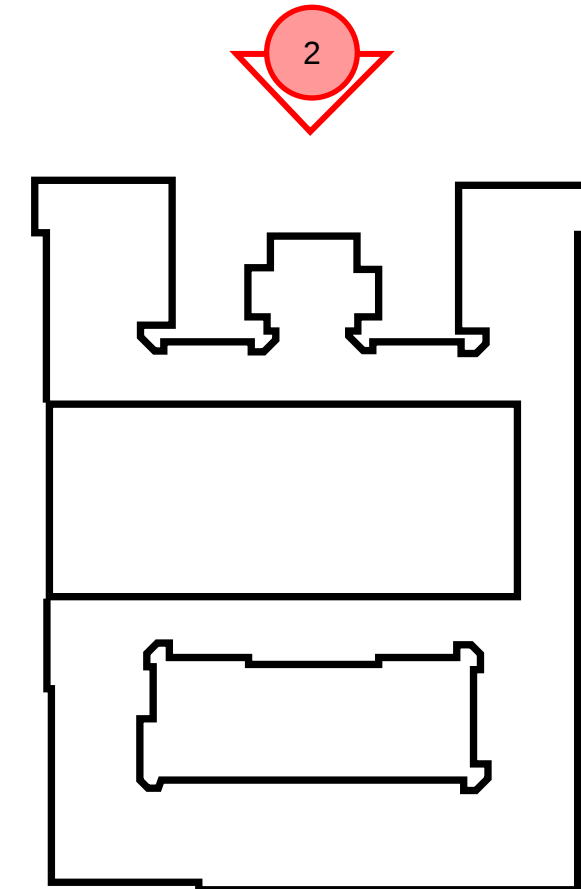
APARTMENT BUILDING - NORTH ELEVATION

SCALE: 1/16" = 1'-0"

NOTES:

- MULTIFAMILY APARTMENT BUILDING HEIGHT: THE PROPOSED HEIGHT OF THE APARTMENT BUILDING IS LESS THAN 55 FEET AND DOES NOT EXCEED 4 STORIES. FOR PURPOSES OF MEASURING THE BUILDING, UNOCCUPIED ARCHITECTURAL FEATURES EXTENDING ABOVE THE MAIN ROOF, SUCH AS DORMERS, GABLES AND SIMILAR TREATMENTS ARE EXCLUDED FROM THE 55 FEET HEIGHT. SUCH FEATURES, AS PROVIDED, DO NOT EXCEED 10 FEET IN TOTAL HEIGHT.
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REFER TO SHEET A-013 FOR
MATERIAL FINISH BOARD



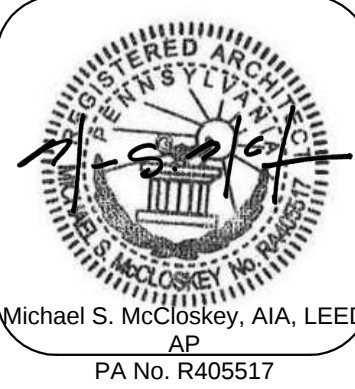
KEY PLAN
SCALE: NTS.



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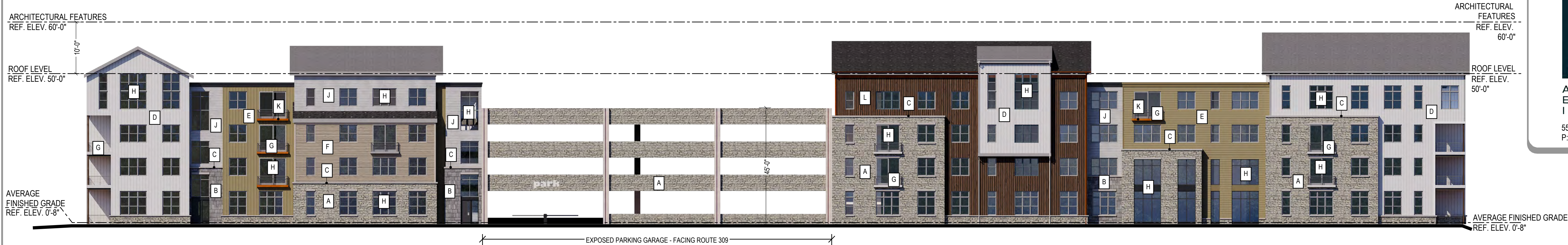


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PROPOSED APARTMENT EXTERIOR ELEVATIONS

A-012

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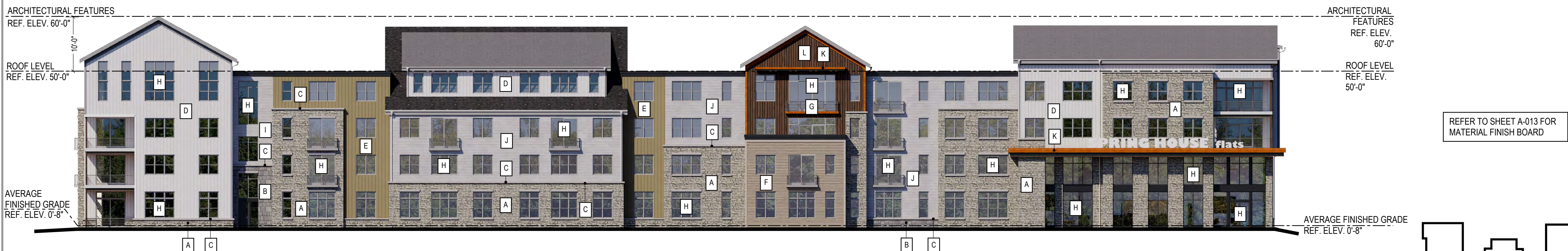
1

APARTMENT BUILDING - WEST ELEVATION

SCALE: 1/16" = 1'-0"

NOTES:

- MULTIFAMILY APARTMENT BUILDING HEIGHT: THE PROPOSED HEIGHT OF THE APARTMENT BUILDING IS LESS THAN 55 FEET AND DOES NOT EXCEED 4 STORIES. FOR PURPOSES OF MEASURING THE BUILDING, UNOCCUPIED ARCHITECTURAL FEATURES EXTENDING ABOVE THE MAIN ROOF, SUCH AS DORMERS, GABLES AND SIMILAR TREATMENTS ARE EXCLUDED FROM THE 55 FEET HEIGHT. SUCH FEATURES, AS PROVIDED, DO NOT EXCEED 10 FEET IN TOTAL HEIGHT.
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REFER TO SHEET A-013 FOR
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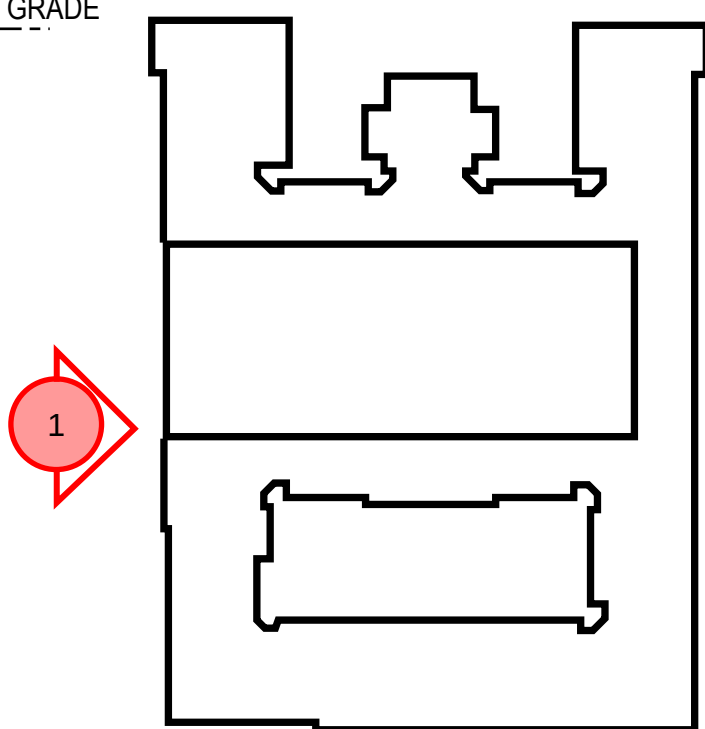
2

APARTMENT BUILDING - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

NOTES:

- MULTIFAMILY APARTMENT BUILDING HEIGHT: THE PROPOSED HEIGHT OF THE APARTMENT BUILDING IS LESS THAN 55 FEET AND DOES NOT EXCEED 4 STORIES. FOR PURPOSES OF MEASURING THE BUILDING, UNOCCUPIED ARCHITECTURAL FEATURES EXTENDING ABOVE THE MAIN ROOF, SUCH AS DORMERS, GABLES AND SIMILAR TREATMENTS ARE EXCLUDED FROM THE 55 FEET HEIGHT. SUCH FEATURES, AS PROVIDED, DO NOT EXCEED 10 FEET IN TOTAL HEIGHT.
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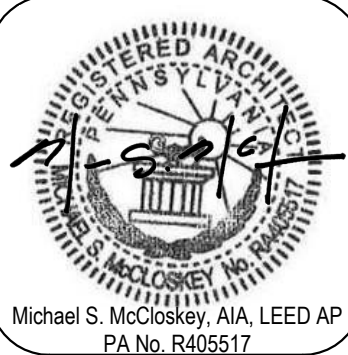


KEY PLAN
SCALE: NTS.

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PROPOSED APARTMENT EXTERIOR ELEVATIONS

A-013

Project Number: 2380.00-24

MASONRY



MANUFACTURED STONE VENEER

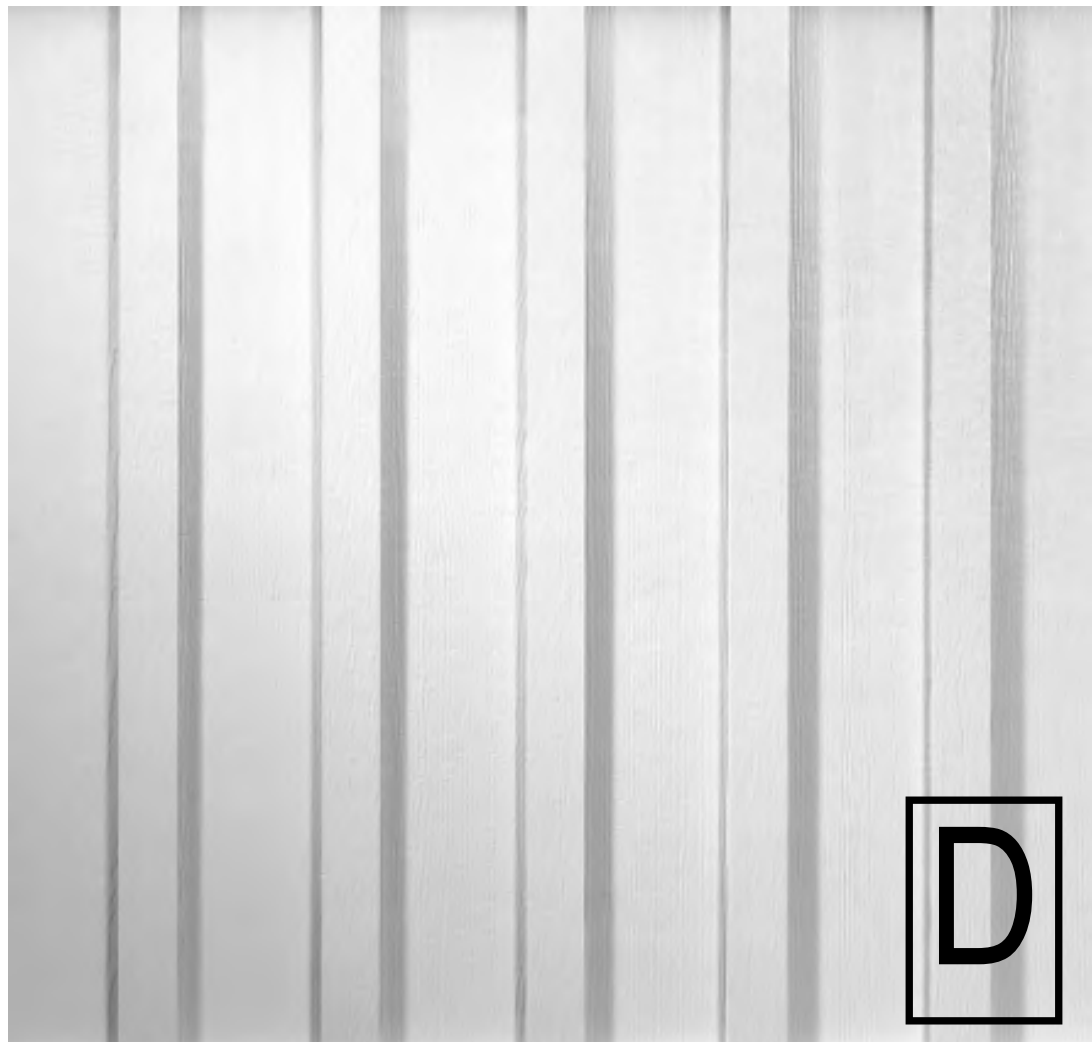


MANUFACTURED STONE VENEER



MANUFACTURED STONE LEDGER

SIDING



FIBER CEMENT BOARD + BATTEN SIDING

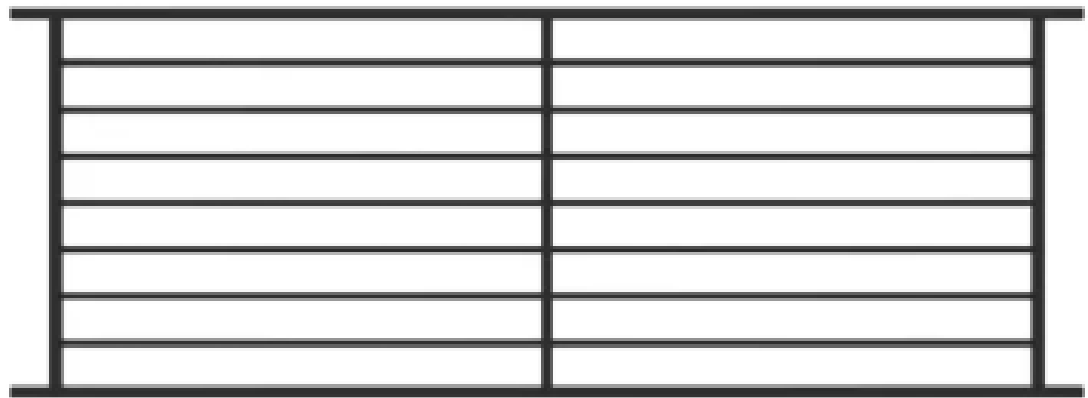


FIBER CEMENT HORIZONTAL SIDING

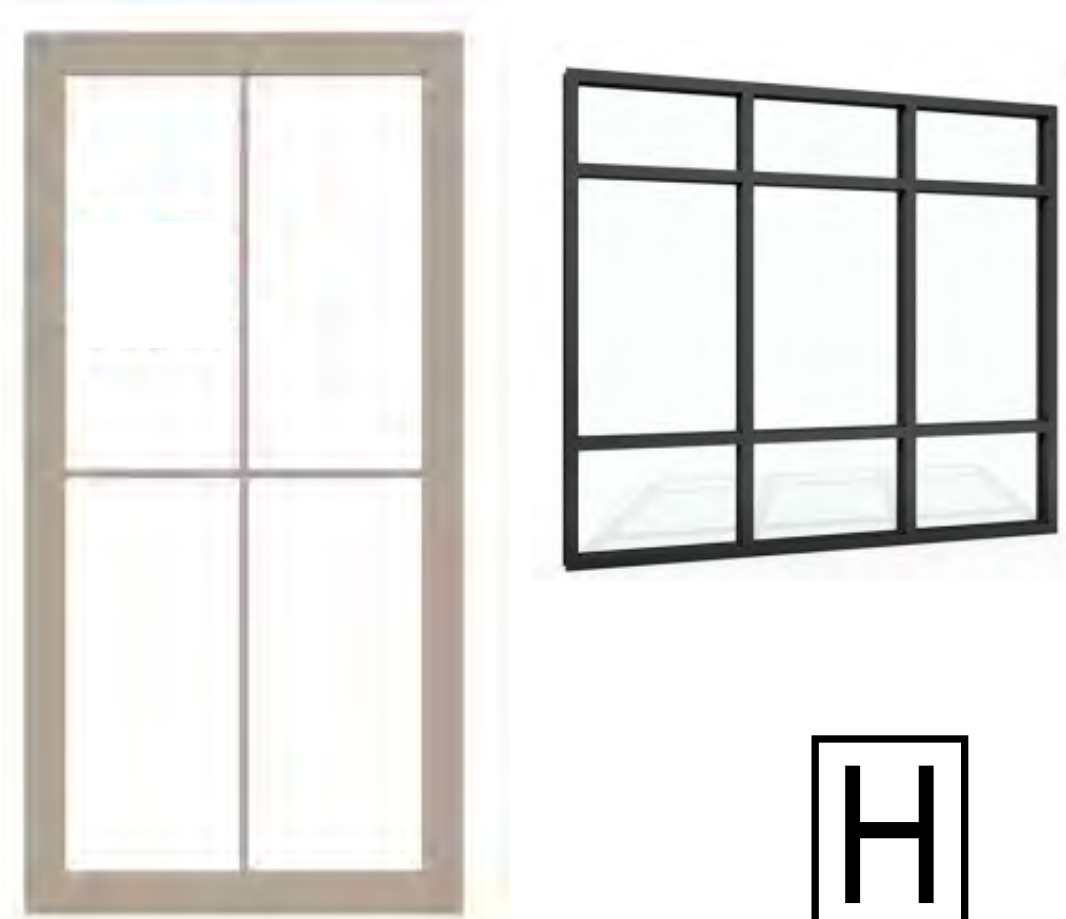


FIBER CEMENT HORIZONTAL SIDING

SIDING + ACCENTS



BLACK HORIZONTAL ALUMINUM RAILING



SANDTONE HUNG WINDOW
BLACK STOREFRONT SYSTEM



FIBER CEMENT HORIZONTAL SIDING

SIDING



FIBER CEMENT WOOD-LOOK SIDING



FIBER CEMENT WOOD-LOOK SIDING



FIBER CEMENT WOOD-LOOK SIDING



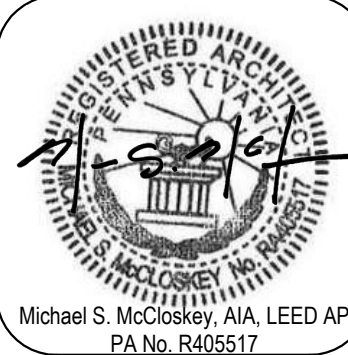
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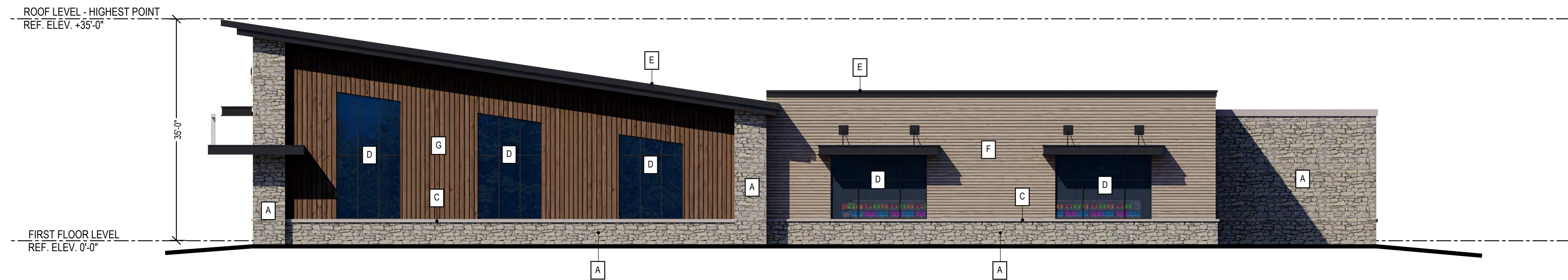


Michael S. McCloskey, AIA, LEED AP
PA No. R465317

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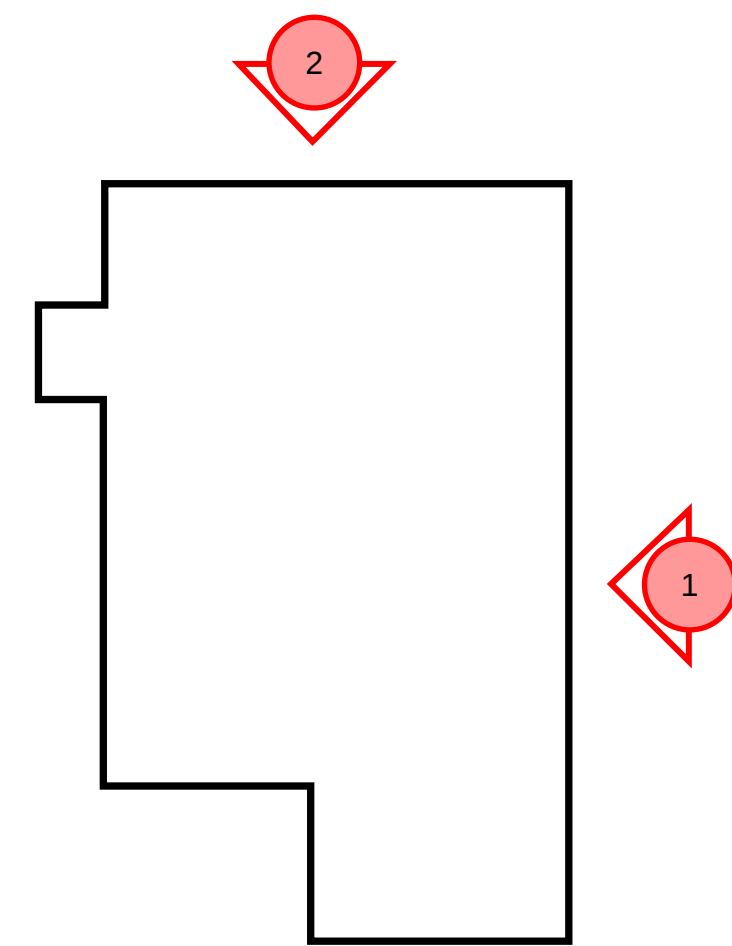


1 MARKET BUILDING - EAST ELEVATION
SCALE: SCALE: 1" = 10'-0"



2 MARKET BUILDING - NORTH ELEVATION
SCALE: SCALE: 1" = 10'-0"

REFER TO SHEET A-016 FOR
MATERIAL FINISH BOARD



KEY PLAN
SCALE: NTS.

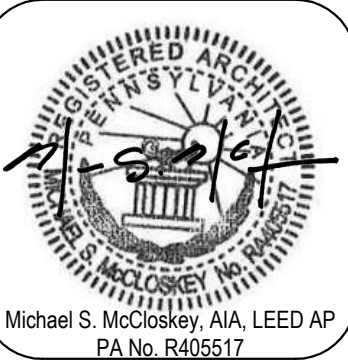


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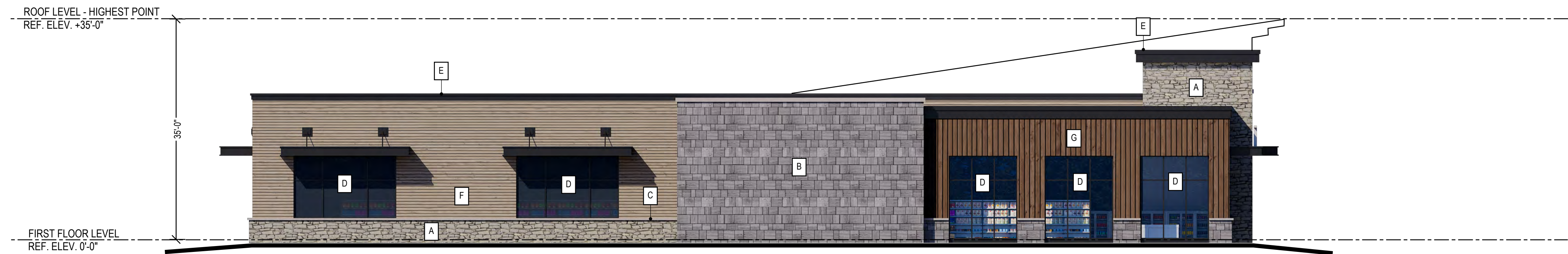
PROPOSED MARKET
EXTERIOR ELEVATIONS

A-015

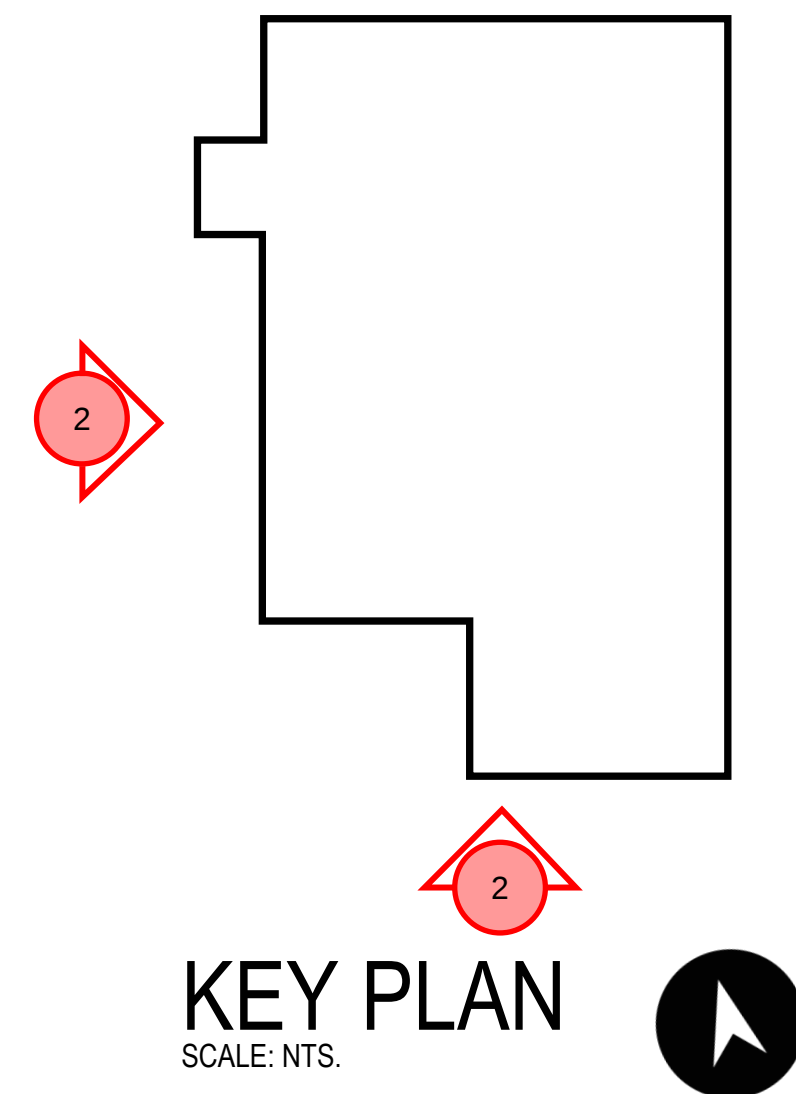
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1 MARKET BUILDING - WEST ELEVATION
SCALE: SCALE: 1" = 10'-0"



2 MARKET BUILDING - SOUTH ELEVATION
SCALE: SCALE: 1" = 10'-0"



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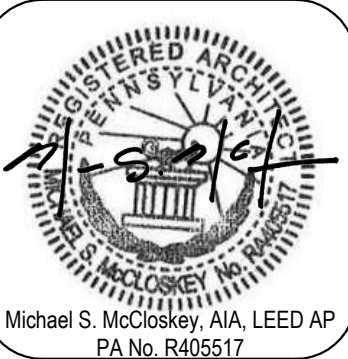
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PROPOSED MARKET
EXTERIOR ELEVATIONS

A-016

Project Number: 2380.00-24

MASONRY



MANUFACTURED STONE VENEER



MANUFACTURED STONE VENEER



MANUFACTURED STONE LEDGER

SIDING + ACCENTS



BLACK STOREFRONT WINDOW + DOOR SYSTEM



BLACK ALUMINUM COPING + TRIM



FIBER CEMENT WOOD-LOOK SIDING

SIDING



FIBER CEMENT WOOD-LOOK SIDING



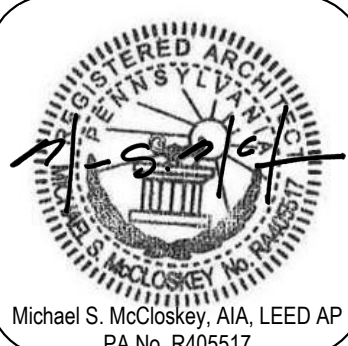
ARCHITECTURE
ENGINEERING
INTERIORS

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321 NORRISTOWN ROAD
MIXED-USE
DEVELOPMENT

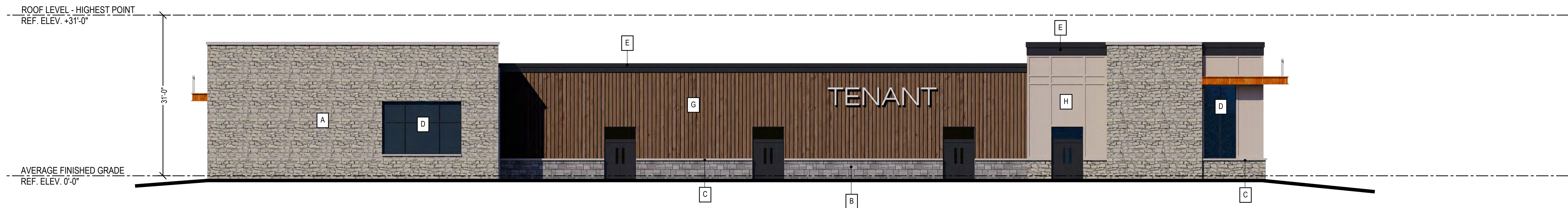
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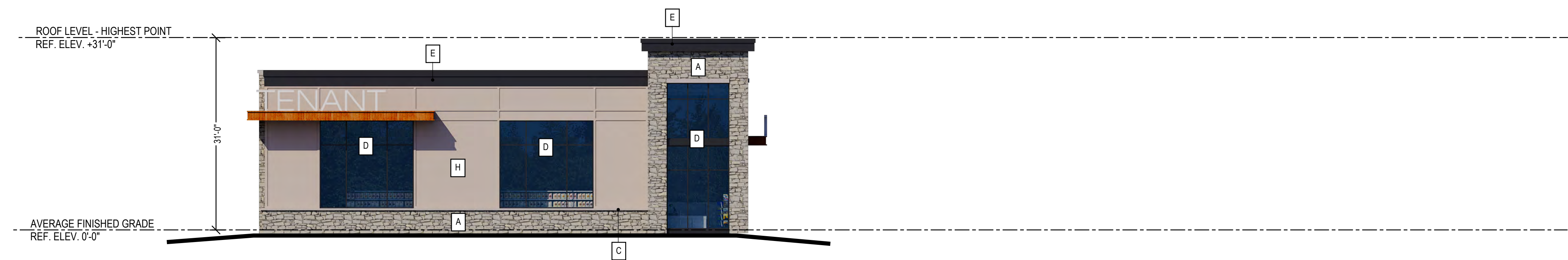


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PA No. R465317

REV	DESCRIPTION	DATE
A	CONDITIONAL USE SUBMISSION	07.22.26

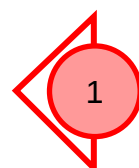
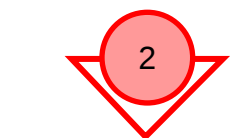


1 RETAIL BUILDING - EAST ELEVATION
SCALE: 1" = 10'-0"



2 RETAIL BUILDING - NORTH ELEVATION
SCALE: 1" = 10'-0"

REFER TO SHEET A-019 FOR
MATERIAL FINISH BOARD



KEY PLAN
SCALE: NTS.



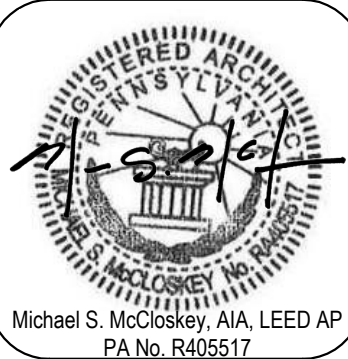
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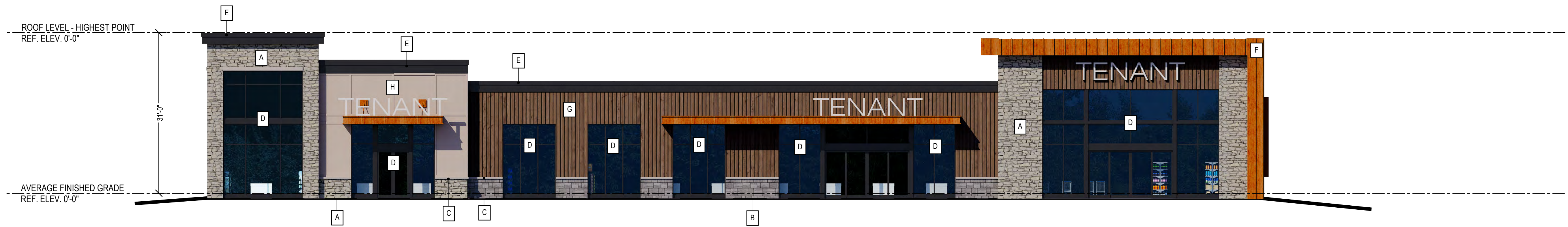


REV	DESCRIPTION	DATE
A	CONDITIONAL USE SUBMISSION	07.22.26

PROPOSED RETAIL
EXTERIOR ELEVATIONS

A-018

Project Number: 2380.00-24

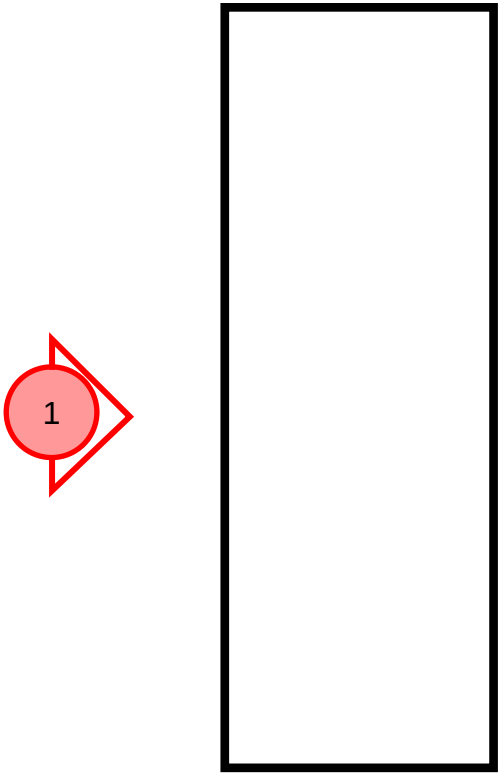


1 RETAIL BUILDING - WEST ELEVATION
SCALE: SCALE: 1" = 10'-0"



2 RETAIL BUILDING - SOUTH ELEVATION
SCALE: SCALE: 1" = 10'-0"

REFER TO SHEET A-019 FOR
MATERIAL FINISH BOARD



KEY PLAN
SCALE: NTS.



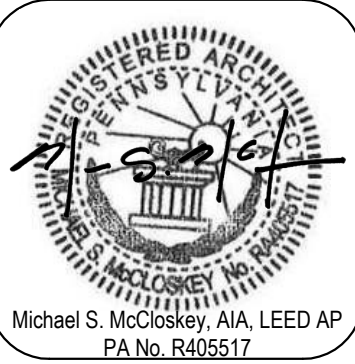
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PROPOSED RETAIL
EXTERIOR ELEVATIONS

A-019

Project Number: 2380.00-24

MASONRY



MANUFACTURED STONE VENEER



MANUFACTURED STONE VENEER



MANUFACTURED STONE LEDGER

SIDING + ACCENTS



BLACK STOREFRONT WINDOW + DOOR SYSTEM



BLACK ALUMINUM COPING + TRIM



FIBER CEMENT WOOD-LOOK SIDING

SIDING



FIBER CEMENT WOOD-LOOK SIDING



FIBER CEMENT BOARD + BATTEN SIDING



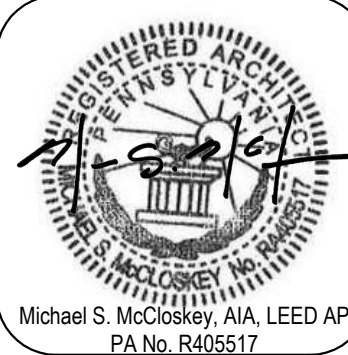
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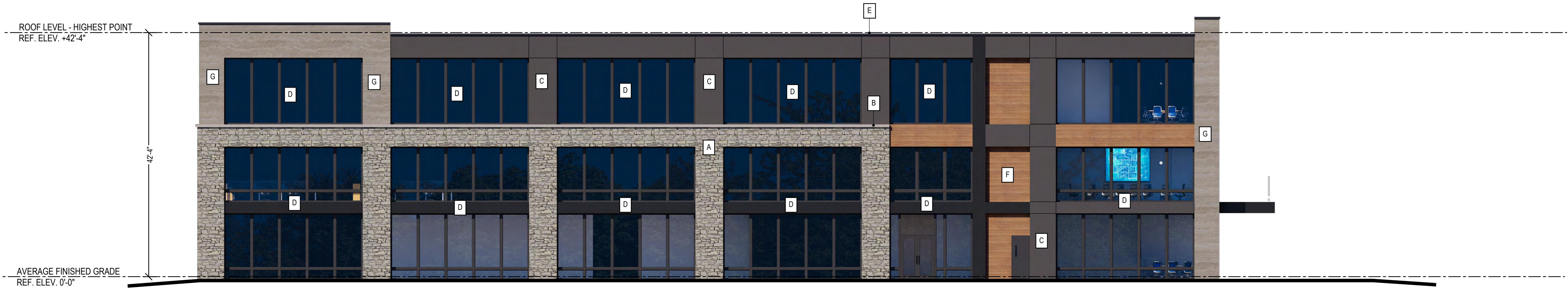
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PA No. R465317

REV	DESCRIPTION	DATE
A	CONDITIONAL USE SUBMISSION	07.22.26

PROPOSED RETAIL
EXTERIOR FINISH BOARD

A-020

Project Number: 2380.00-24

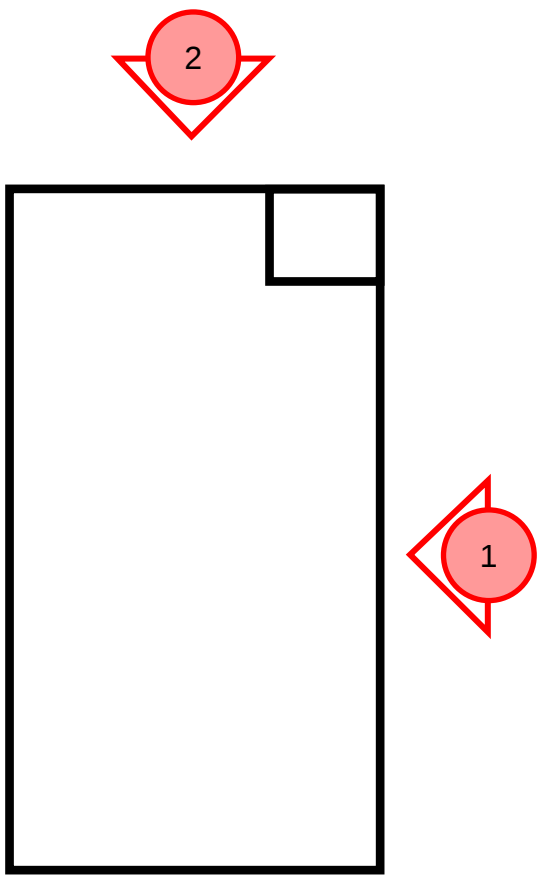


1 OFFICE BUILDING - EAST ELEVATION
SCALE: SCALE: 1" = 10'-0"



2 OFFICE BUILDING - NORTH ELEVATION
SCALE: SCALE: 1" = 10'-0"

REFER TO SHEET A-022 FOR
MATERIAL FINISH BOARD



KEY PLAN
SCALE: NTS.



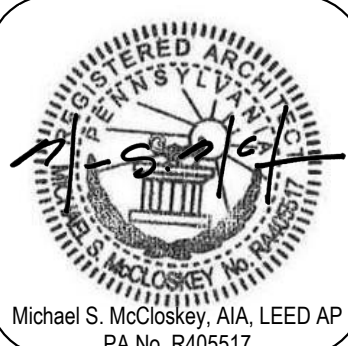
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A	CONDITIONAL USE SUBMISSION	07.22.26

PROPOSED OFFICE
EXTERIOR ELEVATIONS

A-021

Project Number: 2380.00-24

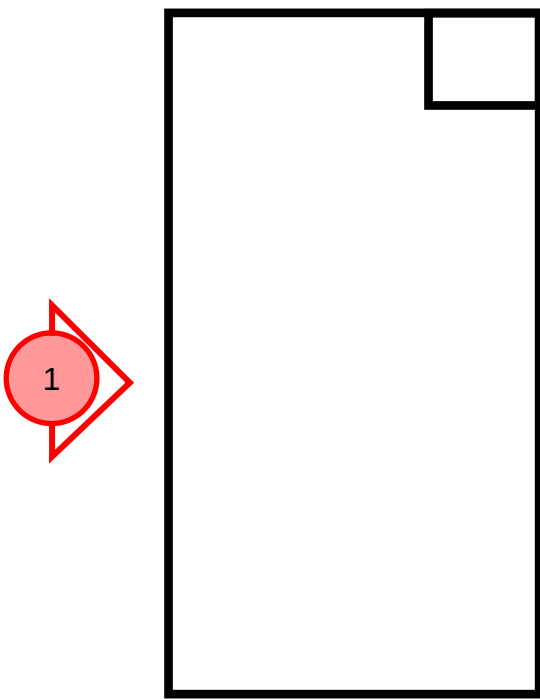


1 OFFICE BUILDING - WEST ELEVATION
SCALE: 1" = 10'-0"



2 OFFICE BUILDING - SOUTH ELEVATION
SCALE: SCALE: 1" = 10'-0"

REFER TO SHEET A-022 FOR
MATERIAL FINISH BOARD



KEY PLAN
SCALE: NTS.



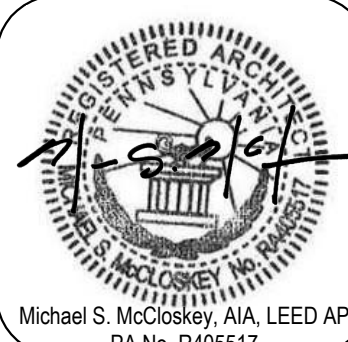
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PROPOSED OFFICE
EXTERIOR ELEVATIONS

A-022

Project Number: 2380.00-24

MASONRY + PANELS



MANUFACTURED STONE VENEER

SIDING + ACCENTS



BLACK STOREFRONT WINDOW + DOOR SYSTEM



COMPOSITE CONCRETE PANEL



MANUFACTURED STONE LEDGER



BLACK ALUMINUM COPING + TRIM



ALUMINUM METAL WALL PANEL



FIBER CEMENT WOOD-LOOK SIDING

1

OFFICE BUILDING MATERIAL FINISH BOARD

SCALE: NTS



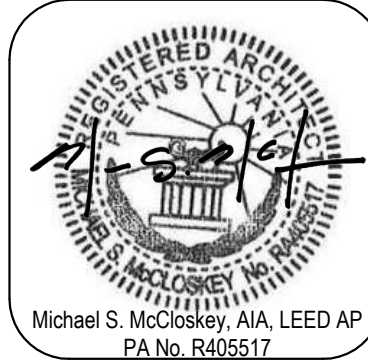
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PROPOSED OFFICE
EXTERIOR FINISH BOARD

A-023

Project Number: 2380.00-24