

# FOULKEWAYS at GWYNEDD

## FITNESS CENTER EXPANSION

### PRELIMINARY / FINAL LAND DEVELOPMENT

#### Lower Gwynedd Township – Montgomery County – Pennsylvania

#### SITE ZONING SCHEDULE

Ordinance Item:	Section No.:	Requirement:	PLAN PROPOSED:
Zoning District: MF-3A MULTIFAMILY RESIDENTIAL [*]			
Permitted Uses:	1278.02(a) 1278.02(b)	Housing for the elderly Residential Nursing Care Facilities	
Minimum Lot Area:	1278.03(a)	20 Acres	106.8437 Ac.
Minimum Lot Width:	1278.03(b)	200 Ft.	1,370 Ft. <i>Sumneytn Pk</i> 1,105 Ft. <i>Dekalb Pk</i> 1,570 Ft. <i>Mighe Rd</i> 916 Ft. <i>Evans Rd</i>
Minimum Front Yards:	1278.04(a)(1) 1278.04(b)	200 Ft. 75 Ft.	>200 Ft. (See Plan) >75 Ft. (See Plan)
Minimum Side/Rear Yards:	1278.04(c)(2) 1278.04(b) 1278.04(c)(2)	75 Ft. 175 Ft. 75 Ft. 200 Ft.	>75 Ft. (See Plan) >175 Ft. (See Plan) >75 Ft. (See Plan) >200 Ft. (See Plan)
Maximum Coverage:	1278.05(a) 1278.05(b)	20 % 45 %	10.64 % 28.38 %
Maximum Height:	1278.04(b)(2) 1278.06(a) 1278.06(b) 1278.06(c)	40 Ft. 50 Ft. 14 Ft. 50 Ft.	<40 Ft. <50 Ft. <14 Ft. <14 Ft.
Parking Quantity:	1278.07(a) 1294.01(b)(3)	0.85 Spaces/Unit (284 x .85 = 225) 1 Space/3 Beds (60 / 3 = 30) 1 Space/Employee (100 Lp Smith) Site Total: 355 Spaces	421 Spaces [4] 63 Spaces 190 Spaces 674 Spaces
Parking Setback:	1278.07(d)	20 Ft.	>20 Ft.
Density:	1278.08(c)(2)	4.0 D.U. / Gross Acre (411 Units Allowed)	3.33 D.U. / Gross Acre (356 Units)
Nursing Care Beds:	1278.08(c)(2)	20% of Units (82 Units Allowed)	12.08% of Allowed Units (43 Units)
Minimum Distance Between Buildings:	1278.08(b)	30 Ft.	> 30 Ft.

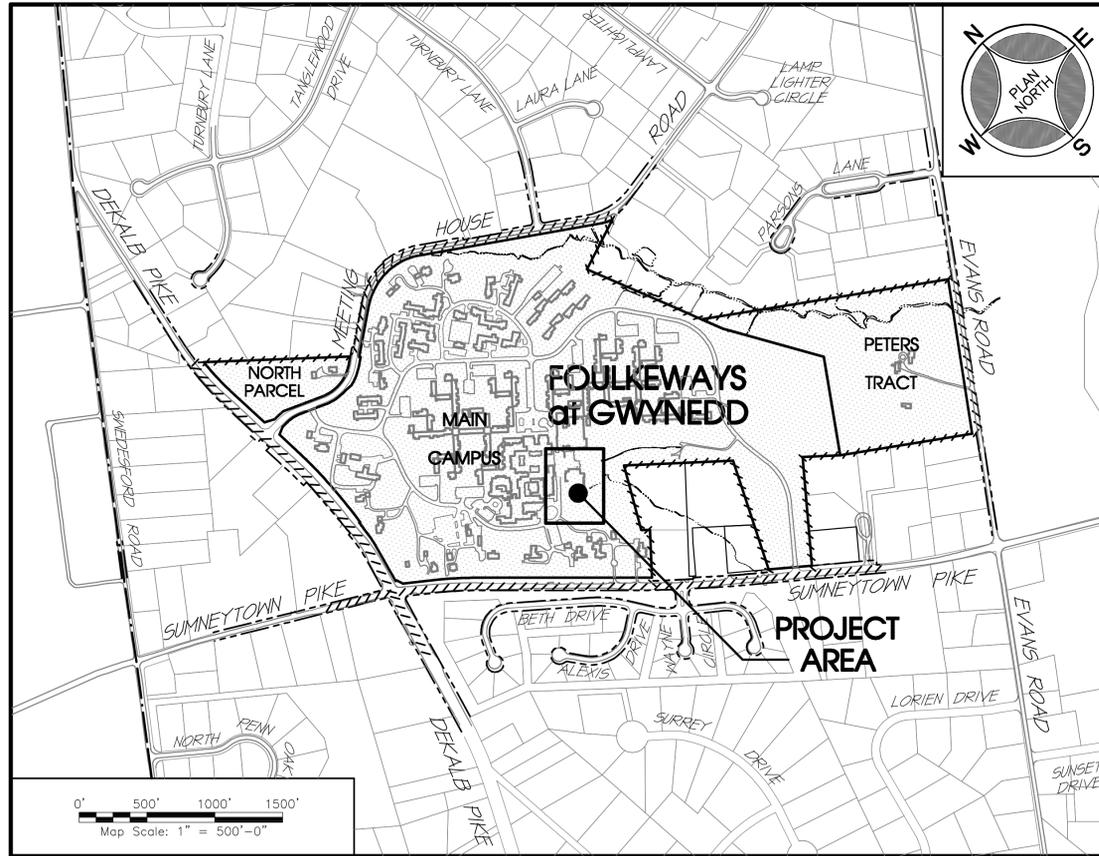
[\*] Per Zoning amendment by Ordinance #522, enacted 05/28/2019  
Note: Refer to plan sheet 3, Land Development Record Plan for all related zoning comments.

#### LAND DEVELOPMENT APPROVAL:

This application received Final Plan Approval by the Board of Supervisors at their regular meeting held on [ ] Project shall be in conformance with all conditions noted in Resolution No. [ ]

#### WAIVERS and DEFERRALS:

- The following WAIVERS are REQUESTED per Final Plan Approval:
- Section 1230.37(c)(4): Requiring curbing and the construction and dedication of additional right-of-way beyond the existing legal right-of-way for major roadways.
  - Section 1230.41(a) thru 1230.41(c)(1): Requiring street trees along Meetinghouse Rd, Dekalb Pike, Sumneytown Pike and Evans Rd.
  - Section 1230.41(c): Waiver to allow required replacement trees in alternate location on project Campus. Plan (Sheet B) demonstrates need for twenty (20) replacement trees. Prior to recording, the plans shall be revised to show the location of these replacement trees or a tree-in-lieu of \$7,000 (\$350/tree) shall be paid to the Township.
  - Section 1230.45: Requiring sidewalks along all existing and new streets and pedestrian trails to be a min. width of 5'-0", except in such locations as may be determined by the Board of Supervisors.
  - Section 1230.59: Applies to frontage along Meetinghouse Road, Dekalb Pike (SR 202), Sumneytown Pike, and Evans Road (SR 2016).
  - Section 1241.401(a): Partial relief requiring to install monuments along all Property corners. Relief from the requirement of all storm piping to be a min. of 18" diameter and reinforced concrete material.



PROJECT LOCATION MAP

#### PROJECT SHEET INDEX

SHEET No.:	SHEET DESCRIPTION:
* 1 of 14	COVER – INDEX PLAN
* 2 of 14	LAND DEVELOPMENT – RECORD PLAN
3 of 14	EXISTING FEATURES and NEIGHBORHOOD PLAN
4 of 14	PROJECT EXISTING FEATURES and DEMOLITION PLAN
5 of 14	PROJECT LAYOUT DETAIL PLAN
6 of 14	PROJECT GRADING and DRAINAGE PLAN
7 of 14	PROJECT UTILITIES LAYOUT PLAN
8 of 14	CONSTRUCTION DETAILS – SHEET 'A'
9 of 14	CONSTRUCTION DETAILS – SHEET 'B'
10 of 14	EROSION and SEDIMENTATION CONTROL PLAN
11 of 14	EROSION and SEDIMENTATION CONTROL NOTES
12 of 14	EROSION and SEDIMENTATION CONTROL DETAILS
13 of 14	PLAN and PROFILE: CROSS-LOT UTILITIES
14 of 14	PLAN and PROFILE: CROSS-LOT UTILITIES

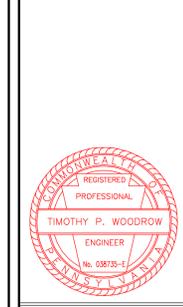
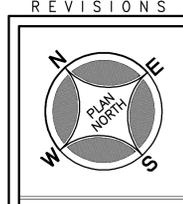
#### RECORDING NOTE:

\* COVER – INDEX PLAN (Sheet 1) and LAND DEVELOPMENT – RECORD PLAN (Sheet 2) to be recorded with the Montgomery County Recorder of Deeds.  
Plan Sheets 1 through 14 of 14 (Inclusive), on record with Lower Gwynedd Township, shall be considered a part of the approved Final Plan as if recorded with same.

#### PROJECT SCOPE:

This Application is for the construction of a new Expansion & Addition of the existing Fitness Center. No Addition or Expansion of Residential Units is proposed with this Application.

NO.	DATE	DESCRIPTION



PROJECT SERIAL NUMBER FOR DESIGN:



Parcel Information:  
MAIN CAMPUS:  
Block 5 Unit 10  
NORTH PARCEL:  
Block 5 Unit 47

Deed Area: 106.8437 Ac.  
R# Area: -1.5537 Ac.  
Restricted Land: -2.4495 Ac.  
Developable Area: 102.8405 Ac.

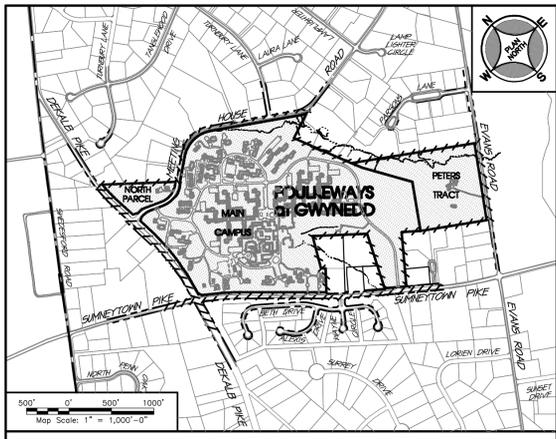
Applicant:  
**FOULKWAYS at GWYNEDD**  
c/o Phil DeBraun, C.E.O.  
1120 Meetinghouse Road  
Gwynedd, PA 19436  
(215) 643-2200

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PRELIMINARY / FINAL PLAN  
**COVER – INDEX PLAN**  
**FOULKWAYS at GWYNEDD**  
LOWER GWYNEDD TOWNSHIP – MONTGOMERY COUNTY – PENNSYLVANIA  
**WOODROW & ASSOCIATES, INC.**  
MUNICIPAL / CIVIL CONSULTING ENGINEERS  
1108 North Merion Road, Suite 400, Philadelphia, PA 19104  
Phone: (215) 542-6448 Web: www.woodrowinc.com

Layer List:  
D15-Sh01\_Cover  
Job No:  
05-0903 D15  
Plan Date:  
DECEMBER 03, 2025  
Sheet No:  
1 of 14





**CONSERVATION EASEMENT TABLE**

SYMBOL	BEARING	DISTANCE (Ft.)	SYMBOL	BEARING	DISTANCE (Ft.)
A1	S02°02'36"E	420.58	C1	N6°00'50"E	49.39
A2	N88.23°24'W	39.76	C2	N87°58'07"E	27.96
A3	S87°58'07"W	27.96	C3	Radius 248.00 Ft. Arc Length: 32.23 Ft.	
A4	N63.37°44'W	62.23	C4	S05°24'55"W	162.77
A5	N04.01°19'W	264.94	C5	S86°44'31"W	80.00
A6	Radius 1520.0 Ft. Arc Length: 238.75 Ft.		C6	Radius 3000.0 Ft. Arc Length: 400.00 Ft.	
A7	S48.35°56"E	166.70	C7	N0°01'19"W	106.82

Area: 60,373.51 Sq. Ft. / 1.3860 Acres    Area: 14,874.06 Sq. Ft. / 0.3415 Acres

**IMPERVIOUS AREA SCHEDULE**

BASED ON DEVELOPABLE AREA OF UNIT 10 (MAIN CAMPUS): 98.3658 Acres

Category	Existing	Demolition	New	Total
Buildings	10.35 Acres	- 0.00 Ac.	+ 0.11 Ac.	= 10.46 Acres
Paving (Drives)	13.26 Acres	- 0.00 Ac.	+ 0.00 Ac.	= 13.26 Acres
Paving/Conc Walks	3.43 Acres	- 0.06 Ac.	+ 0.08 Ac.	= 3.45 Acres
Decks/Patios	0.75 Acres	- 0.00 Ac.	+ 0.00 Ac.	= 0.75 Acres
<b>TOTAL</b>	<b>27.79 Acres</b>	<b>- 0.06 Ac.</b>	<b>+ 0.19 Ac.</b>	<b>= 27.92 Acres</b>

**PARCEL OWNERSHIP SCHEDULE**

PARCEL ID	DEED AREA	AREA WITHIN UNIT R.O.W.	LOT AREA	RESTRICTED LANDS	DEVELOPABLE ACRES
MAIN CAMPUS (Block 5, Unit 10) (TP 39-00-02671-00-8)	102.3690 Ac.	-1.5537 Ac.	100.8153 Ac.	-2.4495 Ac.	98.3658 Ac.
NORTH PARCEL (Block 5, Unit 11) (TP 39-00-02671-01-7)	4.4747 Ac.	-0.0000 Ac.	4.4747 Ac.	-0.0000 Ac.	4.4747 Ac.
<b>AREA TOTALS:</b>	<b>106.8437 Ac.</b>	<b>-1.5537 Ac.</b>	<b>105.2900 Ac.</b>	<b>-2.4495 Ac.</b>	<b>102.8405 Ac.</b>

**LAND DEVELOPMENT APPROVAL:**

This application requesting Final Plan Approval by the Board of Supervisors at their regular meeting held on \_\_\_\_\_ Project shall be in conformance with all conditions noted in Resolution No. \_\_\_\_\_

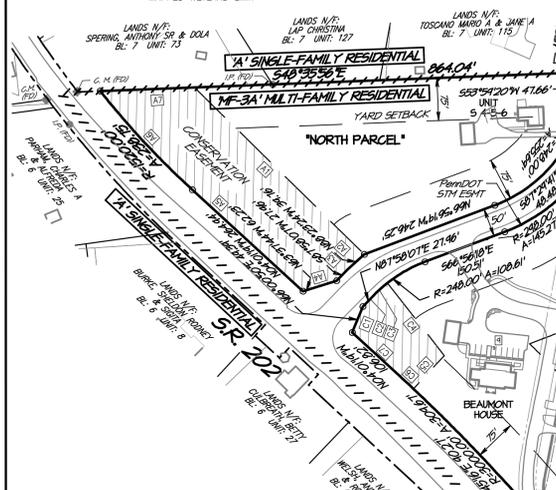
**WAIVERS and DEFERRALS:**

The following WAIVERS are REQUESTED per Final Plan Approval:

- Section 1230.2(a)(1): Requiring curbing and the construction and dedication of additional right-of-way beyond the existing legal right-of-way for major roadways.
- Section 1230.4(a): Requiring street trees along Meetinghouse Rd, Dekalb Pike, Sumneytown Pike and Evans Rd.
- Section 1230.4(f): Waiver to allow required replacement trees in alternate location on project campus. Plan (Sht 8) demonstrates need for Twenty (20) replacement trees. Prior to recording, the plans shall be revised to show the location of these replacement trees or a fee-in-lieu of \$7,000 (\$350/tree) shall be paid to the Township.
- Section 1230.45: Requiring sidewalks along all existing and new streets and pedestrian trails to be a min. width of 8-ft; except in such locations as may be determined by the Board of Supervisors.
- Section 1230.59: Apply to frontage along Meetinghouse Road, Dekalb Pike (SR 202), Sumneytown Pike, and Evans Road (SR 2014).
- Section 1241.40(f): Partial relief requiring to install monuments along all Property corners. Relief from the requirement of all storm piping to be a min. of 18" diameter and Reinforced concrete material.

**PLAN LEGEND**

- EXISTING (EX) FEATURES**
- IRON PIPELINE (FOUND)
  - CONCRETE MONUMENT (FOUND)
  - TRACT BOUNDARY
  - EX R/W CENTERLINE
  - EX ZONING BOUNDARY
  - EX ALLOWED SOIL LIMIT
  - MAPPED WATERS LIMIT
  - MAPPED WETLAND LIMIT
- CAMPUS ACCESS SIGHT DISTANCES:**
- Sumneytown Pike: Posted Speed Limit: 35 MPH  
 500± Ft. (Left)  
 325± Ft. (Right)
- Meetinghouse Road: Posted Speed Limit: 34.3± Ft. (Left)  
 285± Ft. (Right)
- Existing field measured sight distances.



**OWNER CERTIFICATION**

I, Phil DeBraun, Chief Executive Officer of Foulkeways at Gwynedd, Owner, hereby acknowledge this Plan to be the official plan of the highways and properties shown thereon situate in the Township of Lower Gwynedd, Montgomery County, Pennsylvania, and desire that this Plan be recorded according to law.

**WITNESS WHEREOF,** I have hereunto set my hand and official seal.

By: Phil DeBraun, Chief Executive Officer

**COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONTGOMERY**

On this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me as a duly qualified and authorized Notary Public, known to me as the Chief Executive Officer of Foulkeways at Gwynedd, and as such officer, being duly authorized to do so, executed the within instrument on behalf of the corporation for the purposes therein contained by signing the name of the corporation by himself as such officer.

**IN WITNESS WHEREOF,** I have hereunto set my hand and official seal.

Notary Public: \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_

**BOARD OF SUPERVISORS CERTIFICATE**

Approved by the Township Board of Supervisors of the Township of Lower Gwynedd on this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Manager: \_\_\_\_\_ Chair: \_\_\_\_\_

**PLANNING COMMISSION CERTIFICATE**

Recommended for approval by the Planning Commission of the Township of Lower Gwynedd on this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chair: \_\_\_\_\_

**TOWNSHIP ENGINEER CERTIFICATE**

Reviewed by the Township Engineer of the Township of Lower Gwynedd certifying that this plan conforms to the Township Subdivision & Land Development Regulations on this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Township Engineer: \_\_\_\_\_

**RECORDER OF DEEDS:**

Recorded this \_\_\_\_\_ day of \_\_\_\_\_, 2026 in the Office for the recording of deeds, in and for the County of Montgomery, Pennsylvania in Plan Book \_\_\_\_\_, Page \_\_\_\_\_.

**MPCC No.:** \_\_\_\_\_

**PROCESSED AND REVIEWED.** A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

**Certified this date:** \_\_\_\_\_

For the Director  
 Montgomery County Planning Commission

**ENGINEER'S CERTIFICATION**

I, TIMOTHY P. WOODROW, P.E., do hereby certify that I am a Registered Professional Engineer, licensed in compliance with the laws of the Commonwealth of Pennsylvania; that this plan was prepared by myself or under my supervision and that said plan complies with ordinances and regulations of the Township.

Signature: \_\_\_\_\_ Lic. no: 038735-E

**SURVEYOR'S CERTIFICATION**

I, \_\_\_\_\_, do hereby certify that I am a Registered Professional Land Surveyor, licensed in compliance with the laws of the Commonwealth of Pennsylvania; that this plan correctly represents a survey made by myself or under my supervision and that all dimensional and geodetic details shown are correct.

Signature: \_\_\_\_\_ Lic. no: SU075710

**BREAKDOWN OF RESTRICTED LANDS:**

UNIT	UNIT 10:	UNIT 47:
Floodplains: [a]	0.0000 Ac.	0.0000 Ac.
Land Continuously Covered by Water:	0.0000 Ac.	0.0000 Ac.
Watercourses: [b]	0.2192 Ac.	0.0000 Ac.
Waters:	0.2716 Ac.	0.0000 Ac.
Wetlands: [c]	0.2325 Ac.	0.0000 Ac.
Wetlands Buffers: [d]	1.9704 Ac.	0.0000 Ac.
Aboveground Utility Easements:	0.0000 Ac.	0.0000 Ac.
<b>TOTAL:</b>	<b>2.4495 Ac.</b>	<b>0.0000 Ac.</b>

**CAMPUS UNIT SCHEDULE**

Unit Types:	Existing Count:	Proposed Count:
Independent Living Unit (ILU)	259	259
Personal Care/Assisted Living	89	89
Guest Unit [e]	8	8
<b>TOTAL</b>	<b>356</b>	<b>356</b>
Skilled Care (Beds)	43	43

[e] Guest Units are utilized by Short-Term/Non-Resident Visitors

**GENERAL NOTES**

- EXISTING FEATURES AND BASE SURVEY INFORMATION:**
- The total project area depicted consists of Block 5, Units 10 & 47, under single ownership.
  - The Metes and Bounds depicted upon this plan were derived from plans listed in the references below and field surveys performed by Woodrow & Associates, Inc.
  - Right-of-Way area from Sumneytown Pike (County Road), Dekalb Pike (SR 0202) and Meetinghouse Road (Township Road) were taken in dedication by the Pennsylvania Department of Transportation in December 2008 as depicted on a plan referenced in note 5 below.
  - The topography and peripheral existing features shown on these plans were derived from the following sources:
    - Aerial photography and additional vertical datum references provided by the PA Social Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum. Flight date was Spring 2008, updated by DVMC flight 2019.
    - Detailed field survey work performed by Woodrow & Associates, Inc. for project target areas within Campus and Peters Tract. Additional field survey work was collected along the frontage of Sumneytown Pike and Meetinghouse Road frontages. Field work collected thru June 2019.
    - Existing soils mapped from the Web Soil Survey (WSS) soil data produced by the National Cooperative Soil Survey operated by the USDA Natural Resources Conservation Service (NRCS).
    - Project Plan References:
      - Master Plan of Foulkeways at Gwynedd, prepared by Bursch Associates, Inc., dated February 1, 1991 and being sheet 2 of 2.
      - As-Built Utility Plan of Foulkeways at Gwynedd, prepared by Bursch Associates, Inc., dated December 8, 1992 and being sheet 1 of 4.
      - As-Built Utility Plan of Foulkeways at Gwynedd, prepared by Bursch Associates, Inc., dated December 8, 1992 and being sheet 3 of 4.
      - General Plan - Additions to Residential Units of Foulkeways at Gwynedd, by Bursch Associates, Inc., dated February 4, 2003, last revised June 12, 2003.
      - Right-of-Way Open Information Plan, by Pennsylvania Department of Transportation, Sheet 146 thru 162 of 183, SR 202 Section 658 R/W dated 01-08-2006.
      - Top maps and street records as obtained from the Recorder of Deeds online resources.
    - This site lies within the Zone X Flood Plain Zone as illustrated on Community Panel 420953-2590 & 420953-2780, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No conditional floodplain study is a part of this plan preparation.
    - Multiple field investigation(s) have been performed by Penn Trail Environmental of Hatfield, PA on this property to map locations of wetlands, regulated waters and Alluvial Soils. The results are identified on the other sheets.
    - It is noted that Foulkeways properties depicted are currently zoned MF-3A and that the Beaumont House is subject to the Lower Gwynedd Township Historic Ordinance.
- SITE DEVELOPMENT INFORMATION:**
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
  - All proposed utilities (including but not limited to electric, gas, telephone, cable tv, etc.) shall be installed underground in strict accordance with the operating authority's specifications.
  - Sanitary sewer is conveyed on-site by private system to public conveyance and treatment off-site by Lower Gwynedd Township Municipal Authority. Public water supply provided by the North West Water Authority (NWWA).
  - The stormwater Best Management Practices (BMPs) shown on these plans are a basic and perpetual part of the storm water management system of the proposed site located within the Municipality and, as such, are to be protected and preserved in accordance with the approved Final Plans by the owners, their successors, and assigns at all times. The Municipality and/or its agents reserve the right to determine that the structural and design integrity is being maintained by the owner and the proper operation and maintenance are being conducted.
  - The proposed ultimate Right-of-Way width for Meetinghouse Road, Sumneytown Pike and Evans Road are hereby offered to the agency having jurisdiction at the time of dedication.
  - Any damage incurred within the public Right-of-Way as a result of construction is to be repaired at the owner's sole expense.
  - A detailed retaining wall design and supporting structural calculations shall be submitted to the Township Engineers office for review and approval prior to installation. Design by others.
  - The applicant shall enter into a Stormwater Ownership and Maintenance Agreement with Lower Gwynedd Township for the proposed stormwater facilities on site and must be executed prior to plan recording.
  - All proposed units shall be equipped with sprinkler systems per Township Code.
- APPROVAL CONDITION ITEMS:**
- Applicant to install a trail marking system, consistent with the system used on other Township trails, on all trails in the Foulkeways community.
  - Applicant to institute a tracking system for all tree planting on the campus and will make that information available to Lower Gwynedd Township upon request.
  - Applicant shall install flashing beacon lights for the pedestrian crossing at Meetinghouse Road and Turnbury Lane, when deemed necessary by the Township Traffic Engineer.

**SITE ZONING SCHEDULE**

Zoning District: MF-3A MULTI-FAMILY RESIDENTIAL (\*)

Ordinance Item:	Section No.:	Requirement:	PLAN PROPOSED:
Permitted Uses:	1278.02(a)	Housing for the elderly	Residential Nursing Care Facilities
Minimum Lot Area:	1278.03(a)	20 Acres	106.8437 Ac.
Minimum Lot Width:	1278.03(b)	200 Ft.	1,370 Ft. Smyrten Pk 1,105 Ft. Dekalb Pk 1,570 Ft. Meeting Rd 916 Ft. Evans Rd
Minimum Front Yards:	1278.04(a)(1)	200 Ft.	>200 Ft. (See Plan)
Minimum Side/Rear Yards:	1278.04(a)(2)	75 Ft.	>75 Ft. (See Plan)
Minimum Setback:	1278.04(b)(1)	175 Ft.	>175 Ft. (See Plan)
Maximum Coverage:	1278.05(a)	20%	10.64%
Building Coverage:	1278.05(b)	45%	28.38%
Impervious Coverage:	1278.05(c)	40%	
Maximum Height:	1278.06(a)(1)	40 Ft.	<40 Ft.
Residential Building:	1278.06(a)(2)	50 Ft.	<50 Ft.
Accessory Building:	1278.06(b)	14 Ft.	<14 Ft.
Support Building:	1278.06(c)	50 Ft.	<14 Ft.
Parking Quantity:	1278.07(a)	0.85 Spaces/Unit	421 Spaces [4]
Density:	1294.01(b)(3)	1,264 x .85 = 225 (90 / 3 = 30)	63 Spaces
Nursing Care Beds:	1278.08(a)(2)	1 Space/Employees (100 LHS Units) Site Total: 355 Spaces	180 Spaces 674 Spaces
Parking Setback:	1278.07(d)	20 Ft.	>20 Ft.
Minimum Distance Between Buildings:	1278.08(b)	30 Ft.	> 30 Ft.

[\*] Per Zoning amendment by Ordinance #522, enacted 05/28/2019

- 75 Ft. Front Setback subject to the following conditions:
  - The building shall be a residential building or a building accessory thereto;
  - The maximum height of any residential building shall be 40 feet;
  - Buildings accessory to a residential building shall be limited to a detached garage or shed.
  - The maximum height of any building accessory to a residential building shall be 14 feet;
  - The maximum length of a building wall most nearly parallel to a public street or property line shall not exceed 160 feet;
  - Any new residential building subject to this reduced setback requirement shall have its design and materials approved by the Board of Supervisors.
- Additional requirements for any development within 1,000 Ft. of Evans Road:
  - Residential units shall have a maximum height of 30 ft and shall not exceed 2 stories.
  - The maximum length of a residential building wall most nearly parallel to a public street or property line shall not exceed 140 ft.
  - Non-residential structures shall be limited to one porch/closet no larger than 1,200 S.F. with a maximum height of 30 ft. Storage buildings for the owner/operator of the facility no larger than 400 S.F. and one guest house.
  - Parking areas shall be set back a minimum of 75 ft from an adjoining residential property line.
  - The maximum length of a residential building wall most nearly parallel to a public street or property line shall not exceed 140 ft.
  - A Class B buffer as defined in the Subdivision and Land Development Ordinance shall be installed along the property line of adjacent residential properties to the Southwest.
- Any building in excess of 40 ft in height shall be set back a minimum of 300 ft from a street right-of-way and/or 200 ft from a property line.
- The maximum height of any detached garage shall be 14 ft.
- The maximum height for any building that supports the operation of the community such as, but not limited to, community centers, senior centers, fitness/wellness centers, maintenance buildings and storage buildings shall be 50 ft.

**RECORDING NOTE:**

**COVER - INDEX PLAN (Sheet 1) and LAND DEVELOPMENT - RECORD PLAN (Sheet 2) to be recorded with the Montgomery County Recorder of Deeds.**

**REVISIONS**

No.	DATE	DESCRIPTION

**PROFESSIONAL ENGINEER**

**KEITH A. HOUSER**  
 License No. 000970  
 PENNSYLVANIA

**PROFESSIONAL ENGINEER**

**TIMOTHY P. WOODROW**  
 License No. 03873-E  
 PENNSYLVANIA

PROJECT SERIAL NUMBER FOR DESIGN: \_\_\_\_\_

**Pennsylvania 811**  
 A Public Utility Location System Corporation

Parcel Information:

MAIN CAMPUS:  
 Block 5 Unit 10  
 NORTH PARCEL:  
 Block 5 Unit 47

Deed Area: 106.8437 Ac.  
 RW Area: -1.5537 Ac.  
 Restricted Land: -2.4495 Ac.  
 Developable Area: 102.8405 Ac.

Applicant: **FOULKWEAYS at GWYNEDD**  
 c/o Phil DeBraun, C.E.O.  
 1120 Meetinghouse Road  
 Gwynedd, PA 19436  
 (215) 643-2200

Scale in Feet (1" = 150')

Scale in Feet (1" = 150')

Scale in Feet (1" = 150')

**LAND DEVELOPMENT - RECORD PLAN**

**FOULKWEAYS at GWYNEDD**

LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 1105 North Park Road, Suite 200, Gwynedd, PA 19428  
 Phone: (215) 643-2200 Fax: (215) 643-2201  
 Web: www.woodrowinc.com

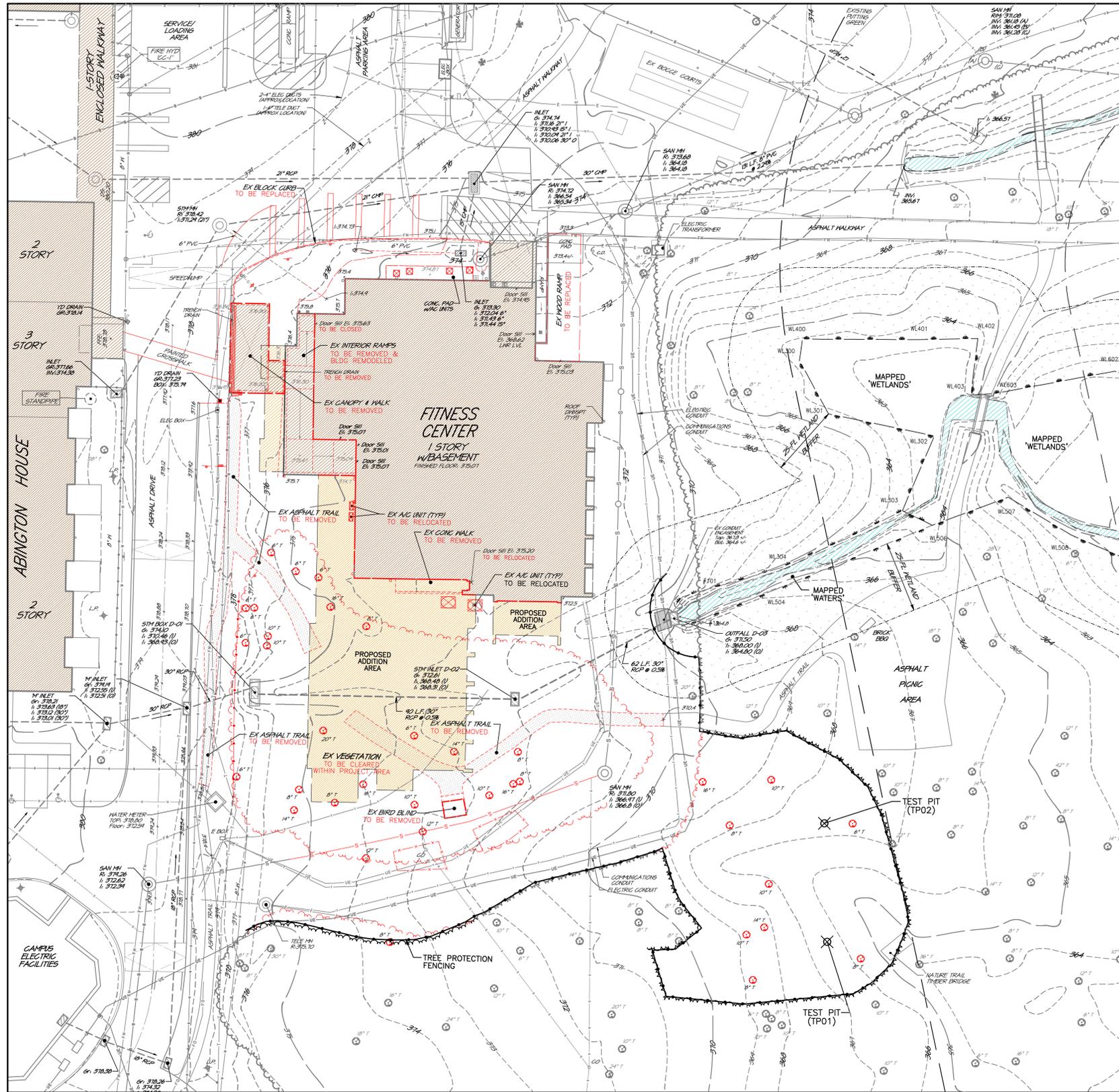
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Plan Date: **DECEMBER 03, 2025**

Sheet No: **2 of 14**





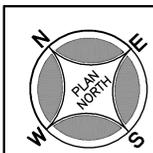
**PLAN LEGEND**

- EXISTING (EX) FEATURES**
- - - MAPPED WATERS LIMIT
  - - - MAPPED WETLAND LIMIT
  - - - EX TOPOGRAPHIC CONTOURS
  - - - EX SOIL BOUNDARY
  - - - EX FENCE LINE
  - - - EX TREE DRIP LINE
  - - - EX DECIDUOUS TREE
  - - - EX CONIFEROUS TREE
  - - - EX SIGN
  - - - EX SEWER CLEAN OUT
  - - - EX WATER VALVE
  - - - EX FIRE HYDRANT
  - - - EX GAS VALVE
  - - - EX LIGHT/LAMP POST
  - - - EX STORM SEWER AND INLET
  - - - EX SANITARY SEWER & MH
  - - - EX U.G. ELECTRIC LINE
  - - - EX GAS MAIN & SERVICE
  - - - EX WATER MAIN & SERVICE
  - - - EX TELE COMMUNICATIONS

**GENERAL NOTES**

Refer to the Record Plan (Sheet 2) for 'BASE EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'

**REVISIONS**



PROJECT SERIAL NUMBER FOR DESIGN:

**Pennsylvania 011**

Parcel Information:  
**MAIN CAMPUS:**  
 Block 5 Unit 10  
**NORTH PARCEL:**  
 Block 5 Unit 47

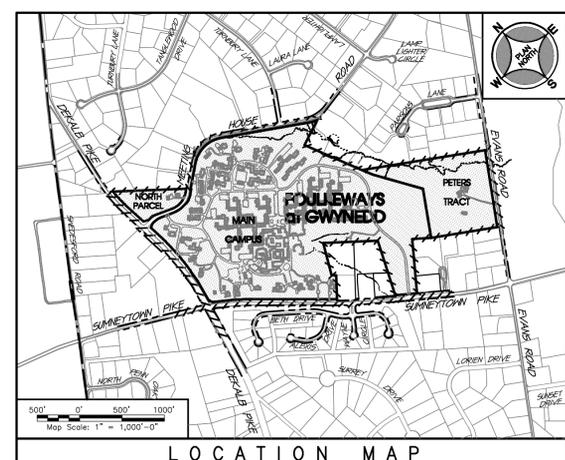
Dred Area: 106.8437 Ac.  
 RW Area: -1.5537 Ac.  
 Restricted Land: -2.4495 Ac.  
 Developable Area: 102.8405 Ac.

Applicant:  
**FOULKWEAYS at GWYNNED**  
 c/o Phil DeBraun, C.E.O.  
 1120 Meetinghouse Road  
 Gwynedd, PA 19436  
 (215) 643-2200

Scale in Feet (1" = 20')

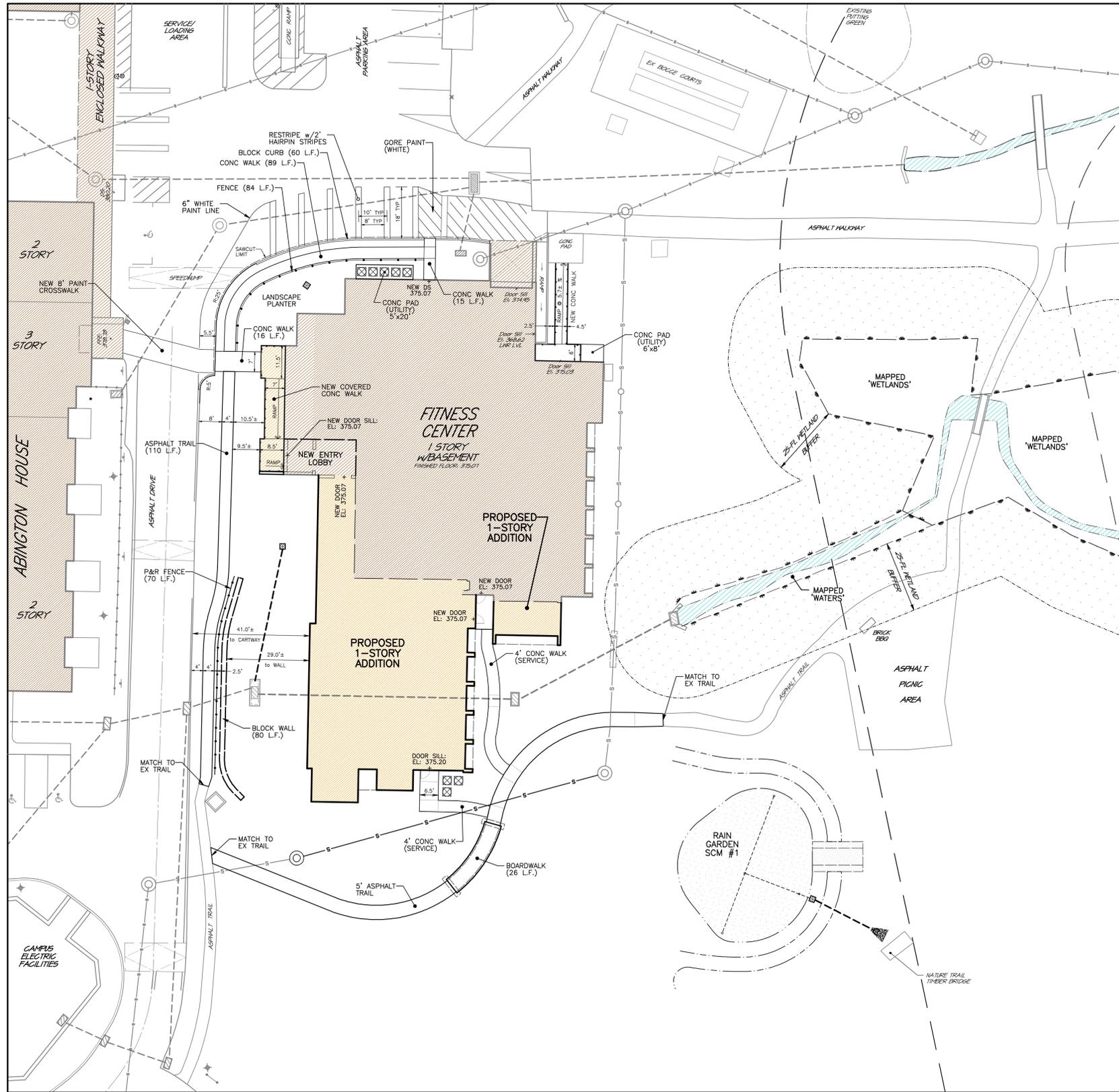
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**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 LOWER GWYNNED TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
 1105 North Park Road, Suite 200  
 Gwynedd, PA 19436  
 Phone: (215) 643-2200  
 Web: www.woodrowinc.com



Layer List:  
 D15-Sh05\_Demo  
 Job No: 05-0903 D15  
 Plan Date: **DECEMBER 03, 2025**  
 Sheet No: 4 of 14

Print Date: Dec 3, 2025 (11:04 AM) Plot Scale: 1" = 20.00'  
 File Name: E:\2025\05-0903\Pennsylvania 011-0903.dwg



PLAN LEGEND	
	EXISTING (EX) FEATURES
	MAPPED WATERS LIMIT
	MAPPED WETLAND LIMIT
	EX FENCE LINE
	EX TREE DRIP LINE
	EX DECIDUOUS TREE
	EX CONIFEROUS TREE
	EX SIGN
	EX FIRE HYDRANT
	EX LIGHT/LAMP POST
	EX STORM SEWER AND INLET
	EX SANITARY SEWER & MH
	PROPOSED (PR) FEATURES
	PR STORM SEWER AND INLET
	PR SANITARY SEWER & MH

**GENERAL NOTES**  
 Refer to the Record Plan (Sheet 2) for 'BASE EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'

NO.	DATE	DESCRIPTION
REVISIONS		

PROJECT SERIAL NUMBER FOR DESIGN:

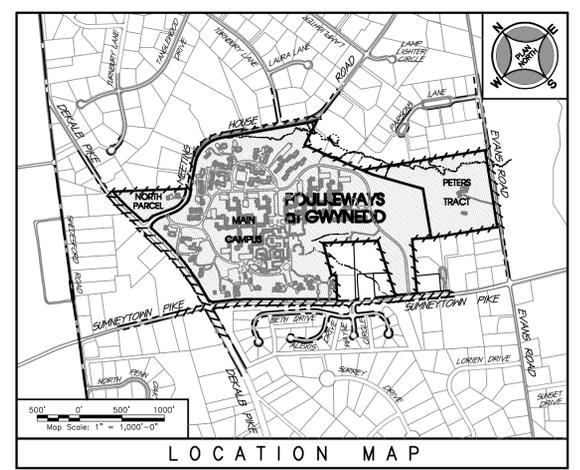
PROJECT SERIAL NUMBER FOR DESIGN:

**Pennsylvania 011**  
 Parcel Information:  
 MAIN CAMPUS:  
 Block 5 Unit 10  
 NORTH PARCEL:  
 Block 5 Unit 47

Deed Area: 106.8437 Ac.  
 RW Area: -1.5537 Ac.  
 Restricted Land: -2.4495 Ac.  
 Developable Area: 102.8405 Ac.

Applicant:  
**FOULKEWAYS at GWYNEDD**  
 c/o Phil DeBraun, C.E.O.  
 1120 Meetinghouse Road  
 Gwynedd, PA 19436  
 (215) 643-2200

Scale in Feet (1" = 20')



PRELIMINARY / FINAL PLAN

**PROJECT LAYOUT DETAIL PLAN**  
**FOULKEWAYS at GWYNEDD**

LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 1108 North Meridian Street, Suite 200, Gwynedd, PA 19436  
 Phone: (215) 643-6488 Web: www.woodrowinc.com

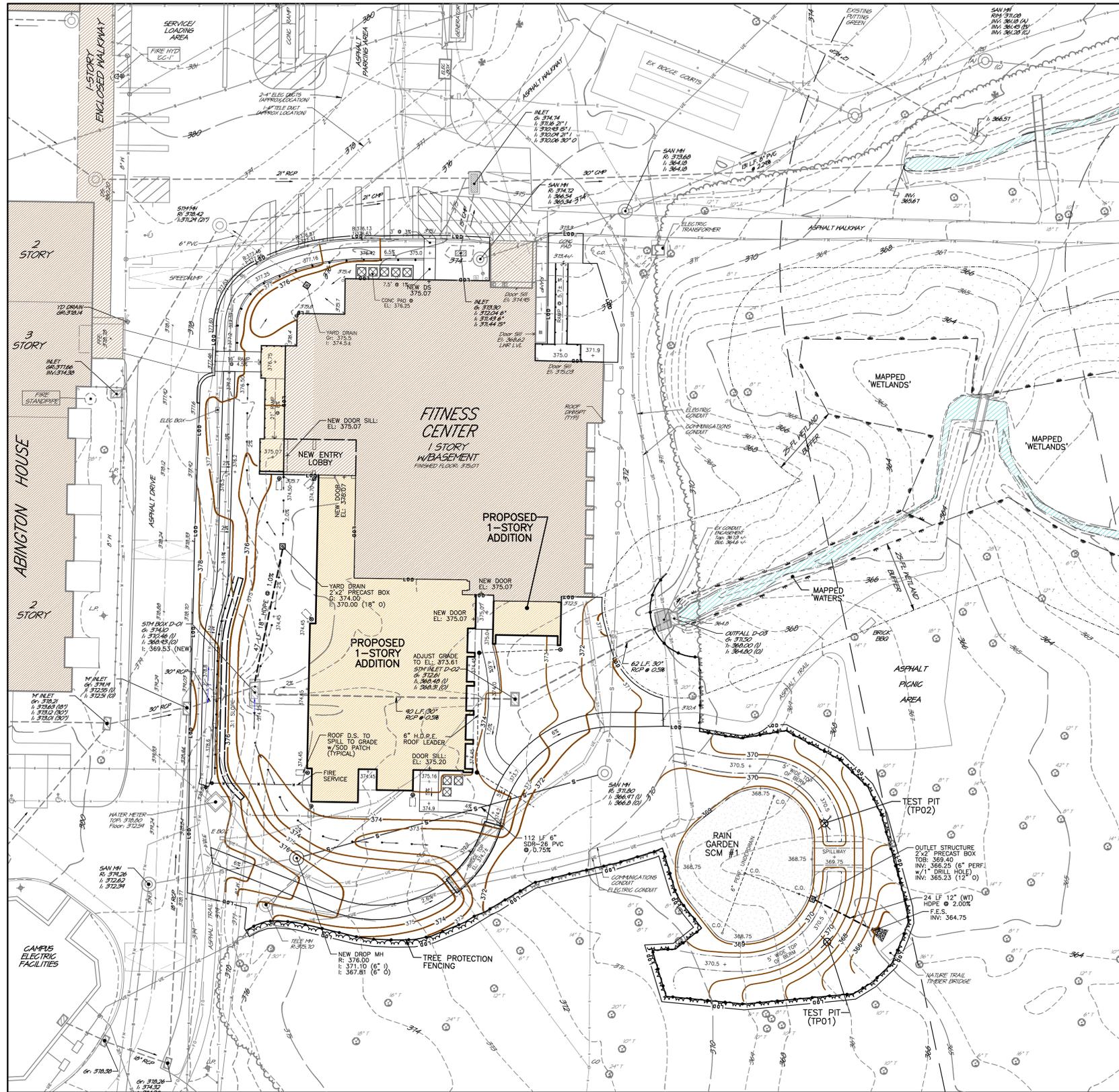
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Job No:  
 05-0903 D15

Plan Date:  
 DECEMBER 03, 2025

Sheet No:  
 5 of 14

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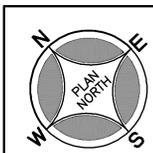
### GENERAL NOTES

Refer to the Record Plan (Sheet 2) for 'BASE EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'

#### BASE CONSTRUCTION DESIGN NOTES:

- All contractors working on this project shall comply with the requirements of P.L. 852, No. 287, December 10, 1974, as amended on December 12, 1986 P.L. 1574, No. 172. Contractors must notify PA One Call System, Inc. three (3) days prior to the start of any construction. 1-(800)-242-1776.
- Contractors shall not encroach onto adjoining properties unless a temporary grading easement has been obtained from the adjoining owners. All property lines must be adequately marked and any area that proposed grading encroaches within five (5) feet of the property line the contractor shall install temporary Orange Construction Fence to prevent encroachment onto adjoining properties.
- All contractors working on this project shall ensure that all construction performed is in accordance with all applicable OSHA (Occupational Safety and Health Administration) standards and specifications.
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work within the tributary area.
- Burying of trees, tree stumps and construction debris is prohibited. All debris shall be removed and disposed of in strict accordance with all Federal, State and Local Municipality standards and specifications. Tree stumps may be ground or chipped and spread on site.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- All construction requirements, methods, materials and specifications shall be in accordance with all Municipal Authority Standards, Municipality Standards and Penn-DOT Form 408 (Latest Edition), where in the case of conflict the more stringent requirement shall apply.
- All storm sewer piping shall be HDPE unless noted otherwise.
- All precast storm sewer structures such as inlets, storm manholes, endwalls, etc. shall conform to the Commonwealth of Pennsylvania Department of Transportation Publication #72 (latest addition). Shop Drawings shall be submitted to the Township Engineers Office for review and approval prior to fabrication.
- All utility installation must be in accordance with the requirements of the Pennsylvania Uniform Construction Code, as adopted by the Municipality.
- All slopes with grades three (3) foot horizontal to one (1) foot vertical (3:1) shall be stabilized with a North American Green or approved equal Erosion Control Blanket installed in strict accordance with manufacturers standards and specifications. See Erosion Control Plans for location and details.
- The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557, moisture content at time of placement shall be no more than 2% above nor 3% below optimum, contractor shall submit a compaction report prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- BMP SCM #1 shown on these plans is a basic and perpetual part of the stormwater management system for the proposed site located in Lower Gwynedd Township, Montgomery County, and as such is to be protected, maintained and preserved in accordance with the approved plans by the owner, their successors and assigns of these lands. Lower Gwynedd Township and/or its agents reserve the right and privilege to enter upon these lands from time to time for the purpose of inspection of said facilities in order to determine that the structural and design integrity is being maintained and the proper operation and maintenance of the facility is being conducted.
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- Contractor to ensure compliance with ADA regulations.
- All storm sewer inlets must be identified with a storm drain marker. Storm drain markers shall be stainless steel affixed to the inlet hood with adhesive, rivets, or bolts. Markers may be bolted to the grate in off road locations. Markers shall have a minimum diameter of 3 1/2 inches and shall include "No Dumping - Drains to Waterway" and a fish symbol.

### REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

### Pennsylvania 811

Parcel Information:  
**MAIN CAMPUS:**  
 Block 5 Unit 10  
**NORTH PARCEL:**  
 Block 5 Unit 47

Dred Area: 106.8437 Ac.  
 Wet Area: 1.5537 Ac.  
 Restricted Land: 2.4495 Ac.  
 Developable Area: 102.8405 Ac.

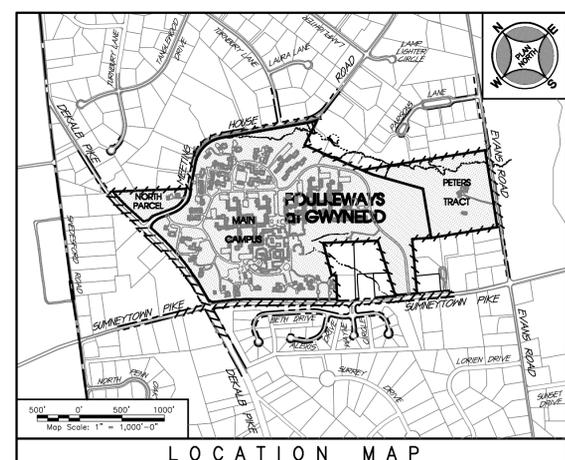
Applicant:

**FOULKWEAYS at GWYNEDD**  
 c/o Phil DeBraun, C.E.O.  
 1120 Meetinghouse Road  
 Gwynedd, PA 19436  
 (215) 643-2200

Scale in Feet (1" = 20')

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PRELIMINARY / FINAL PLAN  
**PROJECT GRADING and DRAINAGE PLAN**  
**FOULKWEAYS at GWYNEDD**  
 LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 1108 North Merkle Road, Suite 100, Gwynedd, PA 19436  
 Phone: (215) 643-2200 Fax: (215) 643-2201  
 Website: www.woodrowinc.com



#### TEST PIT DATA

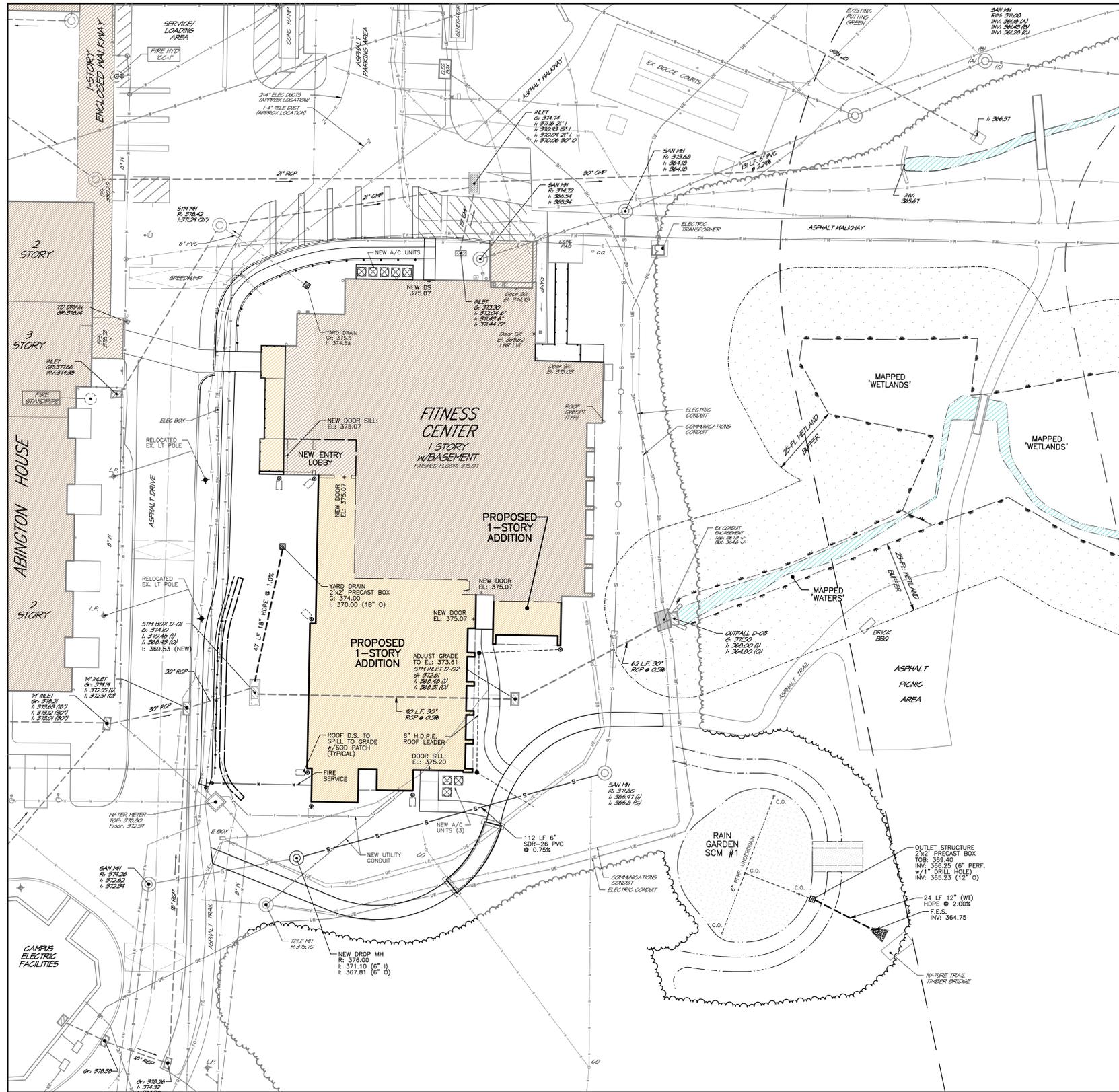
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TP02	367.6	370.5	16"	0.26 IN/HR

#### PLAN LEGEND

EXISTING (EX) FEATURES	PROPOSED (PR) FEATURES
--- MAPPED WATERS LIMIT	--- PR TREE DRIP LINE
--- MAPPED WETLAND LIMIT	--- PR CLEARING LIMIT
--- EX TOPOGRAPHIC CONTOURS	--- EX   PR SPOT ELEVATION
--- EX SOIL BOUNDARY	--- PR TOPOGRAPHIC CONTOURS
--- EX FENCE LINE	--- PR STORM SEWER AND INLET
--- EX TREE DRIP LINE	--- PR U.G. ELECTRIC LINE
--- EX DECIDUOUS TREE	--- PR GAS MAIN & SERVICE
--- EX CONIFEROUS TREE	--- PR WATER MAIN & SERVICE
--- EX SIGN	--- PR TELE COMMUNICATIONS
--- EX SEWER CLEAN OUT	--- TEMP TREE PROTECTION FENCE
--- EX WATER VALVE	
--- EX FIRE HYDRANT	
--- EX GAS VALVE	
--- EX LIGHT/LAMP POST	
--- EX STORM SEWER AND INLET	
--- EX SANITARY SEWER & MH	
--- EX U.G. ELECTRIC LINE	
--- EX GAS MAIN & SERVICE	
--- EX WATER MAIN & SERVICE	
--- EX TELE COMMUNICATIONS	

Print Date: Dec 3, 2025 (11:42) Plot Scale: 1" = 20.00'  
 File Name: C:\2025\GIS-projects\Folkways\05-0903.dwg

Layer List:  
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 Job No: 05-0903 D15  
 Plan Date: DECEMBER 03, 2025  
 Sheet No: 6 of 14

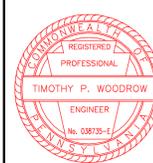


PLAN LEGEND	
	MAPPED WATERS LIMIT
	MAPPED WETLAND LIMIT
	EX FENCE LINE
	EX TREE DRIP LINE
	EX DECIDUOUS TREE
	EX CONIFEROUS TREE
	EX SIGN
	EX FIRE HYDRANT
	EX LIGHT/LAMP POST
	EX STORM SEWER AND INLET
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	EX GAS MAIN & SERVICE
	EX WATER MAIN & SERVICE
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	PR SANITARY SEWER & MH
	PR U.G. ELECTRIC LINE
	PR GAS MAIN & SERVICE
	PR WATER MAIN & SERVICE
	PR TELE COMMUNICATIONS

### GENERAL NOTES

- Refer to the Record Plan (Sheet 2) for 'BASE EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'
- BASE CONSTRUCTION DESIGN NOTES:**
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
  - Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
  - Contractor to ensure compliance with ADA regulations.
  - This project shall be served by public sanitary sewer by Lower Gwynedd Township and water services by North Wales Water Authority.
  - Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
  - Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
  - Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
  - The proposed finished grading shown on this plan has been based on the proposed building(s) finished floor elevations and has been used to design the storm water management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Township and the Project design engineers.
  - A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
  - Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557. Moisture content at time of placement shall be no more than 2% above nor 3% below optimum. Contractor shall submit a compaction report prepared by a qualified soils engineer registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
  - Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
  - The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
  - Erosion control matting shall be provided on all earth slopes at 3:1 or greater.

### REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

### Pennsylvania 811

Parcel Information:  
**MAIN CAMPUS:**  
 Block 5 Unit 10  
**NORTH PARCEL:**  
 Block 5 Unit 47

Deed Area: 106.8437 Ac.  
 RW Area: -1.5537 Ac.  
 Restricted Land: -2.4495 Ac.  
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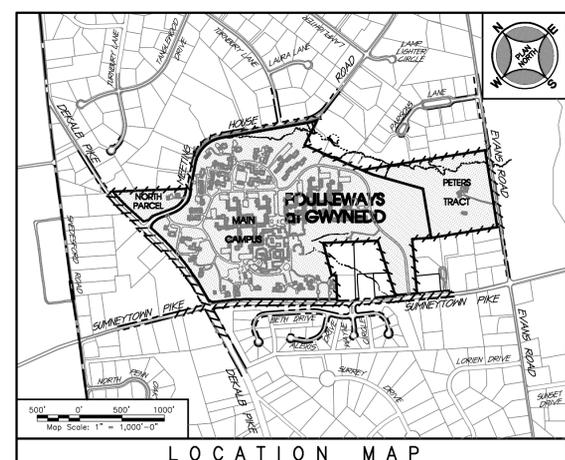
Applicant:  
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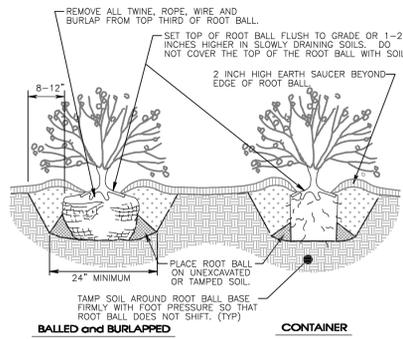
Scale in Feet (1" = 20')

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**PROJECT UTILITIES LAYOUT PLAN**  
**FOULKWAYS at GWYNEDD**  
 LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 1108 North Merion Road, Suite 200  
 Philadelphia, PA 19154  
 Phone: (215) 542-6488  
 Fax: (215) 542-6489  
 Web: www.woodrowinc.com

Layer List:  
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 Job No: 05-0903 D15  
 Plan Date: DECEMBER 03, 2025  
 Sheet No: 7 of 14

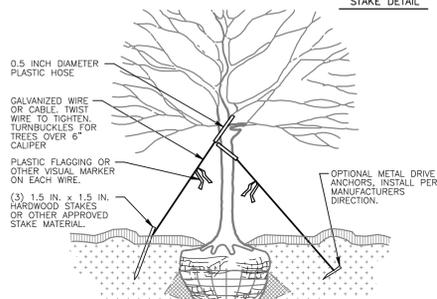
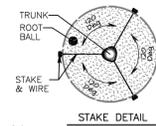




- THREE INCHES (3") OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.
- PLANTS WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- PLANTS THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS FOR THEIR SPECIES SHALL BE REJECTED.
- DO NOT HEAVILY PRUNE THE SHRUBS AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.

### DECIDUOUS & EVERGREEN SHRUB DETAIL

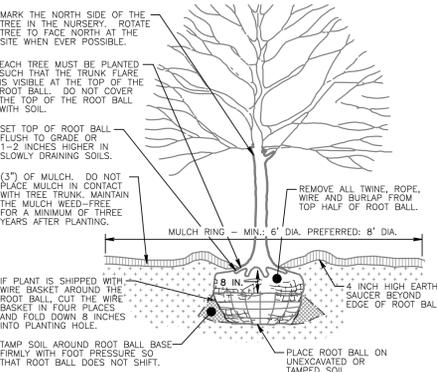
Not To Scale



- ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.
- ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM 0.5 INCH.
- REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON.
- TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.
- WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:  
TREES UP TO 2.5 INCH CALIPER - 1/4 GAUGE  
TREES 2.5 INCH TO 3 INCH CALIPER - 1/2 GAUGE
- TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF TRUNK MOVEMENT.
- TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

### DECIDUOUS TREE STAKING DETAIL

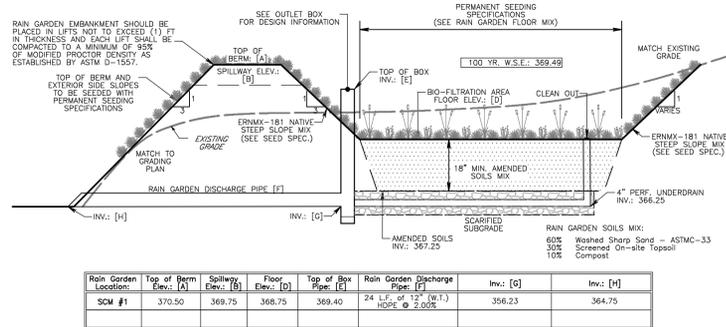
Not To Scale



- TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON APPROVAL FROM THE LANDSCAPE ARCHITECT. (SEE STAKING DETAIL AS APPROPRIATE)
- REPLENISHMENT OF MULCH IS ONLY TO REPLACE MULCH LOST. MULCH DEPTH TO BE 3" MAXIMUM AND NOT INCREASED WITH ADDITIONAL LAYERS OF MULCH.

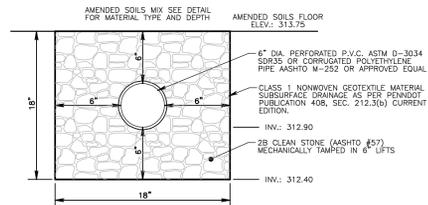
### DECIDUOUS TREE PLANTING DETAIL

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### RAIN GARDEN CROSS SECTION DETAIL

Not To Scale



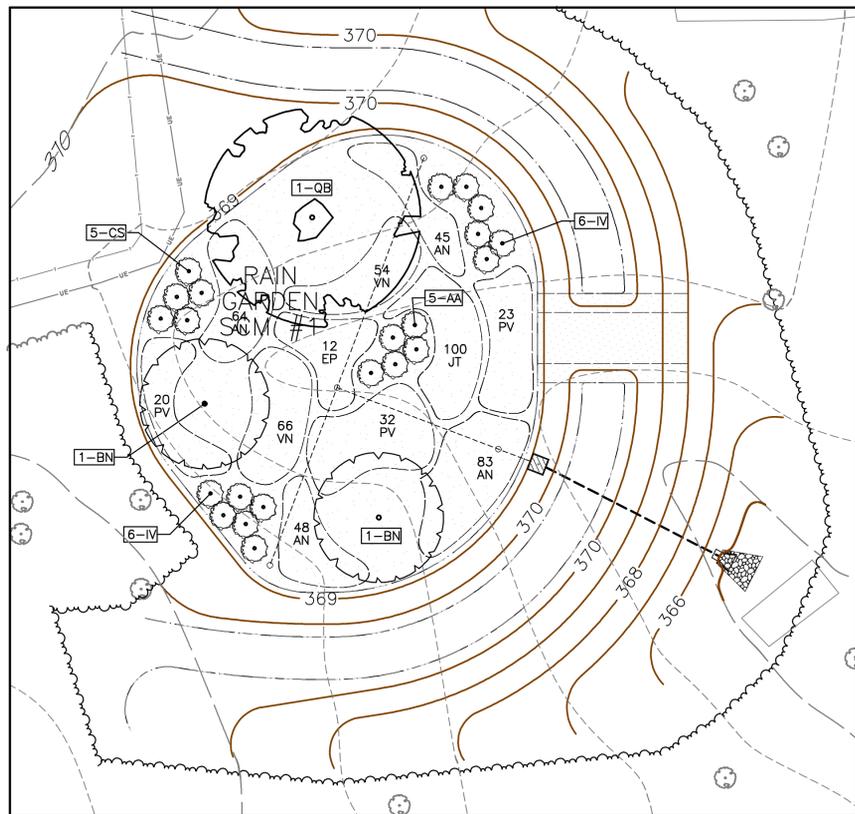
### RAIN GARDEN PERFORATED UNDERDRAIN

Not To Scale

Plan Symbol	Quantity	Botanical Name	Common Name	Minimum Planting Caliper	Planting Spacing	Minimum Planting Height	Remarks
BN	2	Betula nigra	River Birch	-	-	8"	Multi-stem, min. 3 stems
OB	1	Quercus blanda	Swamp White Oak	2"	-	-	Straight, full canopy
AN	5	Aronia arbutifolia	Red Chokeberry	-	24-30"	-	CONT
CS	5	Cornus sericea	Red Twig Dogwood	-	24-30"	-	CONT
IV	12	Ilex verticillata	Winterberry	-	24-30"	-	CONT
AN	240	Aster novae-angliae	New England Aster	-	-	-	Plant 15" on center
EP	12	Eupatorium purpureum	Joe-Pye Weed	-	-	-	Plant 30" on center
JT	100	Juncus tenuis	Poorly Bush	-	-	-	Plant 12" on center
PV	75	Panicum virgatum	Switchgrass	-	-	-	Plant 24" on center
VN	120	Vernonia noveboracensis	New York Ironweed	-	-	-	Plant 15" on center

547 TOTAL PLUGS

UPON COMPLETION OF PLUG INSTALLATION THE BASIN FLOOR(S) SHALL BE COVERED IN 3" SHREDDED, HARDWOOD BARK MULCH. NO MULCH SUBSTITUTIONS WILL BE ACCEPTED.



### RAIN GARDEN - PLUG & PLANTING(S) DETAIL

Scale: 1"=10'

## PROJECT SEEDING SCHEDULE

### SEEDING RATES FOR THE ABOVE MIXTURES:

Spread seeds where indicated and at the rates specified above (and Table A, Plus 40% Section B4). Spread seeds within the following dates, or as otherwise indicated or directed:

- Formula B: - March 15 to June 01
- August 01 to October 15

Extend seeding dates where project conditions warrant. Apply full treatment or apply only 50% of the permanent seeding and soil supplements and apply the remaining 50% within the next seeding date.

Place mulch, hay or straw immediately after seeding or within 48 hours after seeding is completed. Place hay or straw uniformly in a continuous blanket at a rate of 1,200 lbs./1,000 sq. ft. If directed, increase the rate of application, depending upon the material used, season, soil conditions or method of application.

### RAIN GARDEN SIDE SLOPES

Seed in Ernt mix (Erntx-181); Native Steep Slope Mix w/ Annual Ryegrass seeding rate is 60 lbs. per acre  
side slope areas = 910 Sq. Ft. (910/43,560) x 60 = 1.25 lbs. Erntx-181

### ERNMX-181 NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS

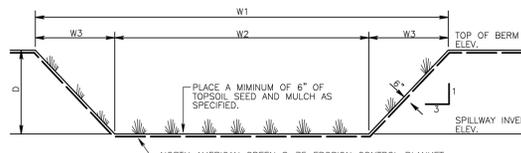
- 28.7% Sorghastrum nutans, PA Ecotype (Indiangrass, PA Ecotype)
- 20.2% Lolium multiflorum, L. (perennial ryegrass) (Annual Ryegrass)
- 10% Anemone georgica, Niagara (Big Bluestem, Niagara)
- 10% Elymus virginicus, PA Ecotype (Virginia Wildrye, PA Ecotype)
- 7% Elymus florus (Purpletop)
- 7% Phacelia grandiflora (Common Wildrye)
- 4.2% Sorghastrum nutans (Indiangrass scapularis), FL
- Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
- Phacelia grandiflora (Common Wildrye)
- 2.5% Echinacea purpurea (Purple Coneflower)
- Chamaecrista fasciculata (Cassia), PA Ecotype (Patriotic Pea, PA Ecotype)
- 1% Coreopsis lanceolata (Lanceolate Coreopsis)
- 1% Rubusida hirta, Coastal Plain NC Ecotype (Blackberry Susan, Coastal Plain NC Ecotype)
- 0.7% Lespedeza virginica, VA Ecotype (Blender Lespedeza, VA Ecotype)
- 0.5% Aster lateriflorus (Corynephorum lateriflorum) (Cotton Aster)
- 0.5% Monarda latifolia, FL Indiantown Gap-PA Ecotype (Wild Bergamot, FL Indiantown Gap-PA Ecotype)
- 0.3% Liatris spicata (Marsh (Dense) blazing Star (Spiked Gayfeather))

### RAIN GARDEN FLOOR MIX

seed in ernt mix (Erntx-126, Rain Garden Floor Mix - low maintenance) seeding rate is 30 lbs. per acre  
Rain Garden floor area = 636 (636/43,560) x 30 = 4.4 lbs. Erntx-126

### ERNMX-126 RAIN GARDEN FLOOR MIX - LOW MAINTENANCE

- 20% Elymus riparius, PA Ecotype (Riverbank Wildrye, PA Ecotype)
- 18% Puccinellia distans, 7 salt (Allegheny, 7 salt)
- 18% Agrostis stolonifera (Creeping Bentgrass)
- 17% Panicum clandestinum (Dichanthium c.) 'Tioga' (Deertongue, 'Tioga')
- 17% Poa polustris (Fowl Bluegrass)
- 5% Carex vaginiflora, PA Ecotype (Fox Sedge, PA Ecotype)
- 3% Juncus effusus (Soft Rush)
- 3% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 1% Juncus tenuis, PA Ecotype (Poth Rush, PA Ecotype)

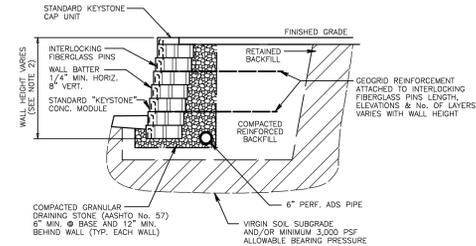


NOTE: THE EROSION CONTROL MATTING OF THE SPILLWAY SHALL EXTEND TO A MINIMUM OF 3' BELOW THE SPILLWAY CREST ELEVATION ON THE UPSTREAM SIDE AND TO THE TOE OF SLOPE ON THE DOWNSTREAM SIDE.

RAIN GARDEN ID No.	W1 (F1)	W2 (F1)	W3 (F1)	D (F1)	TOP OF BERM ELEV (F)	SPILLWAY INVERT ELEV (F)
SCM #1	10.5	6.0	2.25	0.75	370.50	369.75

### RAIN GARDEN EMERGENCY SPILLWAY

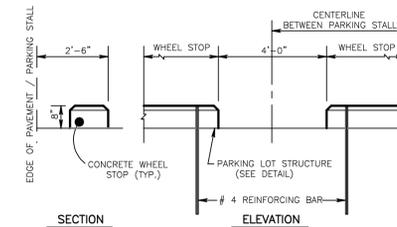
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- LANDSCAPE PLANTINGS WITHIN THE AREA ESTABLISHED AS THE REINFORCEMENT ZONE (THAT AREA WHERE GEORGRIDS ARE PLACED) WILL BE RESTRICTED TO SHALLOW ROOTED PLANTINGS AND SHRUBS. IN NO CASE SHALL TREES CAPABLE OF SIGNIFICANT HEIGHT BE PERMITTED WITHIN THIS AREA.
- SEE GRADING PLAN FOR TOP AND BOTTOM OF WALL ELEVATIONS.

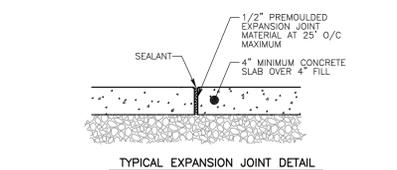
### BLOCK RETAINING WALL DETAIL

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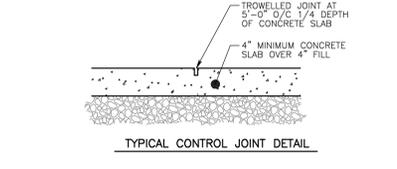


### CONCRETE WHEEL STOP

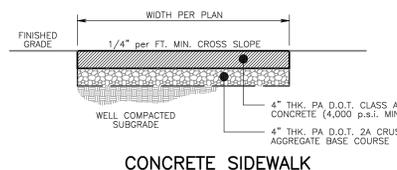
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### TYPICAL EXPANSION JOINT DETAIL

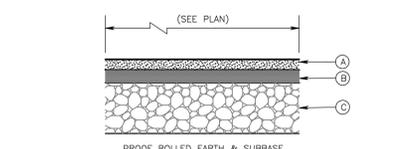


### TYPICAL CONTROL JOINT DETAIL



### CONCRETE SIDEWALK

Not To Scale



### DRIVEWAY PAVING DETAIL

Not To Scale

- ALL SUBGRADE AREAS TO BE COMPACTED AND APPROVED PRIOR TO PLACEMENT OF MATERIALS.

### REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

### Pennsylvania 811

Parcel Information:

MAIN CAMPUS:  
Block 5 Unit 10  
NORTH PARCEL:  
Block 5 Unit 47

Deed Area: 106.8437 Ac.  
RW Area: -1.5537 Ac.  
Restricted Land: -2.4495 Ac.  
Developable Area: 102.8405 Ac.

Applicant:

**FOULKWEAYS at GWYNNED**  
c/o Phil DeBraun, C.E.O.  
1120 Meetinghouse Road  
Gwynedd, PA 19436  
(215) 643-2200

Scale in Feet (1" = 10')

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### CONSTRUCTION DETAILS

PRELIMINARY / FINAL PLAN

SHEET 'A'

FOULKWEAYS at GWYNNED

WOODROW & ASSOCIATES, INC.

MUNICIPAL / CIVIL CONSULTING ENGINEERS

LOWER GWYNNED TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

1105 North Merkle Road, Suite 100, Gwynedd, PA 19428

Phone: (215) 643-2200 Fax: (215) 643-2200

Web: www.woodrowinc.com

Layer List:

D15-Sh08\_D15-A

Job No:

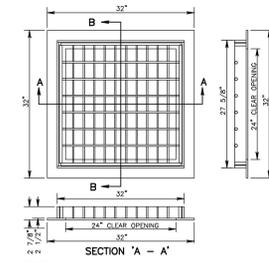
05-0903 D15

Plan Date:

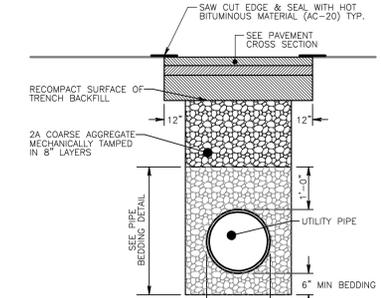
DECEMBER 03, 2025

Sheet No:

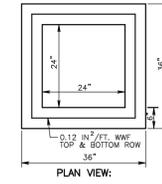
8 of 14



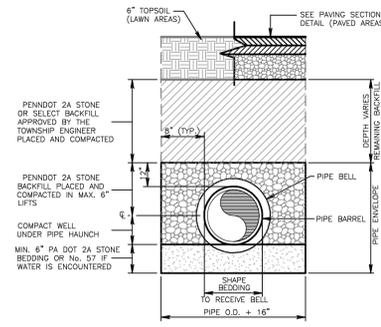
**36" x 36" FRAME and BICYCLE SAFE GRATE**  
Not To Scale



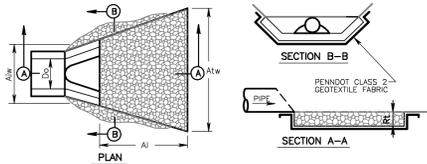
**TRENCH RESTORATION PERMANENT PAVEMENT**  
Not To Scale



**36" x 36" PRECAST INLET BOX**  
Not To Scale

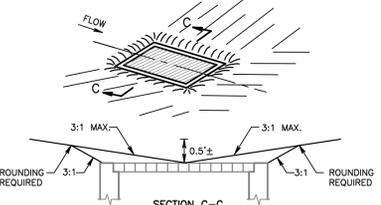


**STORM SEWER TRENCH and BEDDING DETAIL**  
Not To Scale

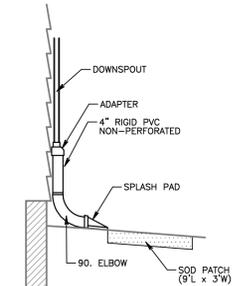


Outlet Structure No.	Pipe Dia. (in)	Tailwater Condition (Max or Min)	Q (CFS)	V (FPS)	Riprap Size (inches)	Riprap Thickness (ft)	Initial Width (ft)	Terminal Width (ft)

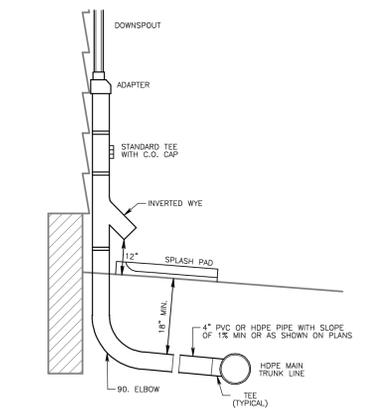
**RIPRAP APRON OUTLET PROTECTION**  
Not To Scale



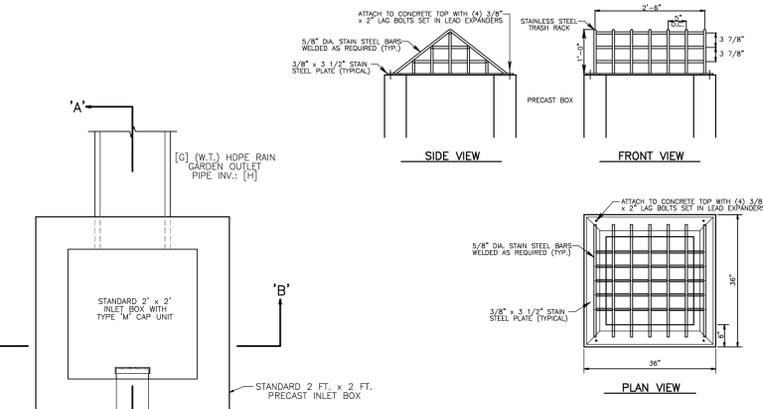
**SUMPED TYPE 'M' INLET DETAIL**  
Not To Scale



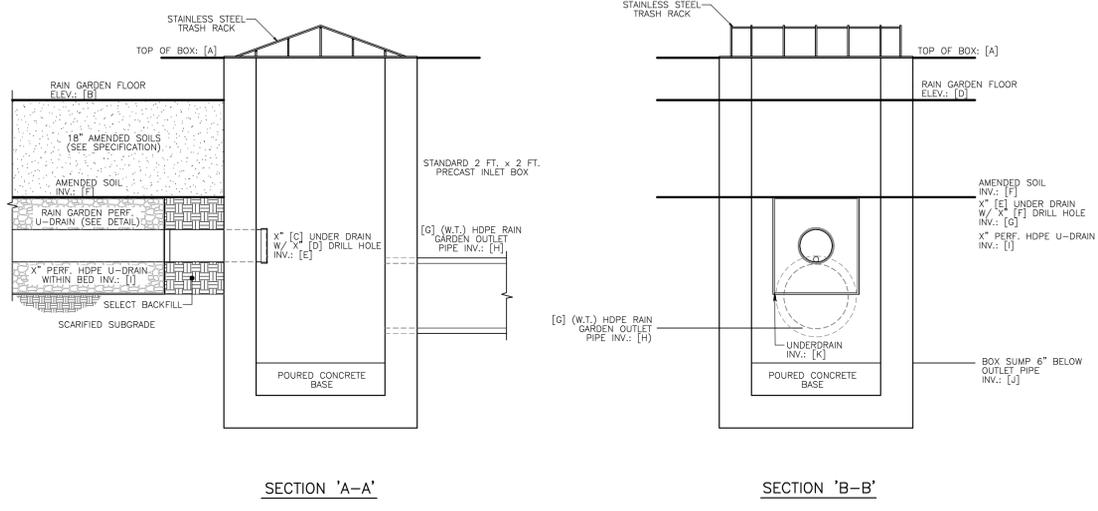
**DOWNSPOUT SOD PATCH DETAIL**  
Not To Scale



**DOWNSPOUT COLLECTION SYSTEM**  
Not To Scale



**2 FT. BOX - TRASH RACK TOP**  
Not To Scale



RAIN GARDEN AND OUTLET STRUCTURE INFORMATION:											
B.M.P. No.:	[A]	[B]	[C]	[D]	[E]	[F]	[G]	[H]	[I]	[K]	
SCM #1	369.40	368.75	6"	1"	366.25	367.25	24 FT. 12" (W.T.) HDPE @ 2.00%	365.23	366.25	364.73	365.75

**2 FT. x 2 FT. RAIN GARDEN OUTLET STRUCTURE DETAIL**  
Not To Scale

NO.	DATE	DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER  
**TIMOTHY P. WOODROW**  
No. 08875-E

PROJECT SERIAL NUMBER FOR DESIGN:  
**Pennsylvania 011**  
Parcel Information:  
MAIN CAMPUS: Block 5 Unit 10  
NORTH PARCEL: Block 5 Unit 47  
Dreed Area: 106.8437 Ac.  
RW Area: 1.5537 Ac.  
Restricted Land: 2.4495 Ac.  
Developable Area: 102.8405 Ac.  
Applicant:  
**FOULKWEAYS at GWYNEDD**  
c/o Phil DeBraun, C.E.O.  
1120 Meetinghouse Road  
Gwynedd, PA 19436  
(215) 643-2200

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MUNICIPAL / CIVIL CONSULTING ENGINEERS  
LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
**FOULKWEAYS at GWYNEDD**  
1105 N. 19th St., Suite 100  
Philadelphia, PA 19102  
Phone: (215) 542-6488  
Web: www.Woodrow.com

Layer List:  
D15-Sh09\_D15-B  
Job No:  
05-0903 D15  
Plan Date:  
DECEMBER 03, 2025  
Sheet No:  
9 of 14

ALL EXPOSED STORMWATER STRUCTURES MUST HAVE STONE FACING PER LOWER GWYNEDD TOWNSHIP ORDINANCE.

Print Date: Dec 3, 2025 11:23 AM  
Plot Scale: 1" = 20.00'  
File Name: C:\Users\jg\Documents\05-0903.dwg

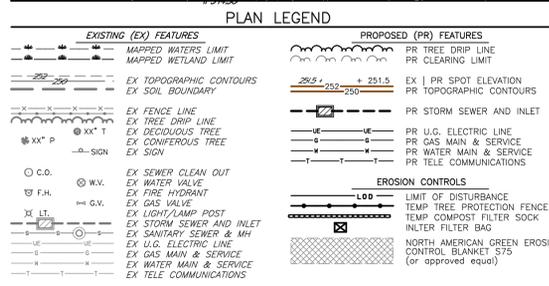
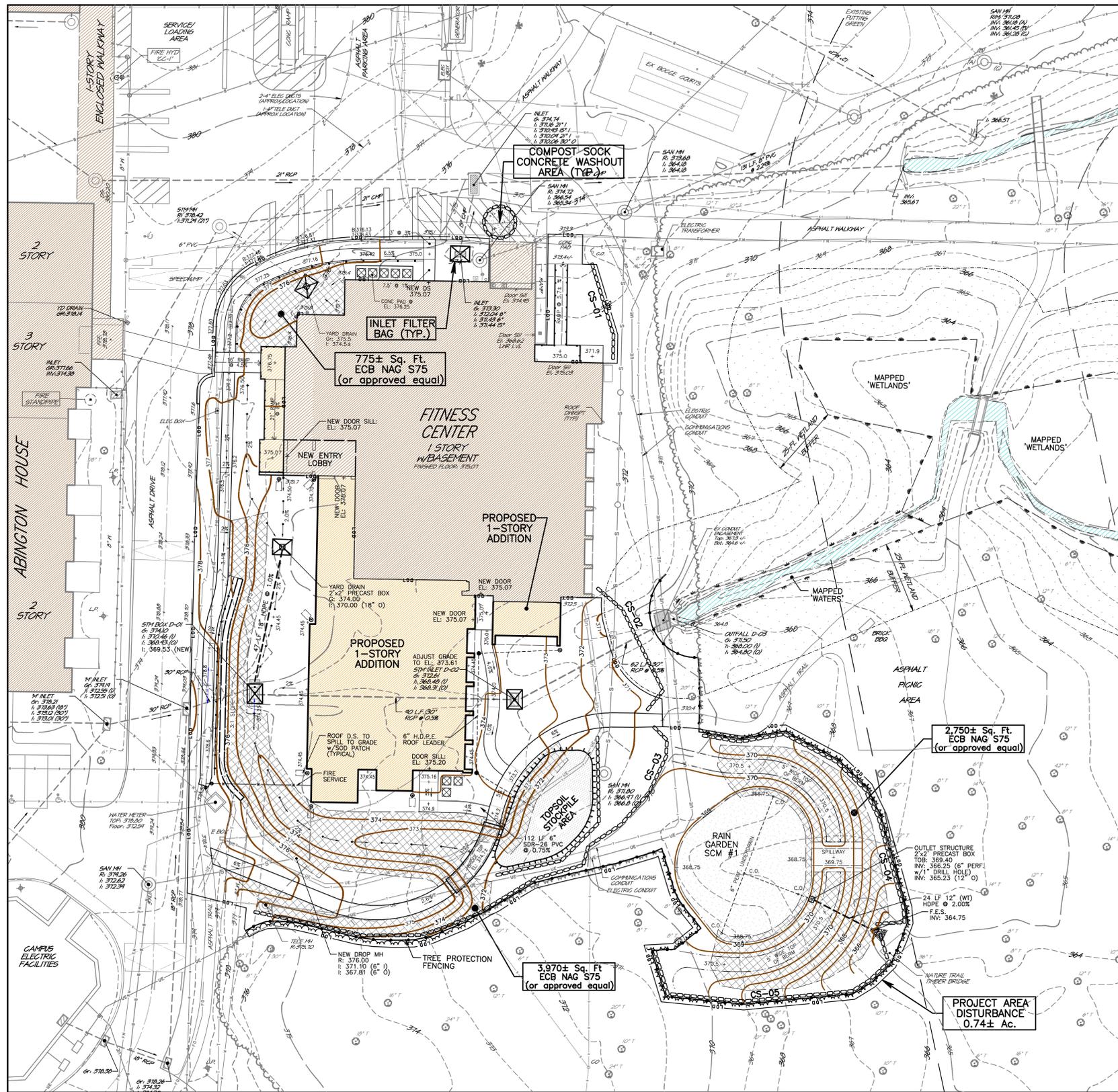
**MAINTENANCE PROGRAM for EROSION & SEDIMENT CONTROL MEASURES**

All Erosion and Sediment Control Measures require inspection and maintenance as specified below. A written report shall be compiled and kept on-site at all times outlining any necessary maintenance and repair that has been performed on the Erosion & Sediment Control Measures. The report shall be updated weekly and after each runoff event requiring BMP inspection. The owner, their successors, or its assigns, shall assume all responsibility for the costs associated with the inspection, cleaning of the systems, engineering fees and ultimately any costs associated with the required repairs and/or replacement of said facilities.

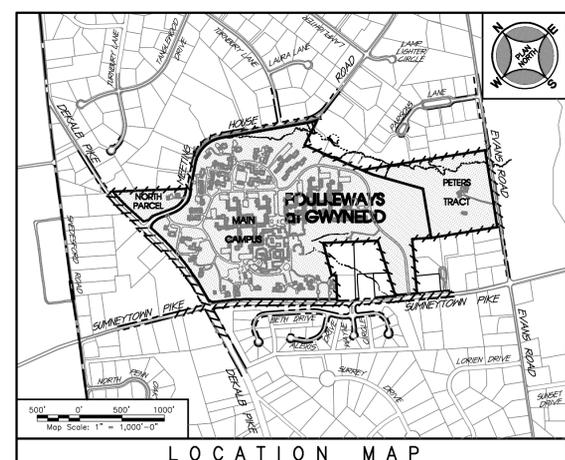
- TEMPORARY ROCK CONSTRUCTION ENTRANCE:** (CONSTANT MAINTENANCE)  
 Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50-foot increments until condition is alleviated or install wash rack. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.
- PUMPED WATER FILTER BAG:** (DAILY MAINTENANCE)  
 Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.
- COMPOST SOCK CONCRETE WASHOUT AREA:** (DAILY MAINTENANCE)  
 1. All concrete washout facilities should be inspected daily. Damaged or leaking washouts should be deactivated or repaired or replaced immediately.  
 2. Accumulated materials should be removed when they reach 75% capacity.  
 3. Plastic liners should be replaced with each cleaning of the washout facility.
- ROCK FILTER OUTLET:** (DAILY MAINTENANCE)  
 Sediment shall be removed when accumulations reach 1/3 the height of the outlet.
- FILTER BAG INLET PROTECTION:** (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)  
 1. Inlet filter bags should be inspected on a weekly basis and after each runoff event. Filter bags should be cleaned and/or replaced when the bag is half full or when flow capacity has been reduced so as to cause flooding or bypassing the inlet. Accumulated sediment should be disposed in the approved manner. Bags that will be reused should be rinsed at a location where the rinse water will enter a sediment trap or sediment basin. Damaged filter bags should be replaced.  
 2. Needed repairs should be initiated immediately after the inspection.
- RIPRAP APRON:** (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)  
 All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.
- EROSION CONTROL BLANKET:** (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)  
 Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be restored or replaced within 4 calendar days.
- COMPOST FILTER SOCK:** (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)  
 Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's specifications.

**COMPOST FILTER SOCK SCHEDULE**

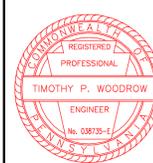
Sock No.	Location	Compost Sock Size	Slope Length Above Sock	Slope % Above Sock	Sock Length (L.F.)
CS-01	E corner of Ex. Fitness Center	12"	42	8.12 %	36
CS-02	S corner of Ex. Fitness Center	12"	60	7.58 %	55
CS-03	along SW edge of LOD	12"	146	2.91 %	184
CS-04	downslope from SCM #1	12"	28	33.33 %	124
CS-05	downslope from SCM #1	12"	28	33.33 %	110



Total Project Disturbance:  
**0.74± ACRES**



**REVISIONS**



PROJECT SERIAL NUMBER FOR DESIGN:

**Pennsylvania 811**  
 A Public Utility Locator Program

Parcel Information:  
**MAIN CAMPUS:**  
 Block 5 Unit 10  
**NORTH PARCEL:**  
 Block 5 Unit 47

Deed Area: 106.8437 Ac.  
 RW Area: -1.5537 Ac.  
 Restricted Land: -2.4495 Ac.  
 Developable Area: 102.8405 Ac.

Applicant:  
**FOULKWEAYS at GWYNNED**  
 c/o Phil DeBraun, C.E.O.  
 1120 Meetinghouse Road  
 Gwynedd, PA 19436  
 (215) 643-2200

Scale in Feet (1" = 20')  
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PRELIMINARY / FINAL PLAN  
**EROSION and SEDIMENTATION CONTROL PLAN**  
**FOULKWEAYS at GWYNNED**  
 LOWER GWYNNED TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 1108 North Park Road, Suite 100, Gwynedd, PA 19436  
 Phone: (215) 643-2200 Web: www.woodrowinc.com

Layer List:  
 D15-Sh10\_ES  
 Job No: 05-0903 D15  
 Plan Date: **DECEMBER 03, 2025**  
 Sheet No:

EROSION and SEDIMENTATION CONTROL NOTES:

I. GENERAL NOTES:

- 1. This Erosion and Sedimentation Control Plan was prepared by the staff of Woodrow & Associates, Inc. under the direction of Mr. Timothy P. Woodrow, P.E.
2. Straw mulch shall be applied in long strands, not chopped or finely broken.
3. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan.
4. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or contractor shall notify the landowner, appropriate municipal officials, and the plan preparer(s) to a preconstruction meeting.
5. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 or 811 for the location of existing underground utilities.
6. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the municipality.
7. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
8. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in the E&S plan.
9. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
10. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s). In the amount necessary to complete the final grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 15 feet. Stockpile slopes shall be 2H:1V or flatter.
11. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the municipality.
12. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1, et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
13. The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
14. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
15. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, re-mulching and renetting must be performed immediately, if the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
16. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and made available to regulatory agency officials at the time of inspection. All inspections shall be logged onto DEP's Visual Site Inspection Form, form 3000-N-0000271, last rev. 4/2025, and kept on site at all times.
17. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site immediately and disposed in the manner described in this plan. No sediment shall be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
18. All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
19. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils prior to placement of topsoil. Areas to be vegetated/soils have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil
20. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended for retaining structures and culverts, etc. shall be compacted in accordance with local requirements or codes.
21. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
22. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
23. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
24. Fill shall not be placed on saturated or frozen surfaces.
25. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
26. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in constant bedrock and rock fill need not be vegetated. Seeded areas requiring immediate stabilization. All BMPs listed above require inspection weekly and after each storm event. All required repairs and replacement of BMPs must be done immediately.
27. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
28. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
29. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized.
30. After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to a permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately, in order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
31. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
32. All inlets installed within lawn areas shall have mastic or an approved equivalent installed between the inlet cap and box to prevent runoff from entering the box between this seal.
33. Should any Compost Sack need to be relocated due to proposed grading activities, said grading should be immediately stabilized with a permanent seed and mulch mixture applied at the recommended rates and the Compost Sack that was moved, placed back to its original location and repaired or replaced if damaged during moving.
34. Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
35. All channels shall be kept free of obstructions including but not limited to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction material/wastes.
36. Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base fine within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.
37. Erosion control blanketing shall be installed on all slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas specified on the plan maps and/or detail sheets.
38. Fill material for embankments shall be free of roots, or other woody vegetation, organic material, large stones, and other objectionable materials. The embankment shall be compacted in maximum 8" layers lifts at 95 % density.
39. All inlets installed within lawn areas shall have mastic or an approved equivalent installed between the inlet cap and box to prevent runoff from entering the box between this seal.

II. RECEIVING WATERSHED:

The receiving watershed for this development is Trewelyn Creek. The Chapter 93 Classification for this receiving watershed is TSF & MF.

III. INTENT OF CONSERVATION PROGRAM:

The intent of this program is to prevent accelerated erosion of the exposed site soils during the construction and permanent life periods of the development. The program requires retention of all sediment and silt on the site. This program should be understood and implemented throughout the entire development. The various construction trades should be apprised of this program and directed to prevent undue disturbance of prepared and protected surfaces.

These objectives will be achieved by minimizing exposure time of potentially erosive soils to runoff and installation of the temporary and permanent conservation practices in proper sequence with the construction intent. This program should be understood and implemented throughout the entire development. The various construction trades should be apprised of this program and directed to prevent undue disturbance of prepared and protected surfaces.

IV. SURFACE STABILIZATION CRITERIA:

All denuded soil surfaces including soil stockpiles that are subject to erosion shall be stabilized immediately, either temporarily or permanently. Crushed stone on pavement subgrades is considered adequate protection. Disturbed areas which are not at finished grade and which will be redistributed within one (1) year may be stabilized with a quick growing, temporary seeding mixture and mulch. During non-germination periods, mulch shall be applied at recommended rates. Germination periods shall be from April 1st to June 15th and August 15th to October 15th, during non-germination periods mulched areas shall be limed, fertilized, seeded and re-mulched immediately.

Compost Sock must be installed parallel to existing contours and constructed in level alignment. The ends of the socks must be extended a minimum of eight (8) feet up slope and at forty-five (45) degrees to the main sock alignment.

If any of the measures contained within this plan prove inadequate at removing sediment from flows prior to discharge or stabilizing of the surfaces involved, additional measures must be immediately implemented by the Contractor/Applicant to eliminate all such problems. Said measures shall be approved in writing by the Municipality.

A reserve supply of crushed stone, silt fence, temporary seed and hay bales shall be maintained on site for emergency replacement of any failing erosion and sediment control measures.

V. EROSION CONTROL DEVICES / MAINTENANCE PROGRAM:

STABILIZED CONSTRUCTION ENTRANCE:

Entrances are to be constructed per Ch. 102 Standard Construction Detail #16 and the details provided with this plan set. The stabilized construction entrance(s) shall be maintained so that tire scrubbing activity does not become ineffective. Any buildup of mud or soil on the street shall be cleaned immediately by hand or mechanical sweeping.

COMPOST FILTER SOCKS:

Compost Socks shall be installed per Ch. 102 Standard Construction Details #4-1 and the details provided with this plan set. Socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of discovery with adequate drainage.

STORM INLET PROTECTION:

Inlet protection devices shall be constructed per Ch. 102 Standard Construction Details #28-32 and the details provided with this plan set. Inlet protection shall be maintained until all earthwork within storm water drainage has been completely stabilized.

PUMPED WATER FILTER BAGS:

Pumped Water Filter Bags shall be installed per Ch. 102 Standard Construction Detail #3-16 and the details provided with this plan set. Filter Bags shall be inspected daily, if any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

COMPOST SOCK CONCRETE WASHOUT AREA:

Compost Sock Concrete Washout Areas shall be installed per Ch. 102 Figure 3.18 and the details provided with this plan set. Washout Areas shall be inspected weekly. Damaged or leaking washouts should be deactivated and repaired or replaced immediately. Accumulated materials should be removed when they reach 75% capacity. Plastic liners should be replaced with clean cleaning of the washout facility.

SEDIMENT DISPOSAL:

Silt removed from temporary erosion and sediment control devices shall be disposed of on-site in landscaped areas located outside the 100-year floodplains, wetlands, steep slopes and drainage swales. Areas of sediment disposal shall be considered a critical vegetation area requiring immediate stabilization. All BMPs listed above require inspection weekly and after each storm event. All required repairs and replacement of BMPs must be done immediately.

VI. UTILITY TRENCH EXCAVATION:

GENERAL REQUIREMENTS:

Exposed trench excavations have high potential for accelerated erosion and sediment pollution. Since these excavations are usually located at lower elevation along or across earth disturbance sites, open trenches serve to concentrate sediment laden runoff and convey it to site boundaries or waterways. The most important erosion and sediment pollution control consideration for trench construction is the limiting and specific scheduling of work activities.

CONSTRUCTION SPECIFIC REQUIREMENTS:

- Limit advance clearing and grubbing operations to a distance equal to two times the length of pipe installation that can be completed in one day.
Work crews and equipment for trenching, placement of pipe, plug construction and backfilling will be self contained and separate from clearing and grubbing crews. Site restoration operations.
All soils excavated from the trench shall be placed on uphill side of the trench.
Limit daily trench excavation to the length of pipe placement, plug installation and backfilling that can be completed the same day.
Water which accumulates in the open trench will be completely removed by pumping before pipe placement and/or backfilling begins. Water removed from the trench shall be pumped through a filtration device.
On the day following pipe placement and trench backfilling, the disturbed area will be graded to final contours and immediately stabilized.
Soils excavated from the existing surface layer should be stockpiled separately and returned as final surface layer following trench backfilling.

VII. FERTILIZATION, SEEDING AND MULCHING:

TEMPORARY COVER ON DISTURBED AREAS:

Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceeds 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

PERMANENT COVER ON DISTURBED AREAS:

Disturbed areas which are either at finish grade or will not be redistributed a within one (1) year period must be seeded and mulched with a permanent seed mixture.
All disturbed areas shall be stabilized immediately with a temporary seed and mulch mixture applied at the recommended rates. Site preparation of mulch and maintenance shall be performed in accordance with the Penn State University's Erosion Control & Conservation Plantings on Noncropland manual and Pennsylvania Department of Transportation publication form 408 specifications (latest edition). During non-germination periods, mulch must be applied at the recommended rates.
Graded areas shall be scarified or otherwise loosened to a depth of 3" to 5" prior to topsoil placement to permit the bonding of new topsoil.

MULCHING:

All seeded areas should be mulched or blanketed to minimize the potential for failure to establish adequate vegetated cover. Mulching may also be used as a temporary stabilization of disturbed areas in non-germinating seasons. Mulch shall be applied immediately after seeding or at the termination of grading operations during non-germinating seasons.
Straw and hay mulch should be anchored or tackified immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hay into the soil about 3 inches deep. This method should be limited to slopes no steeper than 3H:1V. The machinery shall be operated on the contour.
Polymeric and gum tackifiers mixed and applied according to manufacturer's recommendations may be used to tack mulch. Avoid application during rain and on windy days. A 24-hour curing period and a soil temperature of 45 degrees F are typically required. Application should generally be highest at edges of seeded areas and at crests of ridges and banks to prevent loss. The remainder of the area shall have binder applied uniformly. Binders may be applied after mulch is spread or sprayed onto the mulch as it is being blown onto the soil.

Synthetic binders, or chemical binders, may be used as recommended by the manufacturer to anchor mulch provided that sufficient documentation is provided to show they are non-toxic to native plant and animal species.

Mulch on slopes of 8% or steeper should be held in place with netting, light-weight plastic, fiber, or paper nets may be stapled over the mulch according to manufacturer's recommendations.
Shredded paper hydromulch should not be used on slopes steeper than 5%. Wood fiber hydromulch should be 2000 lb/acre at a minimum.

MULCH APPLICATION RATES

Table with columns: Mulch Type, Per Acre, Application Rate (Min.), Per 1,000 S.F., Per 1,000 S.Y., Notes. Rows include Straw, Hay, Wood Chips, and Hydromulch.

VIII. SEEDING SCHEDULE:

Seeding to conform to specifications outlined in Section 804 - Seeding and Soil Supplements of PADOT Publication 408/2003 (latest revision).

A soils test should be performed in order to determine actual lime and fertilizer needs of the project site instead of using the generic application rates listed below.

TEMPORARY SEEDING SPECIFICATION - FORMULA E: 100% ANNUAL RYEGRASS (LOLIUM PERLURUM): 10.0 lbs./1,000 s.y.

PERMANENT SEEDING SPECIFICATION - FORMULA B: 70% Tall Fescue (Festuca Arundinacea var., Kentucky 31): 15.0 lbs./1,000 s.y. 30% Creeping Red Fescue or Chewings Fescue: 6.0 lbs./1,000 s.y.

SEEDING RATES FOR THE ABOVE MIXTURES: Spread seeds where indicated and at the rates specified above (and Table A, Pub 408, Section 804). Spread seeds within the following dates, or at otherwise indicated or directed:

Formula B: - March 15 to June 01 August 01 to October 15
Formula E: - March 15 to October 15

Extend seeding dates where project conditions warrant. Apply full treatment or apply only 50% of the permanent seeding and soil supplements and apply the remaining 50% within the next seeding dates. Place hay or straw uniformly, in a continuous blanket, until seeding is completed. If directed, increase the rate of application, depending upon the material used, season, soil conditions or method of application.

SOIL SUPPLEMENTS:

Pulverized agricultural limestone and commercial fertilizer shall be applied to all disturbed areas which are to be seeded in both temporary and permanent conditions at the following rates:

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS

Table with columns: Soil Amendment, Permanent Seeding Application Rate, Notes. Rows include Agricultural Lime, 10-10-20 Fertilizer, and 10-10-10 Fertilizer.

Adapted from Penn State, Erosion Control and Conservation Plantings on Noncropland

IX. SOILS RESOLUTIONS:

Contractor to ensure proper stabilization. Methods to include, seeding and mulching at the recommended rates and where necessary, the placement of an approved erosion control blanket.

Road Fill Contractor to ensure all fill used for roadway construction is placed and compacted in appropriate lifts. Should material not be suitable for roadway construction the contractor may import suitable material from an area within the permitted area.

Topsoil Contractor to ensure proper stabilization. Methods to include, seeding and mulching at the recommended rates and where necessary, the placement of an approved erosion control blanket.

Contractor shall consider soils testing to ensure topsoil is suitable to produce and sustain proper growth. Should the topsoil be lacking of the nutrients to produce growth the contractor shall consider applying lime and/or fertilizers at the rates recommended by the project landscape consultant and/or the local conservation district.

Topsoil may be imported from an area within the permitted area proven to be suitable.

Ponds, Dikes and Levees Embankments Contractor to ensure all fill used for basin, embankment, construction is placed and compacted in appropriate lifts. Should material not be suitable for basin construction the contractor may import suitable material from an area within the permitted area.

Contractor to ensure proper stabilization. Methods to include, seeding and mulching at the recommended rates and where necessary the placement of an approved erosion control blanket.

Terraces, diversions and waterways Contractor to ensure all earthwork associated with swales, diversion berms and/or watercourses is adequately stabilized with an approved erosion and sediment control blanket and/or seeding and mulching applied at the recommended rates.

Should erosion continue the contractor shall consult the design engineer, the local conservation district, and take appropriate measures to correct the problems. Corrective measures may include but are not limited to the following:

Additional seeding and mulching, the placement of sod, armor the channel with a stronger stabilization blanket, or the placement of rip-rap.

X. POST-CONSTRUCTION MAINTENANCE PROGRAM:

Post-Construction maintenance of all implemented BMP's shall include but not be limited to the following:

- 1. Check all vegetated areas after any runoff events to identify any areas showing accelerated erosion, if any area is identified as eroding, these areas are to be stabilized using methods described on this plan.
2. All storm structures shall be inspected and cleaned of debris annually or as necessary to maintain full capacity of the storm system.
3. Any underground detention system shall be inspected annually for debris buildup and structural integrity. Excessive debris is present the underground system shall be flushed and reinspected.

XI. STANDARD NOTE TO COMPLY WITH NPDES CHECKLIST ITEM #2.b.v:

(#3.b.v for an Individual NPDES Permit)

If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the permittee.

- 1. Clean Fill is defined as: uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognized as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include millfed asphalt or asphalt that has been processed for re-use.)
2. Clean Fill affected by a spill or release of a regulated substance. Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy Management of Fill.
3. Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill.
4. Environmental due diligence: The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, "Soilborn" maps, environmental questionnaires, transaction searches, analytical testing, engineering assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy Management of Fill.

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapter 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.pacode.com

CONSTRUCTION SEQUENCE

At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, and the plan preparer(s) to a pre-construction meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call Incorporated System at 811 or 1-800-242-1776 for buried utilities locations.

All earth disturbance activities shall proceed in accordance with the outlined sequence on these plans. Each stage shall be completed before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage. General site clearing, grubbing, and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the Construction Sequence for that stage or phase have been installed and are functioning as described in this document. Deviation from this sequence must be approved in writing from the municipality prior to implementation. No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations.

Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceeds 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

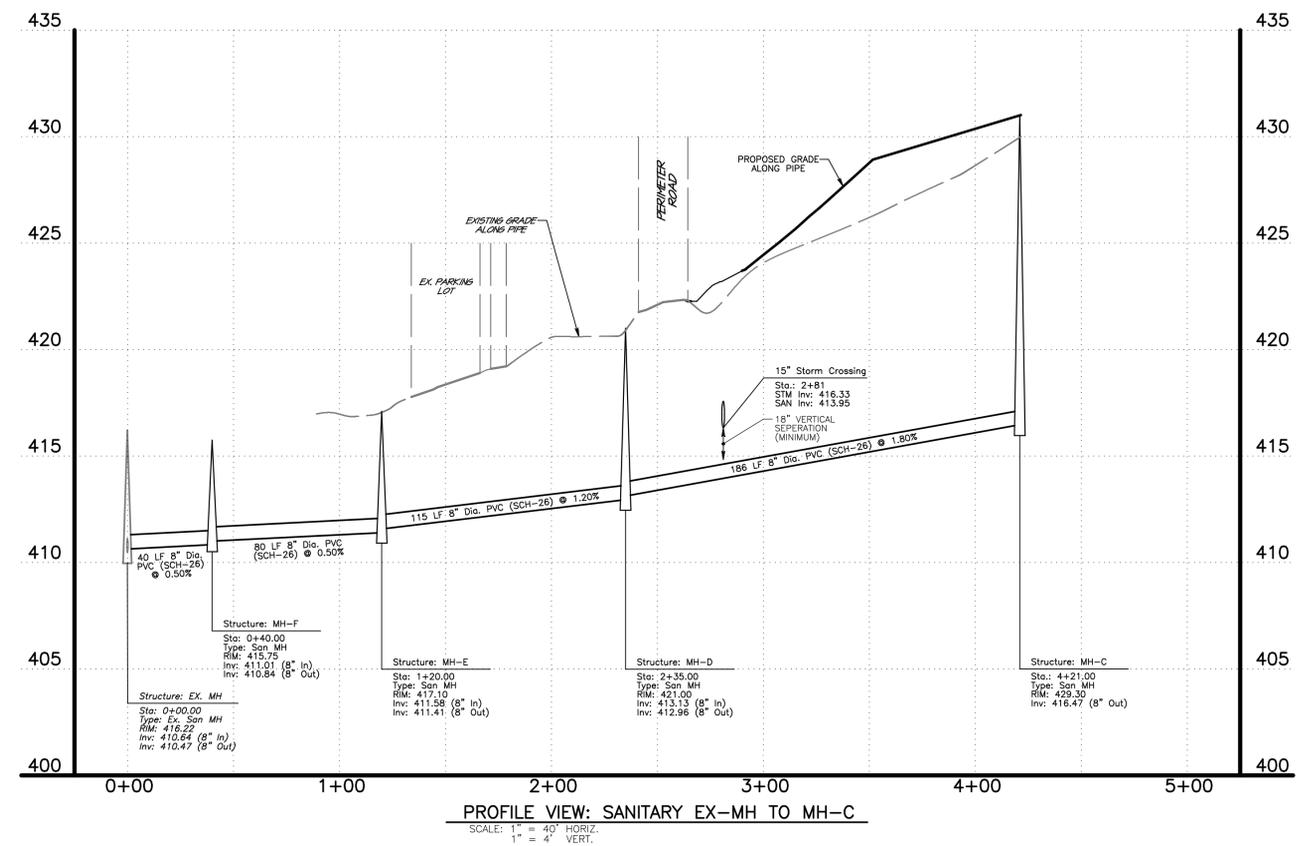
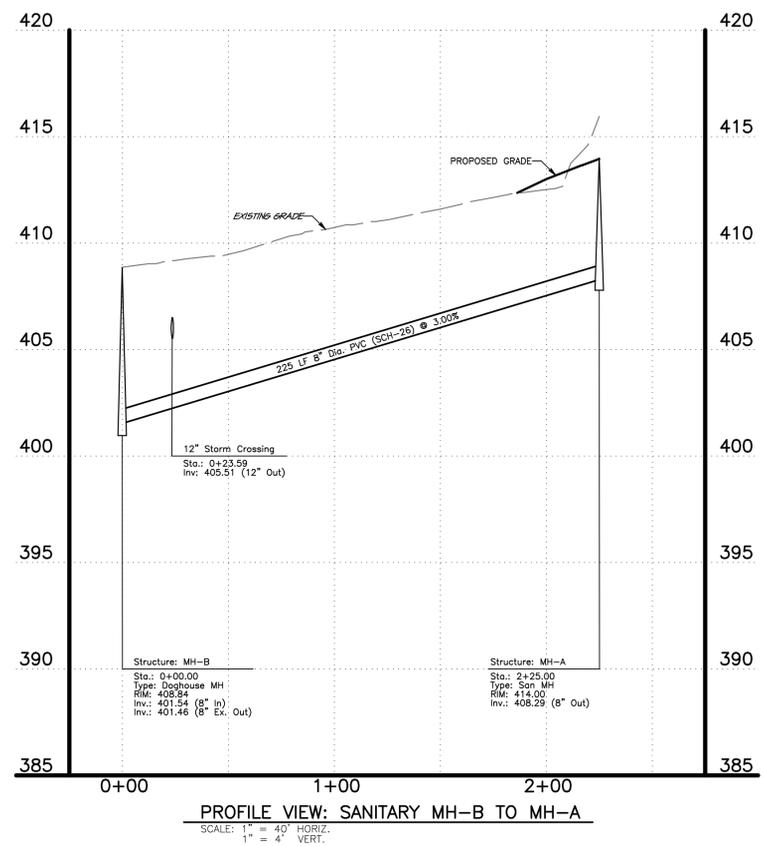
- 1. Install Compost Filter Sacks CS-01 through CS-03 as shown and detailed on the plans. Install Tree Protection Fencing as shown and detailed on the plans. Install Inlet Filter Bag(s) within each existing inlet within the Limit of Disturbance as shown and detailed on the plans.
2. Begin clearing and general site construction for the proposed building addition. Strip and stockpile topsoil in the designated topsoil stockpile area as shown and detailed on the plans. Install 12" Compost Filter Sack on the downslope side of all stockpile areas as shown and detailed on the plans. Stabilize stockpile areas immediately with a temporary seed and mulch mixture applied at the recommended rates.
3. Begin clearing and general site construction for the proposed building addition. Strip and stockpile topsoil in the designated topsoil stockpile area as shown and detailed on the plans. Install 12" Compost Filter Sack on the downslope side of the stockpile area as shown and detailed on the plans. Stabilize stockpile area immediately with a temporary seed and mulch mixture applied at the recommended rates.
4. Begin installation of all proposed storm inlets and pipe connections to existing inlets as shown, profiled, and detailed on the plans. Immediately place an inlet filter bag within each new inlet as it is installed. Begin construction and proposed site work as shown and detailed on the plans. All proposed utilities to be in the building addition as shown and detailed on the plans. All trench spoils shall be stockpiled immediately upslope of the trench to prevent any sediment-laden runoff from leaving the area of work. If utility work ceases for more than a 24-hour period, the trench shall be backfilled and a temporary stabilization method (i.e. straw or an erosion control blanket) applied to the area of excavation.
5. As building addition construction progresses, construct all sidewalks as shown and detailed on the plans. Finalize all proposed site grading and install erosion control blankets on any slope 3:1 or steeper as shown and detailed on the plans. Immediately stabilize all remaining disturbance with a permanent seed and mulch mixture applied at the recommended rates.
6. Vegetated areas shall be considered permanently stabilized when a uniform 70% vegetative cover or erosion resistant perennial species have been achieved, or the disturbed area is covered with an acceptable SCM which permanently minimizes accelerated erosion and sedimentation. Until such time as this standard is achieved, interim stabilization measures and temporary erosion and sediment control BMPs that are used to treat project runoff may not be removed. If soil areas appear to be compacted, scarify 6 to 12 inches prior to seeding. New topsoil shall be placed with a minimum depth of 6 inches.
7. Upon completion of permanent stabilization around the proposed building addition, install Compost Filter Sacks CS-04 and CS-05 as shown and detailed on the plans.
8. Construct Rain Garden SCM #1 as shown and detailed on the plans. Construct berm and spillway areas as shown and detailed on the plans. Install Rain Garden Outlet Structure, Flored End Section, and connected piping as shown, profiled, and detailed on the plans. Install erosion control blanket on spillway and berm areas as shown and detailed on the plans. Install riprap outlet dissipater at the Flored End Section as shown and detailed on the plans. Proceed with berm and spillway construction in maximum 9" lifts. All fill associated with the Rain Garden berm and spillway construction shall be compacted to 95% of Maximum Dry Density as established by ASTM D-1557 prior to proceeding to the next lift. Completion shall be monitored by the Township Engineer and/or local representative. Finalize berm/spillway construction and place a minimum of 6" of topsoil on both the exterior and interior berms, rock and seed with a permanent seed and mulch mixture applied at the recommended rates. Install North American Green S-75 Erosion Control Blanket (or approved equal) on all side slope areas 3:1 or steeper as shown and detailed on the plans.
9. Upon completion of Rain Garden SCM #1 berm and spillway stabilization, excavate the rain garden floor area to design elevations and install the perforated under-drain and placement of the Basin Soils Mixture as shown and detailed on the plans. Ensure that the under-drain is connected to the existing storm sewer. Install water-light seal on the water-light cap on the under-drain stub within the Outlet Structure Box and drill the appropriately sized dewatering hole at the invert of the cap as shown and detailed on the plans. Finalize placement of the Basin Soils Mixture and immediately stabilize all disturbance with the appropriate seed mixture and proposed plantings as shown and detailed on the plans. Rain Garden SCM #1 shall now be considered permanently stabilized and is not to be re-disturbed under any circumstances.
10. Upon completion of all site construction, including but not limited to Rain Garden SCM #1 construction, all storm water improvements, all utility installation, and all site grading with permanent stabilization, remove all erosion control devices. Dispose of any accumulated sediment in areas designated for sediment disposal. Remove all Compost Filter Sacks and Inlet Filter Bags from the project site. Remove the Compost Filter Sack Concrete Washout Area. Remove all tree protection fencing. Immediately stabilize any disturbance with a permanent seed and mulch mixture applied at the recommended rates.

REVISIONS

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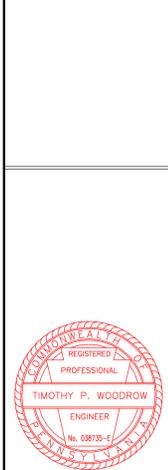


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NO.	DATE	DESCRIPTION

**REVISIONS**



PROJECT SERIAL NUMBER FOR DESIGN:



Parcel Information:  
**MAIN CAMPUS:**  
 Block 5 Unit 10  
**NORTH PARCEL:**  
 Block 5 Unit 47

Deed Area: 106.8437 Ac.  
 RW Area: -1.5537 Ac.  
 Restricted Land: -2.4495 Ac.  
 Developable Area: 102.8405 Ac.

Applicant:  
**FOULKWAYS at GWYNEDD**  
 c/o Phil DeBraun, C.E.O.  
 1120 Meetinghouse Road  
 Gwynedd, PA 19436  
 (215) 643-2200

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PRELIMINARY / FINAL PLAN  
**PLAN and PROFILE:  
 CROSS-LOT UTILITIES  
 FOULKWAYS at GWYNEDD**  
**WOODROW & ASSOCIATES, INC.**  
 MUNICIPAL / CIVIL CONSULTING ENGINEERS  
 LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA  
 1108 N. Gwynedd Ave. Gwynedd, PA 19436  
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Layer List:  
 D15-Sh13\_Prof

Job No:  
 05-0903 D15

Plan Date:  
 DECEMBER 03, 2025

Sheet No:  
 13 of 14

