

PRELIMINARY/FINAL SUBDIVISION PLANS

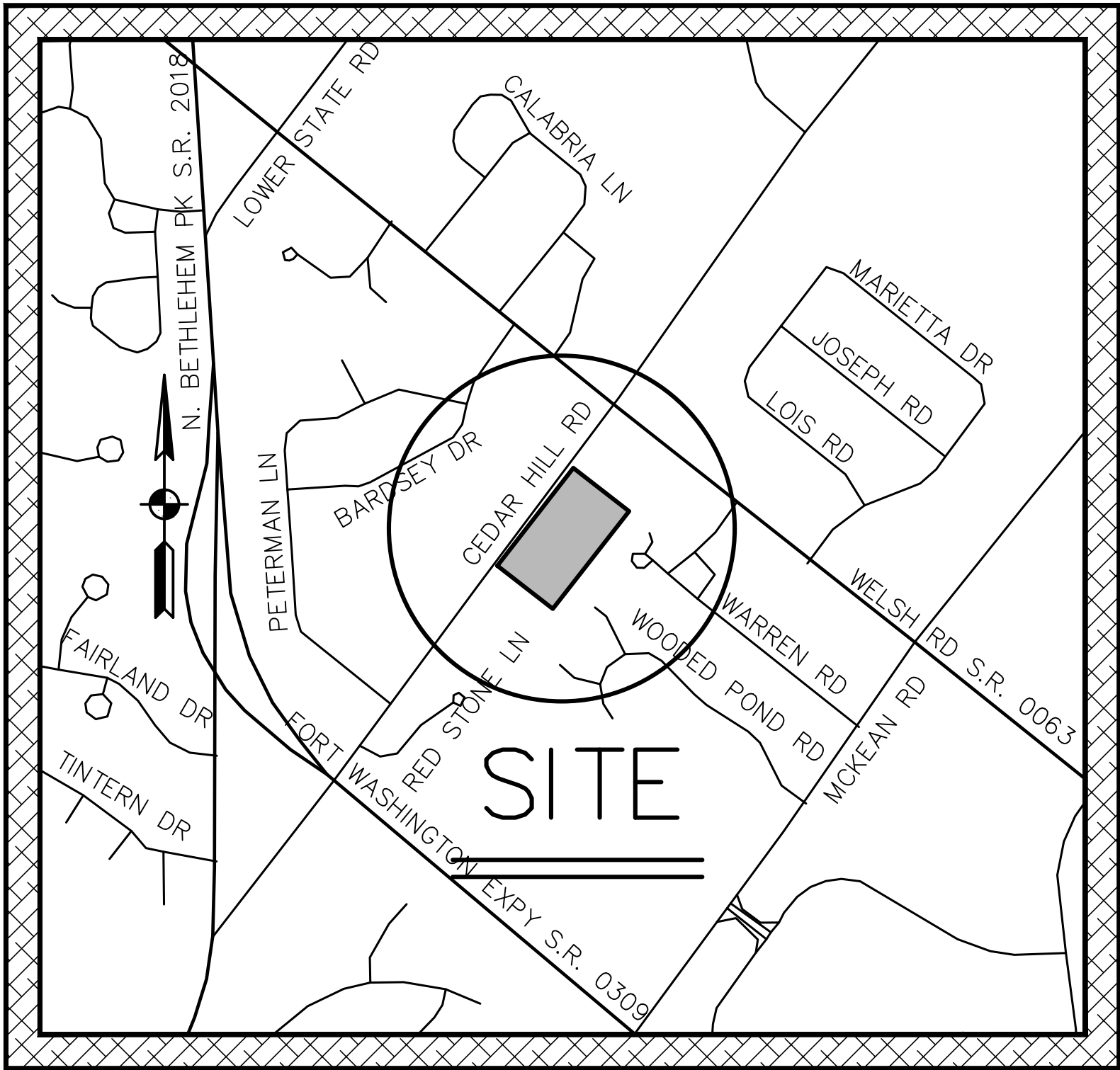
OF THE

1512 & 1524 CEDAR HILL ROAD

SITE SITUATE IN LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY

PLAN SHEET INDEX

SHEET NO.	PLAN TITLE	DATE	LAST REVISED
1 OF 15	COVER SHEET	AUG. 25, 2025	--
2 OF 15	SUBDIVISION PLAN	AUG. 25, 2025	--
3 OF 15	EXISTING FEATURES PLAN	AUG. 25, 2025	--
4 OF 15	DEMOLITION PLAN	AUG. 25, 2025	--
5 OF 15	AERIAL PHOTO	AUG. 25, 2025	--
6 OF 15	CONSTRUCTION IMPROVEMENT PLAN AND DETAIL SHEET	AUG. 25, 2025	--
7 OF 15	E&S PLAN	AUG. 25, 2025	--
8 OF 15	E&S DETAIL SHEET	AUG. 25, 2025	--
9 OF 15	PCSM PLAN	AUG. 25, 2025	--
10 OF 15	PCSM NOTES & DETAIL SHEET	AUG. 25, 2025	--
11 OF 15	PCSM LANDSCAPE PLAN	AUG. 25, 2025	--
12 OF 15	PCSM LANDSCAPE DETAIL SHEET	AUG. 25, 2025	--
13 OF 15	GRADING PLAN, PROFILE, AND DETAIL SHEET OF CEDAR HILL ROAD	AUG. 25, 2025	--
14 OF 15	PRE-DEVELOPMENT DRAINAGE SHED PLAN	AUG. 25, 2025	--
15 OF 15	POST-DEVELOPMENT DRAINAGE SHED PLAN	AUG. 25, 2025	--
ADDITIONAL SUPPORTING DOCUMENTS			
1	POST-CONSTRUCTION STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL PLAN NARRATIVE WITH DRAINAGE SHED PLANS	AUG. 25, 2025	--
2	STORMWATER INFILTRATION REPORT PREPARED BY VW CONSULTANTS LLC	SEPT. 2, 2025	--
3	WETLAND REPORT PREPARED BY VALLEY ENVIRONMENTAL SERVICES, INC.	JUNE 6, 2023	--



SITE LOCATION MAP 1" = 800'

SITE STATISTICS

1. SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:
A. LOWER GWYNEDD TOWNSHIP
TAXMAPID: 39018 028
PARID: 39-00-00646-00-8
B. LOWER GWYNEDD TOWNSHIP
TAXMAPID: 39018 029
PARID: 39-00-00649-00-5
2. RECORDED DEED DATA IS AS FOLLOWS:
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT DOYLESTOWN, PENNSYLVANIA IN:
A. DEED BOOK 6409, PAGE 02531
B. DEED BOOK 6409, PAGE 02542
3. NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:
A. TISMAN GROUP, LLC
831 N STILLMAN ST
PHILADELPHIA, PA 19130
B. TISMAN GROUP, LLC
831 N STILLMAN ST
PHILADELPHIA, PA 19130
4. AREA STATISTICS:
A. TOTAL TRACT AREA = 4.00 AC. (GROSS)
B. TOTAL TRACT AREA = 3.76 AC. (TO TITLE LINES)
C. TOTAL COMBINED TRACT AREA = 7.76 AC. (GROSS)
TOTAL COMBINED TRACT AREA = 7.30 AC. (NET)

ACT 50 UTILITY NOTE

811

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDER-GROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20252383716.

LOWER GWYNEDD TOWNSHIP
P.O. BOX 203
Spring House, PA 19477
215-646-5302

COMCAST CABLE COMMUNICATION
237 W. Germantown Pike
Norristown, PA 19403
610-278-7200

VERIZON PENNSYLVANIA, INC.
1350 Welsh Road - Suite 100
North Wales, Pa 19454
215-956-2605

PECO ENERGY
680 Ridge Pike
Plymouth Meeting, PA 19462
610-943-5522

NORTH WALES WATER AUTHORITY
200 West Walnut Street
North Wales, pa 19454
215-699-4836

TRANSCONTINENTAL GAS
PIPE LINE CORP.
60 Beckton Hill Road
Frazier, Pa 19355
610-644-7273

PREPARED FOR

TISMAN GROUP, LLC

3901 PARKSIDE DRIVE

FURLONG, PA 18925

S

T

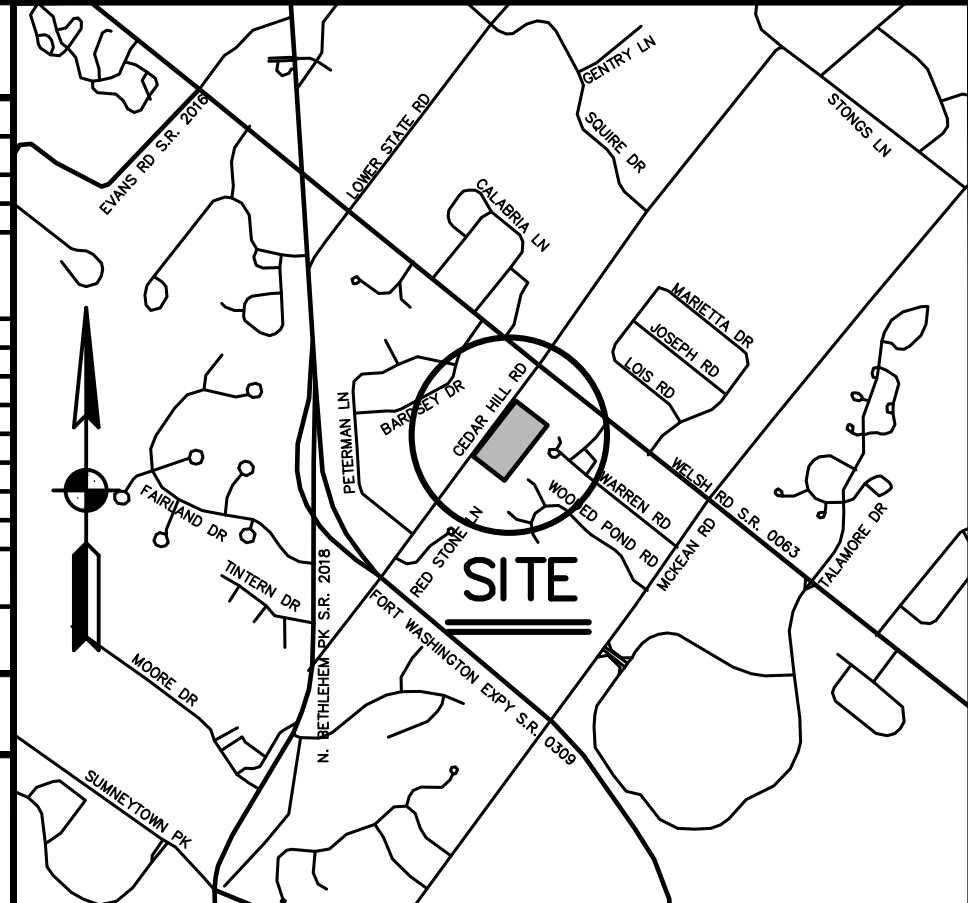
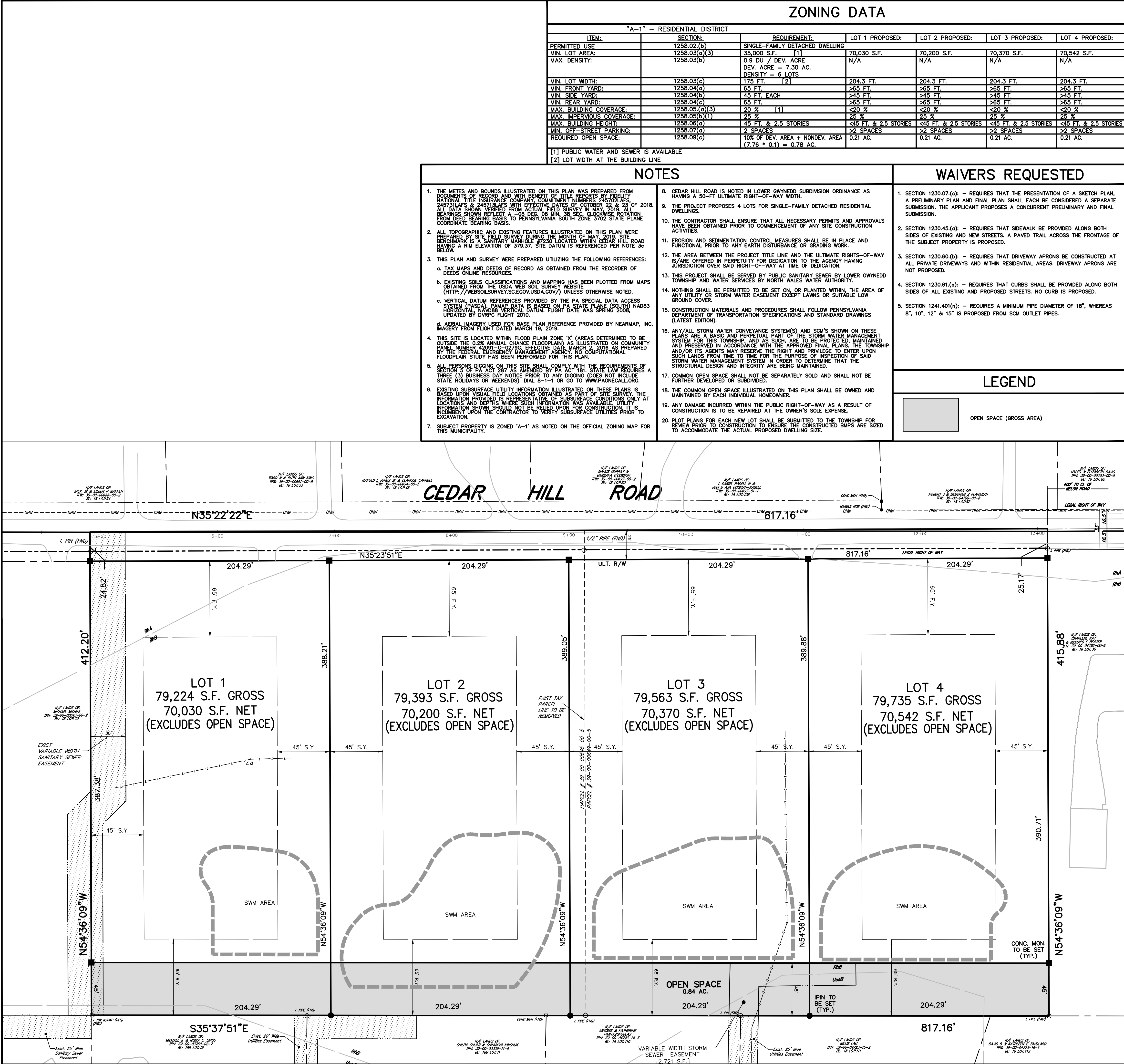
A

Engineering, Inc.

Civil Engineers • Land Surveyors

2499 KNIGHT ROAD, PENNSBURG, PA 18073

PH: (215) 679-0200; www.stotac.com



SITE LOCATION MAP 1"=2000'

SITE STATISTICS

1. SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:

A. LOWER GWYNEDD TOWNSHIP
TAXMAPID: 39018 028
PARID: 39-00-00646-00-8

B. LOWER GWYNEDD TOWNSHIP
TAXMAPID: 39018 029
PARID: 39-00-00649-00-5

2. RECORDED DEED DATA IS AS FOLLOWS:

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT DOWNTOWN, PENNSYLVANIA IN:

A. DEED BOOK 6409, PAGE 02531

B. DEED BOOK 6409, PAGE 02542

3. NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:

A. TISMAN GROUP, LLC
831 N STILLMAN ST
PHILADELPHIA, PA 19130

B. TISMAN GROUP, LLC
831 N STILLMAN ST
PHILADELPHIA, PA 19130

4. AREA STATISTICS:

A. TOTAL TRACT AREA = 4.00 AC. (GROSS)

B. TOTAL TRACT AREA = 3.76 AC. (TO TITLE LINES)

C. TOTAL COMBINED TRACT AREA = 7.76 AC. (GROSS)
TOTAL COMBINED TRACT AREA = 7.30 AC. (NET)

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON, AS WELL AS ALL DRAWINGS BEARINGS MY SEAL, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LOWER GWYNEDD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND WERE PREPARED BY ME OR UNDER MY DIRECTION AND FOR WHICH I ACCEPT FULL RESPONSIBILITY. THE PERIMETER MONUMENTS SHALL BE ACCURATELY PLACED AS REQUIRED BY THE TOWNSHIP.

SIGNATURE: DATE: LIC. NO:

ENGINEER CERTIFICATION

I, SUSAN A. RICE, P.E., DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS PLAN WAS PREPARED BY MYSELF OR UNDER MY SUPERVISION AND THAT SAID PLAN COMPLIES WITH ALL ORDINANCES AND REGULATIONS OF THE TOWNSHIP.

SUAN A. RICE, P.E. DATE: PE074508

ACT 50 UTILITY NOTE

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDER-GROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20252383716.

811

RECORDING ACKNOWLEDGEMENTS

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF MONTGOMERY } SS:

ON THIS, _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND THAT HE BEING DULY AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING AS PRESIDENT.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

I, _____, DO HEREBY ACKNOWLEDGE MYSELF TO BE A MEMBER OF TISMAN GROUP, LLC, A PENNSYLVANIA LIMITED LIABILITY CORPORATION, AND THAT AS SUCH BEING AUTHORIZED TO DO SO, CERTIFY THAT THE CORPORATION IS THE SOLE REGISTERED OWNER OF THE LAND HEREIN SUBDIVIDED AND THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME AND THAT I DO HEREBY ADOPT THIS PLAN AND DESIRE THE SAME TO BE RECORDED. I DO FURTHER SAVE THE TOWNSHIP HARMLESS AND IDENTIFY THE TOWNSHIP OF LOWER GWYNEDD AGAINST ANY LIABILITY OR LOSS RESULTING FROM THE SUBDIVISION OR DEVELOPMENT OF THIS PLAN FOR WHATEVER REASON PRESENT OR FUTURE.

TISMAN GROUP, LLC

BY: _____
PRESIDENT

CERTIFICATION OF TOWNSHIP APPROVAL:

AT THE MEETING HELD ON _____, THE BOARD OF SUPERVISORS OF LOWER GWYNEDD TOWNSHIP BY RESOLUTION DULY ENACTED AND APPROVED THE SUBDIVISION/LAND DEVELOPMENT PLAN OF THE PROPERTY OF _____ AS SHOWN HEREON.

TOWNSHIP SEAL

CHAIRMAN OF THE BOARD OF SUPERVISORS

TOWNSHIP SECRETARY

AT THE MEETING HELD ON _____, THE LOWER GWYNEDD TOWNSHIP SEWER AUTHORITY APPROVED THE SUBDIVISION/LAND DEVELOPMENT PLAN OF THE PROPERTY OF _____ AS SHOWN HEREON.

CHAIRMAN OF THE SEWER AUTHORITY

AUTHORITY SECRETARY

REVIEWED BY THE LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION AND RECOMMENDED FOR APPROVAL ON THE _____ DAY OF _____

PLANNING COMMISSION CHAIRMAN

REVIEWED BY THE TOWNSHIP ENGINEER ON THE _____ DAY OF _____

TOWNSHIP ENGINEER

MCPC No. _____

PROCESSED AND REVIEWED: A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____

For the Director

MONTGOMERY COUNTY PLANNING COMMISSION

GRAPHIC SCALE

40 0 20 40 80 120

REVISIONS

NO.	DATE	DESCRIPTION
1	AUG. 25, 2025	S.T.A. PLAN ORIGIN DATE

SUBDIVISION PLAN

AS PART OF

1512 & 1524 CEDAR HILL ROAD

PREPARED FOR

TISMAN GROUP, LLC

SITE SITUATE IN

LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY

Engineering, Inc.

Civil Engineers • Land Surveyors

2499 KNIGHT ROAD, PENNSBURG, PA 18073

PH: (215) 679-0200; www.statoc.com

PLAN SCALE

HORIZONTAL

1" = 40'

DRAFTED BY

M.J.P.

PROJECT NUMBER

6571

PROJECT MANAGER

S.A.R.

DRAWING FILE NUMBER

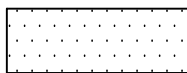
6571SUB

PLAN SHEET NUMBER

2 OF 16

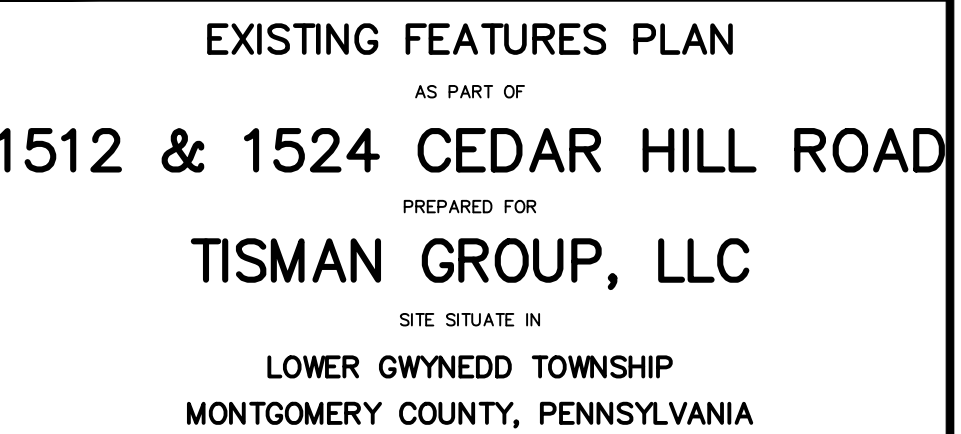
SOILS DATA				
SOILS TYPE:	SLOPES:	DEPTH TO RESTRICTIVE FEATURE:	DEPTH TO WATER TABLE:	HYDROLOGIC SOIL GROUP:
RhA REAVILLE SILT LOAM	0 TO 3 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
RhB REAVILLE SILT LOAM	3 TO 8 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
UusB URBAN LAND--UDORTHENTS SHALE & SANDSTONE	0 TO 8 PERCENT	20-99" TO LITHIC BEDROCK	MORE THAN 80"	D

LEGEND

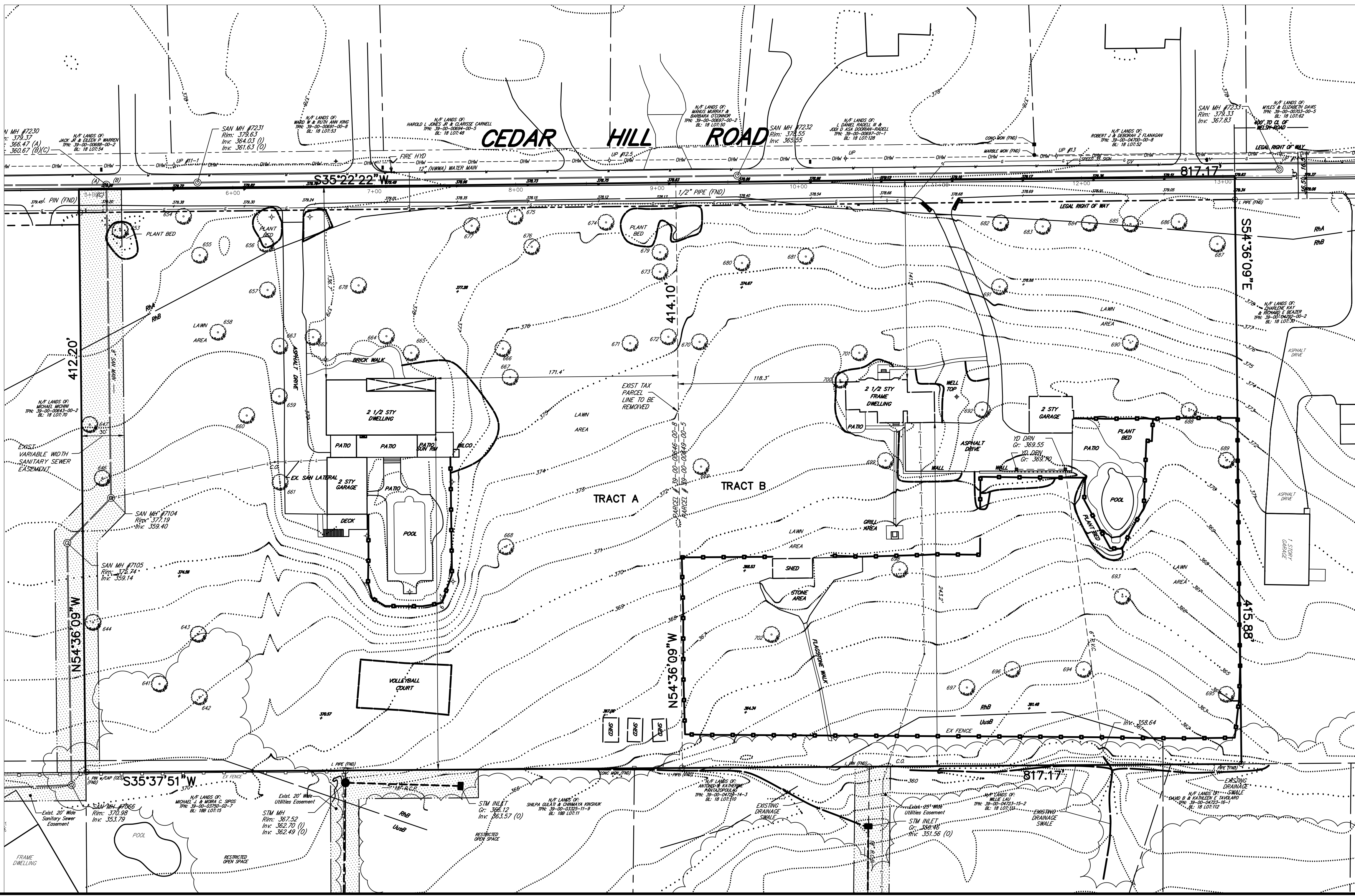
ADJOINING OWNERS	_____
EXISTING CONTOUR (MAJOR)	 30'
EXISTING CONTOUR (MINOR)	 30'
EXISTING SANITARY SEWER	_____
EXISTING STORM SEWER	_____
EXISTING EDGE OF ROAD	_____
EXISTING RIGHT-OF-WAY	_____
EXISTING CENTERLINE	_____
EXISTING DRIVES	_____
EXISTING EASEMENT	
EXISTING WOODS	
EXISTING TREE TO BE REMOVED	
SOIL LINE	
EXISTING CONCRETE	
EXISTING EASEMENT	
OVERHEAD WIRES	_____ OHW _____
EXISTING LAMP POST	☆ LP.
EXISTING CLEANOUT	○ CO.
EXISTING UTILITY POLE	⊗ UP.
EXISTING SIGN	⊥
IRON PIN FOUND	○
CONC. MONUMENT FOUND	⊞



ZONING DATA			
DATA OBTAINED FROM LOWER GWYNEDD TOWNSHIP ZONING ORDINANCE, AS LAST REVISED 2017, REFERENCE CHAPTER 1258.			
DISTRICT CLASSIFICATION: "A-1" – RESIDENTIAL DISTRICT			
CRITERIA:	REQUIRED:	TRACT A:	TRACT B:
MINIMUM LOT AREA:	35,000 S.F.	174,348 S.F.	163,990 S.F.
MINIMUM LOT WIDTH @ BUILDING LINE:	175 FT.	422.0 FT.	395.2 FT.
FRONT YARD SETBACK:	65 FT.	136.7 FT.	141.3 FT.
SIDE YARD RESTRICTION:	45 FT.	171.4 FT.	118.3 FT.
REAR YARD RESTRICTION:	65 FT.	236.9 FT.	243.2 FT.
MAXIMUM BUILDING COVERAGE:	20 %	2.8 %	1.4 %
MAXIMUM IMPERVIOUS SURFACE COVERAGE:	2.0 %	10.5 %	10.3 %
MAXIMUM BUILDING HEIGHT:	35 FT.	<35 FT.	<35 FT.



PLAN SCALE HORIZONTAL:	DRAFTED BY M.J.P.	PROJECT MANAGER S.A.R.	PLAN SHEET NUMBER
1" = 40'	PROJECT NUMBER 6571	DRAWING FILE NUMBER 6571EF	3 OF 16



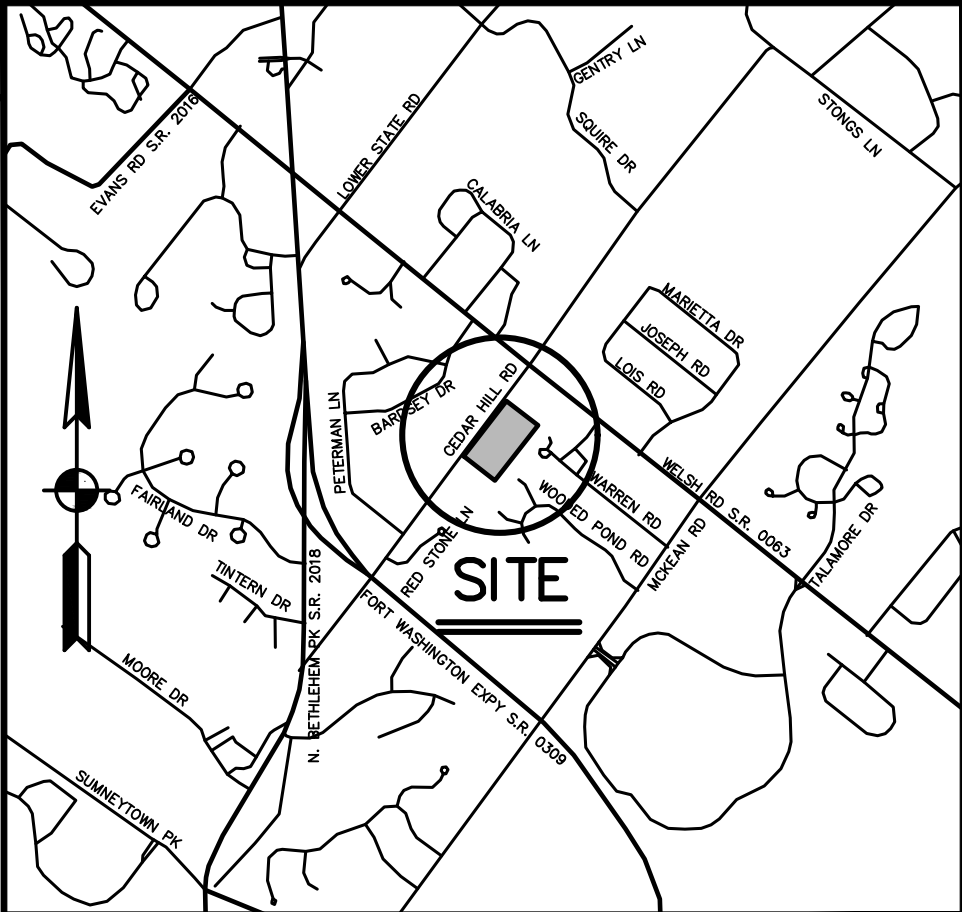
SOILS DATA				
SOILS TYPE:	SLOPES:	DEPTH TO RESTRICTIVE FEATURE:	DEPTH TO WATER TABLE:	HYDROLOGIC SOIL GROUP:
RhA REAVILLE SILT LOAM	0 TO 3 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
RhB REAVILLE SILT LOAM	3 TO 8 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
UuB URBAN LAND-UDORTHENTS SHALE & SANDSTONE	0 TO 8 PERCENT	20-99" TO LITHIC BEDROCK	MORE THAN 80"	D

SEPTIC ABANDONMENT NOTE

WELLS AND EXISTING SANITARY SEWER SERVICES TO BE ABANDONED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.

LEGEND

- ADJOINING OWNERS
EXISTING CONTOUR (MAJOR)
EXISTING CONTOUR (MINOR)
EXISTING SANITARY SEWER
EXISTING STORM SEWER
EXISTING EDGE OF ROAD
EXISTING RIGHT-OF-WAY
EXISTING CENTERLINE
EXISTING DRIVES
EXISTING EASEMENT
EXISTING WOODS
- EXISTING TREE TO BE REMOVED
- SOIL LINE
- EXISTING CONCRETE
- EXISTING EASEMENT
- OVERHEAD WIRES
EXISTING LAMP POST
EXISTING CLEANOUT
EXISTING UTILITY POLE
EXISTING SIGN
- IRON PIN FOUND
CONC. MONUMENT FOUND
- DENOTES STRUCTURES TO BE REMOVED
- DENOTES TREES TO BE REMOVED



SITE LOCATION MAP 1"=2000'

SITE STATISTICS

- SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:
 - LOWER GWYNEDD TOWNSHIP
TAXMAPID: 39018 029
PARID: 39-00-00646-00-8
 - LOWER GWYNEDD TOWNSHIP
TAXMAPID: 39018 029
PARID: 39-00-00649-00-5
- RECORDED DEED DATA IS AS FOLLOWS:

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT DOYLESTOWN, PENNSYLVANIA IN:

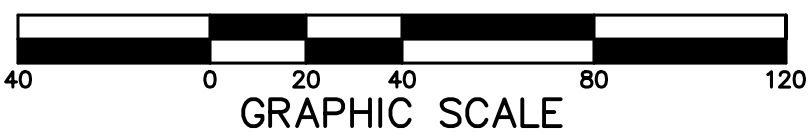
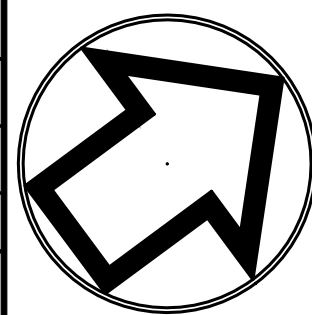
 - DEED BOOK 6409, PAGE 02531
 - DEED BOOK 6409, PAGE 02542
- NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:
 - TISMAN GROUP, LLC
831 N STILLMAN ST
PHILADELPHIA, PA 19130
 - TISMAN GROUP, LLC
831 N STILLMAN ST
PHILADELPHIA, PA 19130
- AREA STATISTICS:
 - TOTAL TRACT AREA = 4.00 AC. (GROSS)
 - TOTAL TRACT AREA = 3.76 AC. (TO TITLE LINES)
 - TOTAL COMBINED TRACT AREA = 7.76 AC. (GROSS)
TOTAL COMBINED TRACT AREA = 7.50 AC. (NET)

ZONING DATA

DATA OBTAINED FROM LOWER GWYNEDD TOWNSHIP ZONING ORDINANCE, AS LAST REVISED 2017, REFERENCE CHAPTER 1258.

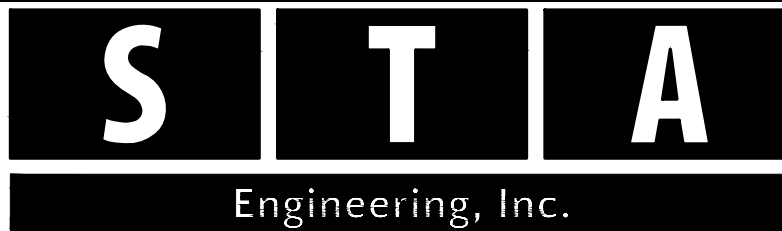
DISTRICT CLASSIFICATION:
"A-1" - RESIDENTIAL DISTRICT

CRITERIA:	REQUIRED:	TRACT A:	TRACT B:
MINIMUM LOT AREA:	35,000 S.F.	174,348 S.F.	163,990 S.F.
MINIMUM LOT WIDTH @ BUILDING LINE:	175 FT.	422.0 FT.	395.2 FT.
FRONT YARD SETBACK:	65 FT.	136.7 FT.	141.3 FT.
SIDE YARD RESTRICTION:	45 FT.	171.4 FT.	118.3 FT.
REAR YARD RESTRICTION:	65 FT.	236.9 FT.	243.2 FT.
MAXIMUM BUILDING COVERAGE:	20 %	2.8 %	1.4 %
MAXIMUM IMPERVIOUS SURFACE COVERAGE:	25 %	10.5 %	10.3 %
MAXIMUM BUILDING HEIGHT:	35 FT.	<35 FT.	<35 FT.



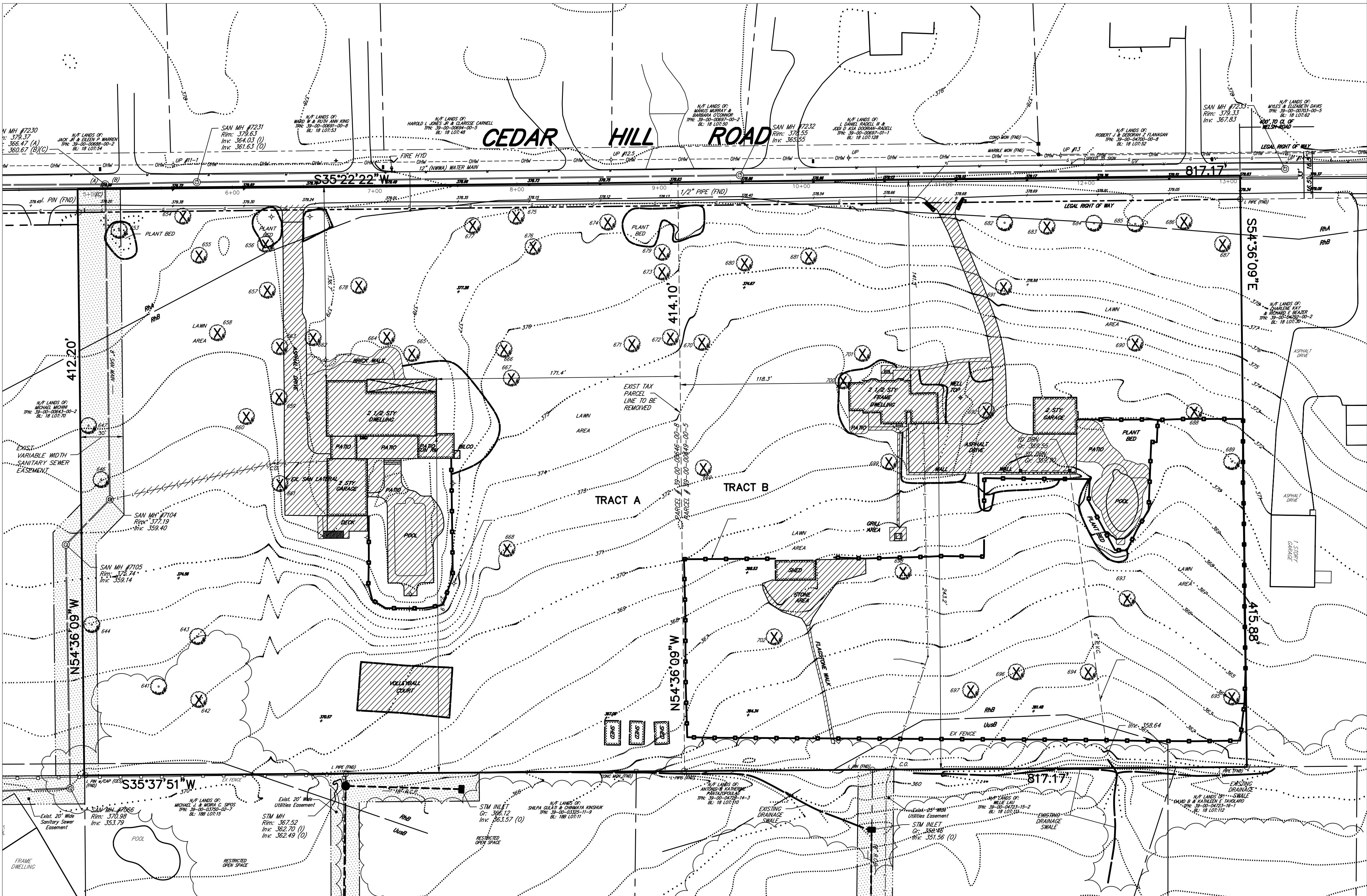
REVISIONS		DATE
1	INT. S.T.A. PLAN ORIGINATION DATE	AUG. 25, 2025

DEMOLITION PLAN
AS PART OF
1512 & 1524 CEDAR HILL ROAD
PREPARED FOR
TISMAN GROUP, LLC
SITE SITUATE IN
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY



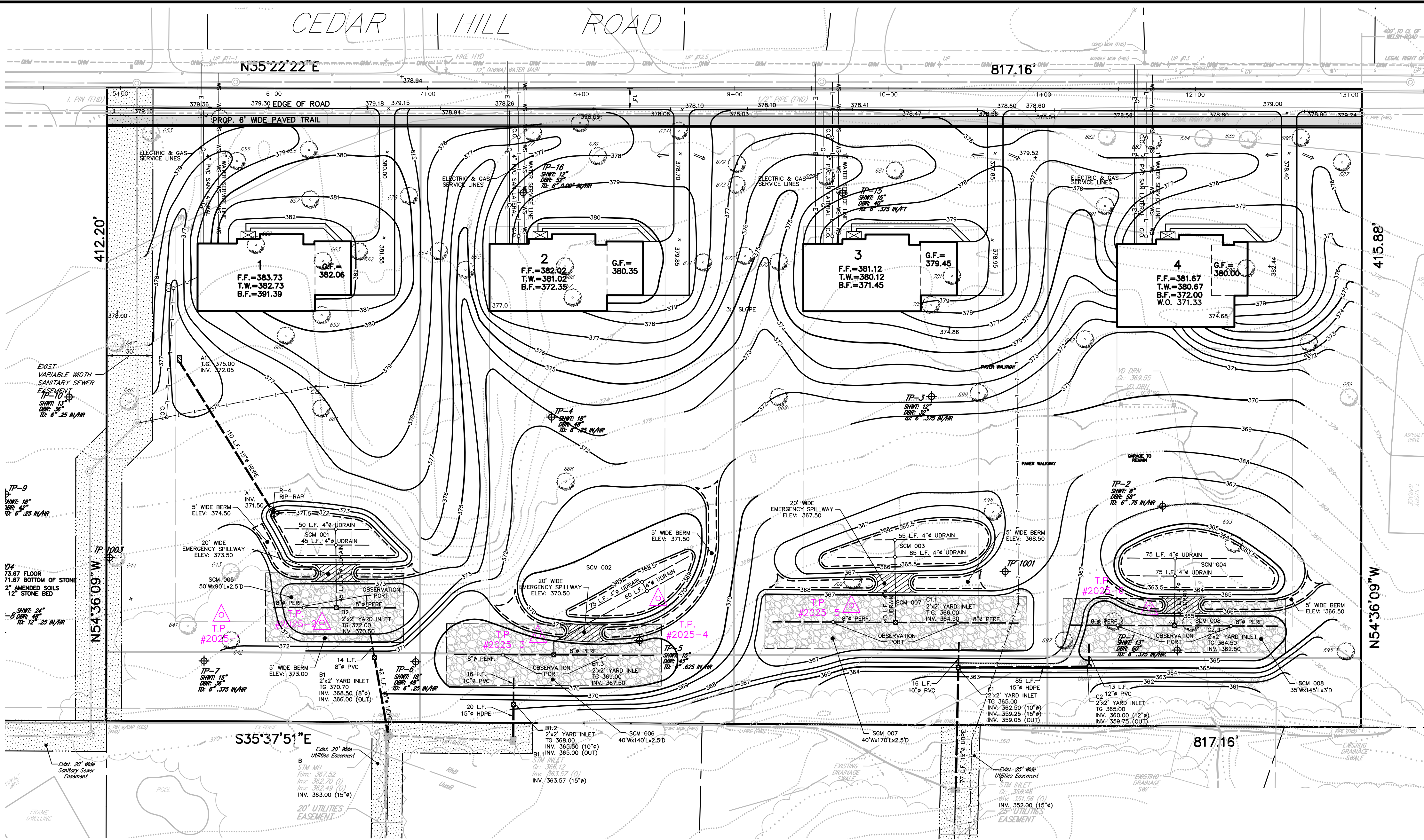
Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	M.J.P.	S.A.R.	
1" = 40'	PROJECT NUMBER 6571	DRAWING FILE NUMBER 6571DEMO	4 OF 16



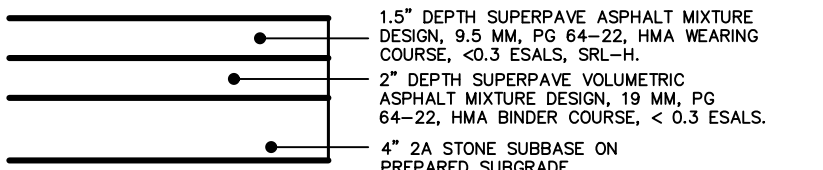
CONSTRUCTION NOTES

1. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS PF P.L. 852, NO. 287, DECEMBER 10, 1974, AS AMENDED ON DECEMBER 12, 1986 P.L. 1574, NO. 172. CONTRACTORS MUST NOTIFY PA ONE CALL SYSTEM, INC. THREE (3) DAYS PRIOR TO THE START OF ANY CONSTRUCTION. 1-(800)-242-1176.
2. CONTRACTORS SHALL NOT ENCRoACH ONTO ADJOINING PROPERTIES UNLESS A TEMPORARY GRADING EASEMENT HAS BEEN OBTAINED FROM THE ADJOINING OWNERS. ALL PROPERTY LINES MUST BE SHOWN BY ADEQUATELY MARKED AN ANY AREA THAT PROPOSED GRADING ENCROACHES WITHIN FIVE (5) FEET OF THE PROPERTY LINE THE CONTRACTOR SHALL INSTALL TEMPORARY ORANGE CONSTRUCTION FENCE TO PREVENT ENCROACHMENT ONTO ADJOINING PROPERTIES.
3. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL ENSURE THAT ALL CONSTRUCTION PERFORMED IS IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
5. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONAL PRIOR TO ANY EARTH DISTURBANCE OR GRADING WORK WITHIN THE TRIBUTARY AREA.
6. BURYING OF TREES, TREE STUMP AND CONSTRUCTION DEBRIS IS PROHIBITED. ALL DEBRIS SHALL BE REMOVED AND DISPOSED OF IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS. TREE STUMPS MAY BE GROUND OR CHIPPED AND SPREAD ON SITE.
7. NOTHING SHALL BE PERMITTED TO BE SET ON, PLACED OR PLANTED WITHIN THE AREA OF ANY UTILITY OR STORM WATER EASEMENT EXCEPT LAWNS OR SUITABLE LOW GROUND COVER.
8. PROPOSED LAWN IMPROVEMENTS: THE PROPOSED DWELLING FOOTPRINT, DRIVEWAY, UTILITY CONNECTIONS, ETC. ARE SHOWN TO VERIFY CONFORMITY WITH ORDINANCES. FINAL DESIGN MAY VARY AND WILL REQUIRE INDIVIDUAL BUILDING PERMIT PLANS TO BE PREPARED AND SUBMITTED TO THE TOWNSHIP(S) FOR APPROVAL.
9. ALL CONSTRUCTION REQUIREMENTS, METHODS, MATERIALS AND SPECIFICATION SHALL BE IN ACCORDANCE WITH ALL MUNICIPAL AUTHORITY STANDARDS, MUNICIPALITY STANDARDS AND PENN-DOT FORM 408 (LATEST EDITION), WHERE IN THE CASE OF CONFLICT THE MORE STRINGENT REQUIREMENT SHALL APPLY.
10. ALL STORM SEWER PIPING SHALL BE HDPE PIPE UNLESS NOTED OTHERWISE.
11. ALL PRECAST STORM SEWER STRUCTURES SUCH AS INLETS, STORM MANHOLES, ENDWALLS, ETC. SHALL CONFORM TO THE COMMON WEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION # 72 (LATEST ADDITION). SHOP DRAWINGS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEERS OFFICE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
12. ALL UTILITY INSTALLATION MUST BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
13. ALL SLOPES AND GRADES THREE (3) FOOT HORIZONTAL TO ONE (1) FOOT VERTICAL (3:1) SHALL BE STABILIZED WITH A NORTH AMERICAN GREEN OR APPROVED EQUAL EROSION CONTROL BLANKET INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS STANDARDS AND SPECIFICATIONS. SEE EROSION CONTROL PLANS FOR LOCATION AND DETAILS.
14. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1%.
15. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS.
16. ANY STORMWATER CONVEYANCE SYSTEM AND DETENTION FACILITY SHOWN ON THESE PLANS ARE A BASIC AND PERPETUAL PART OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS TOWNSHIP, AND AS SUCH, ARE TO BE PROTECTED, MAINTAINED AND PRESERVED IN ACCORDANCE WITH THE APPROVED FINAL PLANS. THE TOWNSHIP AND/OR ITS AGENTS MAY RESERVE THE RIGHT AND PRIVILEGE TO ENTER UPON SUCH LANDS FROM TIME TO TIME FOR THE PURPOSE OF INSPECTION OF SAID STORMWATER MANAGEMENT SYSTEM IN ORDER TO DETERMINE THAT THE STRUCTURAL DESIGN AND INTEGRITY ARE BEING MAINTAINED.
17. A MINIMUM OF SIX (6) INCHES OF CLEAN TOPSOIL SHALL BE PROVIDED ON ALL LAWN AND PLANTING AREAS.
18. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
19. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
20. ALL ROOF LEADER COLLECTION SYSTEMS MUST BE DIRECTED TOWARDS THE DRAINAGE AREAS ILLUSTRATED ON THE POST DEVELOPMENT SHED PLANS. THE REAR OF EACH DWELLING UNIT SHALL BE DIRECTED TO THE SOM FOR EACH INDIVIDUAL LOT.

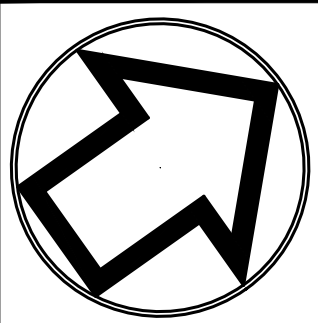


LEGEND

- ADJOINING OWNERS
SETBACK LINES
EXISTING SANITARY SEWER
EXISTING STORM SEWER
EXISTING CONTOUR (MAJOR)
EXISTING CONTOUR (MINOR)
EXISTING EDGE OF ROAD
EXISTING RIGHT-OF-WAY
EXISTING CENTERLINE
EXISTING DRIVES
EXISTING EXISTING SOILS
EXISTING TREE ROW
EXISTING EASEMENT
EXISTING FENCE
EXISTING WATER MAIN
EXISTING GAS MAIN
EXISTING WATER SERVICE
EXISTING OVERHEAD WIRES
PROPOSED CONTOUR (MINOR)
PROPOSED CONTOUR (MAJOR)
PROPOSED STORM SEWER
PROPOSED EDGE OF ROAD
PROPOSED DRIVEWAY
PROPOSED WATER SERVICE
PROPOSED GAS SERVICE
PROPOSED ELECTRIC LINE
PROPOSED LATERAL



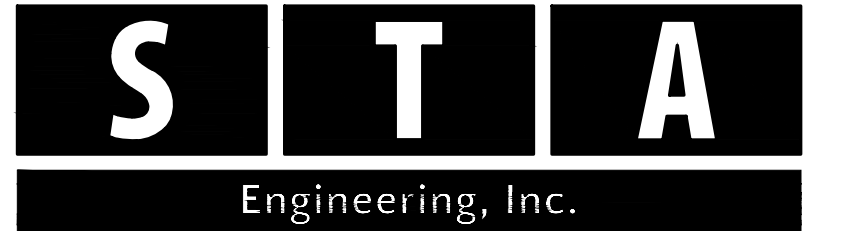
RESIDENTIAL DRIVEWAY CROSS-SECTION



NO.	REVISIONS	DATE
1	W.P. S.T.A. PLAN ORIGINATION DATE	AUG. 25, 2025

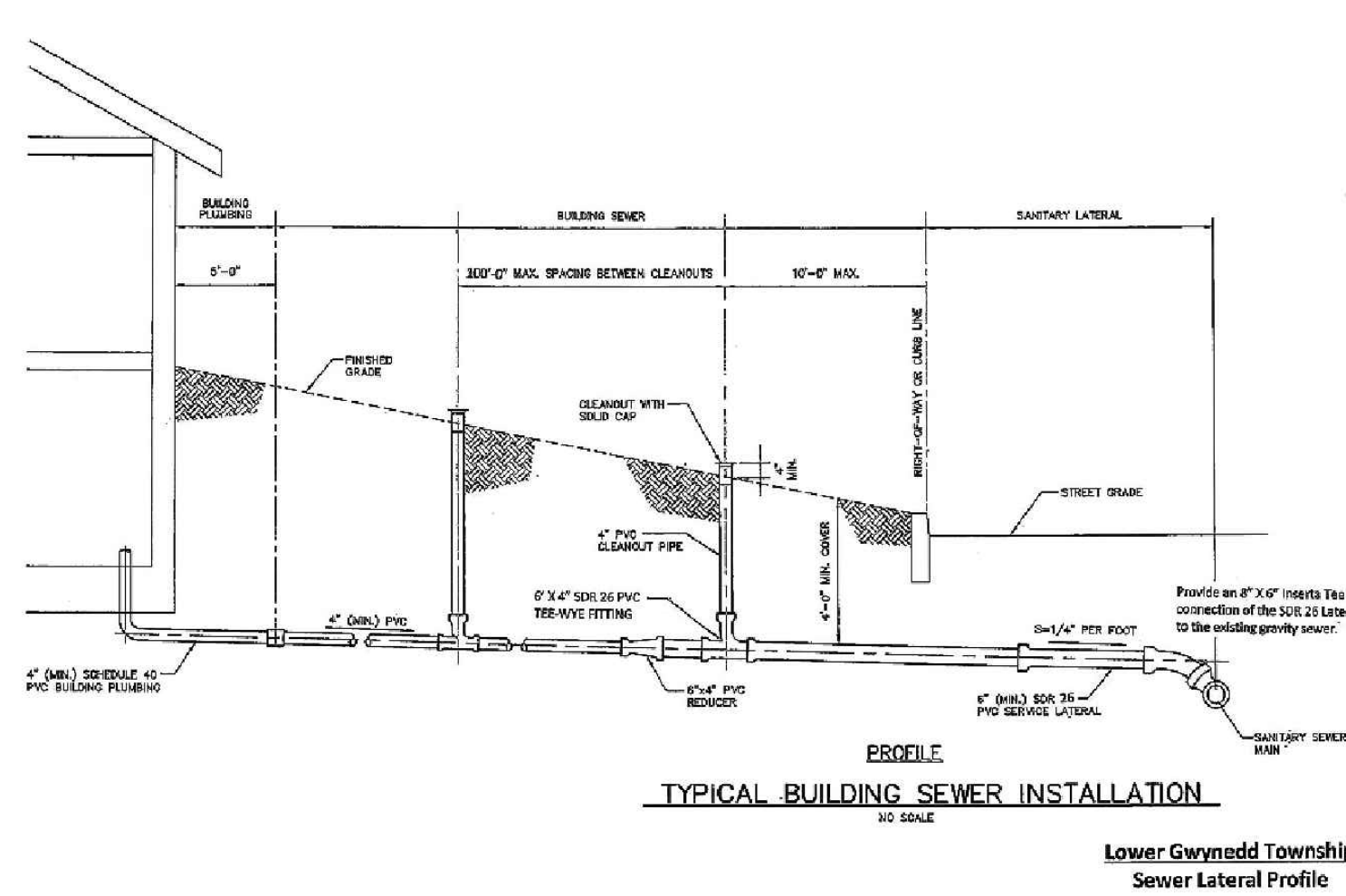
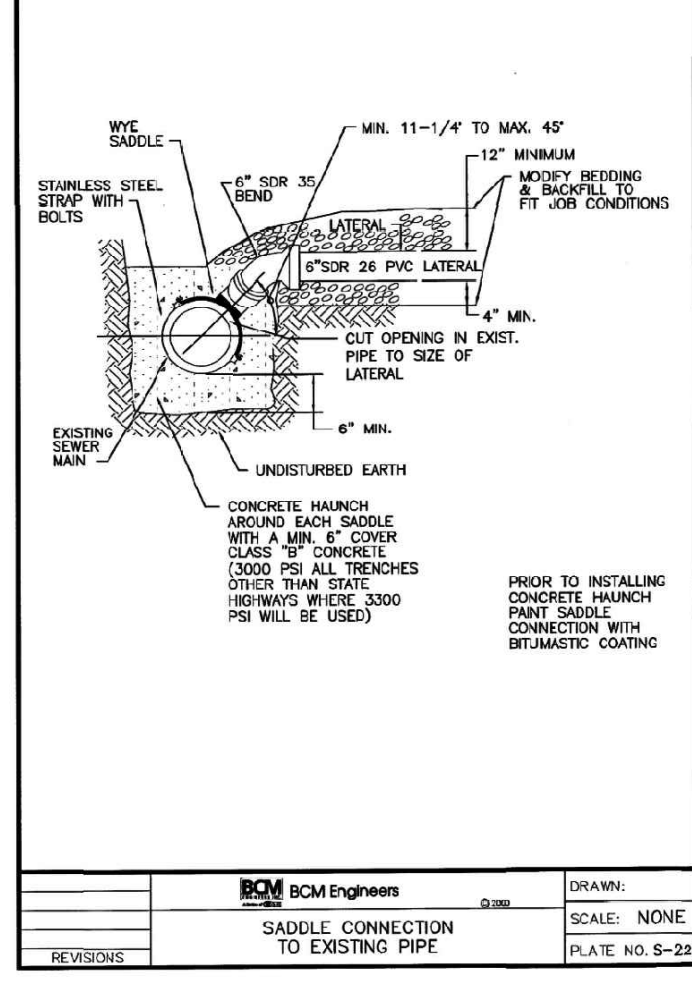
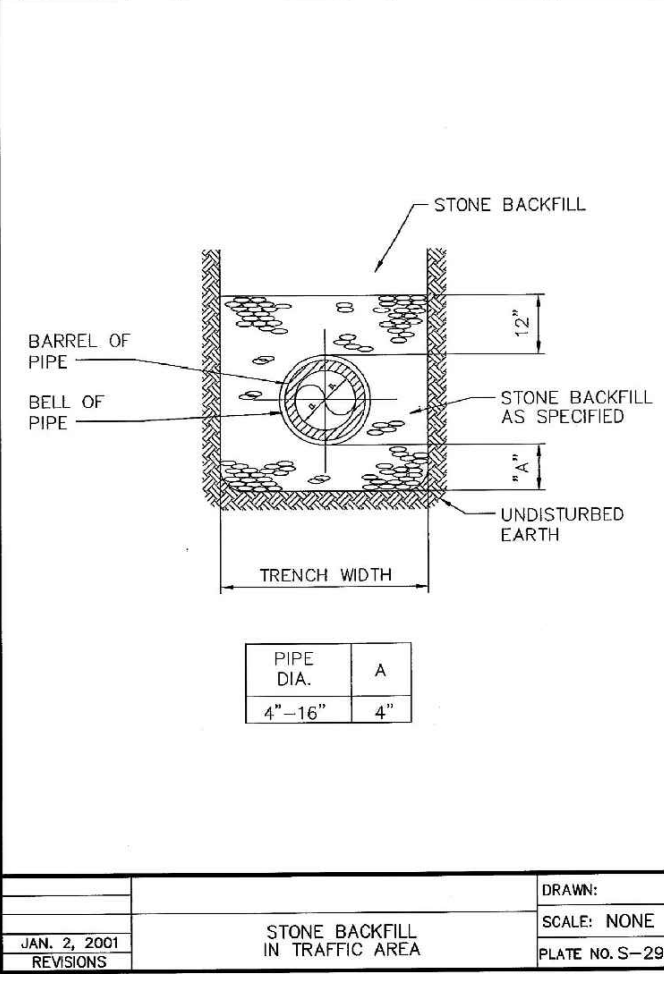
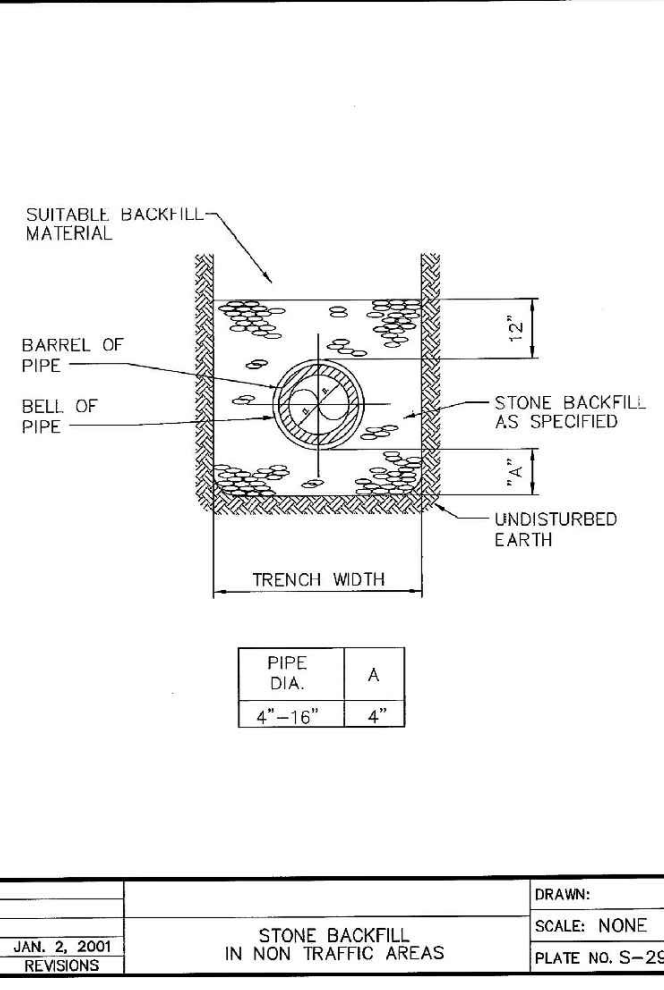
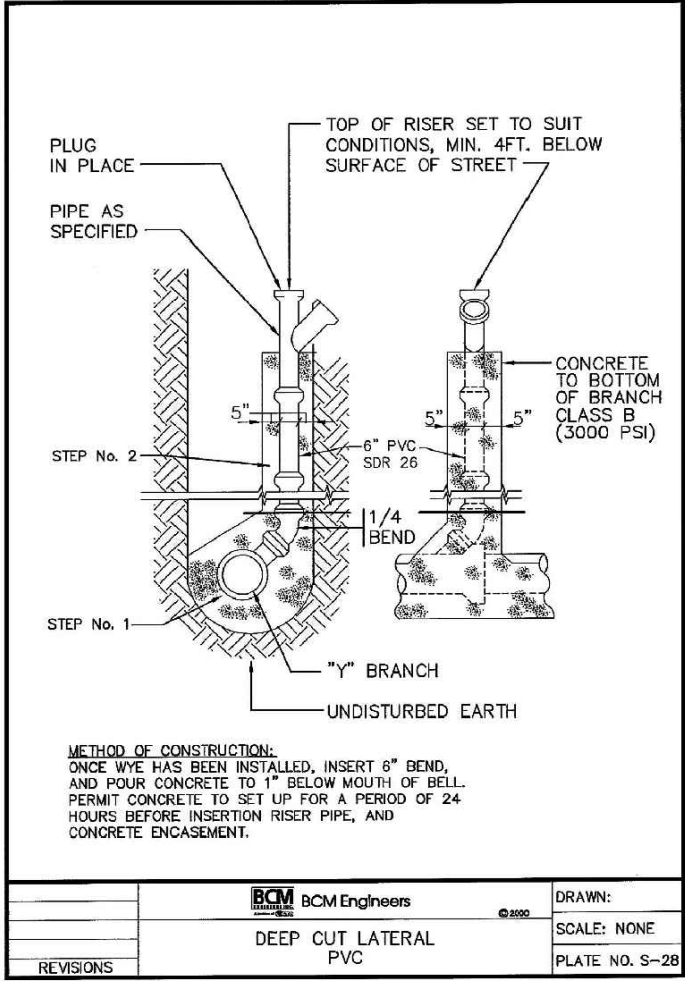
CONSTRUCTION IMPROVEMENT PLAN AND DETAIL SHEET

AS PART OF
1512 & 1524 CEDAR HILL ROAD
PREPARED FOR
TISMAN GROUP, LLC
SITE SITUATE IN
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA



Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	M.J.P.	S.A.R.	
1" = 40'	PROJECT NUMBER	DRAWING FILE NUMBER	6 OF 16
	6571	6571CI	



Lower Gwynedd Township
Sewer Lateral Profile

E&S NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILL ARE TO BE ACCORDING TO THE APPROVED PLAN. THE APPROVED PLAN, A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY WILL CONDUCT VISUAL INSPECTIONS OF THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING, GRUBBING, OR STOCKPILING, THE CONTRACTOR SHALL NOTIFY ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSEEN CRITICAL ZONE CONSTRUCTION, THE IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL GOVERNMENT IN THE CONSTRUCTION DISTRICT ON AN ONE-STOP RECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SERVICE SHALL BE NOTIFIED BY WRITER AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VERTICALLY ROOTED AND OTHER OBSTRUCTIVE MATERIALS.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THIS BMP SPECIFICATION FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESIGNED.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. VIOLATIONS MUST BE IMMEDIATELY REPORTED, MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN AMOUNT SUFFICIENT TO COMPLETE THE DIVISION OF THE PROJECT. STOCKPILE LOCATIONS ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED BY A SLOPED COVER SHOWING MINIMUM 3% GRADE. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPOSIT ARRESTED ACTION, STOP ALL WORK, AND TAKE STEPS TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE STORED AT THE SITE AND SECURED TO PREVENT DISPERSION. THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE PLACED ON THE GROUND SURFACE OUTSIDE OF THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO ANY EARTH DISTURBANCE ACTIVITY.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILLS. FORM FP--000 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A HAZARDOUS SUBSTANCE. RECORDS OF BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE STANDARD SPECIFICATIONS FOR THE DEPARTMENT'S SOLE SOURCE WATER SUPPLY SYSTEMS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. PREVENTATIVE MAINTENANCE OF EROSION AND SEDIMENT BMPs SHALL INCLUDE: REPAIR, REPLACEMENT, REGRADEING, RESEEDING, REMULCHING AND REVEGETATION MUST BE COMPLETED IMMEDIATELY AFTER EACH RAINFALL EVENT TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE BMPs WHICH WILL BE REQUIRED.
15. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE PROJECT SITE.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND TRUCKS IN THE MANNER DESCRIBED IN SECTION 602 OF THE CONSTRUCTION STANDARDS SHALL BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM DRAIN OR SURFACE WATER BODY.
17. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM OF 3 TO 5 INCHES PRIOR TO PLACING OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 6 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT STRUCTURES, SUCH AS BURIALS LAWNS, SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHERN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 12 INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROCKS, SOO, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHOULD NOT BE INCORPORATED INTO FILL.
23. FILLS SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON READING FINISHED GRADES. GRASSES OR CROPS SHALL BE STABLED IMMEDIATELY. FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER OR SURFACE WATER BODY SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR PORTION OF THE PROJECT, THE CONTRACTOR SHALL APPLY MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE SHALL BE REACTIVE TO WEATHER CONDITIONS. MULCH OR PROTECTIVE BLANKETING WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL BE PERMANENTLY STABILIZED SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UMPOUN, PERENNIAL 70% WOOD COVER, COVER OVER 100% OF THE DISTURBED AREA, OR A VEGETATION DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER WEATHER INDUCED FAILURES.
28. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY EROSION BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING CONSTRUCTION OR CONVERSION OF E&S BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO PREVENT FAILURE OF E&S BMPs IN ADVERSE WEATHER CONDITIONS, AND/OR OTHER VIOLATIONS BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE CONSTRUCTION STANDARDS SHALL BE CAUSE FOR CIVIL PENALTIES OF UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY JUDGMENT PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. WASH WATER SHALL BE ALLOWED TO ENTER ANY SURFACE WATER OR GROUNDWATER SYSTEMS.
34. SEDIMENT BASINS SHALL AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASHER WATER, AND OTHER DEBRIS HAVING POTENTIAL TO BLOCK THE GASAP/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATER.
35. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA GUIDELINES AND ALL SAFETY AND HEALTH PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXCAVATIONS DURING THE PERIOD OF CONSTRUCTION. CONTROL OF GROUNDWATER SEEPAGE AND STORMWATER RUNOFF FROM EXCAVATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
36. APPLICATIONS AND/OR OPERATORS MUST IMPLEMENT ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ALL FILL MATERIAL QUALIFIES AS CLEAN FILL. IF THERE IS A CONCERN ABOUT THE QUALITY OF THE FILL, THE CONTRACTOR SHALL PROTECTED WOODED AREA BEFORE REACHING THE EXISTING STREAM CHANNEL.
37. TO THE BEST OF OUR KNOWLEDGE, NO SPECIAL GEOLOGICAL FORMATIONS OR SOIL CONDITIONS HAVING THE POTENTIAL TO CAUSE POLLUTION TO SURFACE WATERS EXISTS AT THE SITE.
38. THERMAL IMPACT: DURING CONSTRUCTION STORMWATER RUNOFF IS FILTERED. THERMAL IMPACTS ARE NOT ANTICIPATED. DURING OPERATION, THERMAL IMPACTS RUNOFF IS FILTERED THROUGH COMPOST FILTER SOCKS PROVIDING AN OPPORTUNITY FOR WARMER WATER TO BE COOLED. THERE IS NO PROPOSED PROTECTED WOODED AREA BEFORE REACHING THE EXISTING STREAM CHANNEL.

CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE NOTES:
- At least 7 days prior to initiating any earth disturbance activities (including clearing and grubbing) the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the designated licensed professional and a representative from the Montgomery County Conservation District to an on-site pre-construction meeting. - Critical stages as noted throughout the construction sequence are defined as sequence steps that require the permittee to provide engineering construction oversight. A licensed professional engineer knowledgeable in the design and construction of stormwater SCMs, preferably the design engineer, shall conduct the oversight. - At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System, Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities. - All earth disturbance activities shall proceed in accordance with the following sequence. Each step of the sequence must be completed before proceeding to the next step, except where noted. Deviation from the sequence must be approved by the Montgomery County Conservation District or by the department prior to implementation. - Any cessation of activity for 4 days or longer requires temporary stabilization. - As soon as slopes, channels, ditches and other disturbed areas reach final grade, they must be permanently stabilized immediately as you go. No disturbed area shall be left without perimeter controls. Rock shall be installed to minimize existing tree removal to the greatest extent possible.
CONSTRUCTION SEQUENCE:
- Field-mark the limits of disturbance, streams and wetlands prior to disturbance activities (i.e. survey stakes, posts & rope, construction fence, etc.) in accordance with the erosion and sediment control plan. - Clear, grub and strip topsoil in the area proposed for the construction entrance. Install the temporary stone construction entrance/tire cleaners in accordance with the construction detail. - Install compact filter sock 1 through 3 as shown on the erosion and sediment control plan. - Install erosion construction fence for SCMs 001 through 008 as shown. - Upon installation and stabilization of all perimeter sediment control SCMs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co-permittee shall provide notification to the department or authorized construction district. - Strip any remaining topsoil and stockpile. Stabilize stockpiles and protect with compost filter sock. Clear and grub any remaining areas left to be disturbed. - Rough grade the site and pad out building sites. - Install road widening and sidewalk along Cedar Hill Road. Stabilize disturbed areas immediately with seed and mulch. - Construction of dwellings can begin. Install on-lot sediment controls in accordance with construction details #10-1, #10-2 or #10-3, as applicable, prior to construction on each lot. If driveway is not stabilized, access to the driveway is not permitted. No more than 10% of disturbed area shall reach final grade before initiating seeding and mulching operations. Graded areas should be scarified or otherwise loosened to a depth of 3- to 5-inches prior to topsoil placement. - Install trees and shrubs wherever and whenever possible in accordance with the PCSM Landscape Plan and details. - Perform final landscaping operations. In such cases, permanently seed and mulch disturbed areas. Seeding shall follow fertilization and seeding rates specified in seeding specification chart. If finish grading is not practical, temporarily seed all disturbed areas.
NOTE: THE MONTGOMERY COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO THE REMOVAL OF PRIMARY EROSION AND SEDIMENT CONTROL SCMS.
- Critical Stage - When areas upstream of SCMs 001 through 004 are permanently stabilized, install bio-retention with MRC SCMs in accordance with the following sequence and the construction details: - Notify Lower Gwynedd Township and the Conservation District prior to construction. - Unless otherwise indicated, construction of the permanent basin should be scheduled to allow for installation of the specified seed mixes as soon as permanent basin construction is complete between early April to early September. Seeding should be completed with a fall growing season to build strong root reserves for winter hardiness. In no case shall seed be installed prior to April 1 or later than September 15. Install annual ryegrass cover crop for over-wintering, followed by site preparation and application of the specified seed mixes during the following spring. - A licensed professional engineer (or authorized representative) knowledgeable in the design and construction of stormwater SCMs, preferably the design engineer, shall conduct the oversight during installation. - Install the MRC SCM during final phases of site construction to prevent sedimentation and/or damage from construction activity. After installation, prevent sediment-laden water from entering via overland, inlets and pipes. - Install and maintain proper E&S SCMs during construction. - If necessary, excavate the MRC SCM bottom to an uncompacted subgrade free from rocks and debris. Do NOT compact the subgrade. - Install reinforced slippage, pipe bedding, underpin piping and aggregate envelope, cleanouts, etc. - Place soil mix gently. Do not compact soil mix. The placement of soil mix should be done from outside the footprint to avoid compaction by construction equipment. Equipment should never drive over placed soil mix. - Prepare for seeding by eliminating any weed growth prior to seed installation using an appropriate herbicide to control weeds. For seed mix establishment, soil pH shall be between 5.5 and 6.5. - Seed and stabilize disturbed area. Apply seed by carefully proportioning seed for the entire area. Broadcast seed in two separate applications by applying seed at half the suggested rate for each application to ensure even seed distribution throughout the area. Once the full rate of seeding has been achieved, follow by rolling or tracking seed into the top 1/4 inch of soil to achieve good seed to soil contact - do not roll or track the seed when soil is wet. - Vegetate with native plantings. - Grade seeded area with a light layer of soil, straw, threshed straw or pine needles and apply erosion control matting over 3:1 slopes and the basin floor. - Plant and mulch according to specifications on the landscape plan. - Maintain inlet protection and other E&S SCMs until the site is fully stabilized. - Critical Stage - Simultaneously with Step 13, and when areas upstream of SCMs 005 through 008 are permanently stabilized, install seepage bed SCMs in accordance with the following sequence and the construction details: - Notify Lower Gwynedd Township and the Conservation District prior to construction. - A licensed professional engineer (or authorized representative) knowledgeable in the design and construction of stormwater SCMs, preferably the design engineer, shall conduct the oversight during installation. - Install the SCM during final phases of site construction to prevent sedimentation and/or damage from construction activity. After installation, prevent sediment-laden water from entering via overland, inlets and pipes. - Install and maintain proper E&S SCMs during construction. - Excavate bed bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do not compact subgrade. If the area has been subject to compaction or sedimentation during construction, infiltration testing may be required during prior to the construction of the SCM to verify the volume credits taken by design. If unfavorable conditions are encountered during installation (i.e. groundwater and/or bedrock, etc.), the engineer should be consulted, and the location of the proposed facility should be re-evaluated. - For the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside of the limits of the infiltration bed. - Completely wrap bed with nonwoven geotextile, (remove any accumulated sediment and/or debris prior to geotextile placement). Geotextile should be placed in a minimum overlap of 24 inches and be secured with Fold back and secure excess geotextile within stone placement and installation of perforated storm pipes. - Place uniformly graded, clean-washed aggregate in 6-inch lifts, lightly compacting between lifts. Install inlet structure with connection to upstream MRC SCM underdrain upstream, covered, perforated pipe with caps and ends. - Backfill bed with soil mix as shown on plans and specifications. Overfill is recommended to account for settlement. Light hand tamping is acceptable if necessary. - Seed and stabilize soil. - Do not remove erosion and sediment control measures until site is fully stabilized. - After all construction work is completed, install final paving, permanent striping and signage. - Upon final stabilization, remove all other temporary sediment controls. An area shall be considered to have achieved final stabilization when it has a minimum 90% uniform perennial vegetation cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements. - Critical Stage - The site engineer shall inspect the PCSM SCM to ensure that the SCM has not been impacted by construction activities. Completion of the Notice to New Property Owners of PCSM SCMs and O&M Requirements "New Property Owner Notification Form" shall be provided for the property owners of Lots 1, 2, 3 and 4. - Within 30 days after the completion of earth disturbance activities authorized by this permit, including the permanent stabilization of the site and prior to installation of PCSM SCMs in accordance with the approved PCSM plan, or upon submission of the NOT if sooner, the permittee shall file with the department or authorized conservation district a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of this permit and the approved E&S and PCSM plans. Completion certificates are needed to ensure that all work is performed in accordance with the terms and conditions of the permit and approved E&S and PCSM plans. - Upon completion of all certifications and final inspection, the permittee or co-permittee shall submit a Notice of Termination (NOT) to the Conservation District.
ANY SEDIMENT CONTROL, SUCH AS COMPOST FILTER SOCK, ROCK FILTER, OR INLET FILTER MUST NOT BE REMOVED UNTIL ALL VEGETATION (UPSTREAM OF THAT PARTICULAR CONTROL) HAS BEEN RE-ESTABLISHED.
ANY AREA (S) DISTURBED DURING THE REMOVAL OF SEDIMENT CONTROLS SHALL BE IMMEDIATELY RE-STABILIZED.

E&S MAINTENANCE PROGRAM AND NOTES

During construction, maintenance of the control facilities will be the responsibility of the general contractor. Erosion and sediment control (E&S) BMPs will be inspected weekly or after each erosive-producing storm event, and cleaned and repaired as necessary. After completion and acceptance of construction, the property owners will be responsible for the maintenance of the control facilities. Essentially ground cover. Disturbed areas of the topsoil stockpile will be reseeded with temporary seeding in accordance with specifications for seeding and soil supplements shown on the plans.

Until the site is stabilized, all E&S BMPs shall be maintained properly. Maintenance shall include inspections of all E&S BMPs after each runoff event, and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and reestablishing must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be required.

A Qualified Filter Sock shall perform weekly site inspections and post-rain event inspections per the new NPDES guidelines.

A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.

All sediment removed during maintenance and cleaning of E&S BMPs shall be incorporated into the fine grading upstream from a sediment control device, outside of steep slopes, wetlands, floodplains or drainage swales and within the limit of disturbance, or otherwise disposed of in the manner described on the plan drawings.

Compost Filter Sock - installed at the location(s) shown on the approved plans.

- The sock installation must be inspected weekly and after each runoff event. Any necessary repairs or replacement to be made within 24 hours.
- Accumulated sediment will be removed as required to keep the sock functional. In all cases deposits must be removed where accumulations reach 1/2 the above ground height of the barrier.
- Adhere to any manufacturer's recommendations for replacing compost filter sock for any reason.

Construction Entrance - install at the location(s) shown on the approved plans.

- Construction entrance to be inspected weekly and after each runoff event. Perform daily and as needed street sweeping to ensure sediment is removed from existing roadways.
- The structure's thickness will be constantly maintained to the specified dimensions by adding rock. A stockpile of rock material will be maintained on the site for this purpose. At the end of each construction day, all sediment deposited on public roads will be removed and returned to the construction site. Washing the roadway with water is not permitted.

Pumped Water Filter Bag - utilize as dictated by work area conditions.

- Pumped water filter bag to be inspected daily and after each runoff event.
- Refer to details on plan drawings for maintenance requirements.

Sump Pit - utilize in conjunction with pumped water filter bag.

- Sump pit to be inspected at least weekly and after each runoff event.
- Refer to details on plan drawings for maintenance requirements.

Concrete Washout - install at the location(s) shown on the approved plans.

- Concrete washout to be inspected at least weekly and after each runoff event.
- Refer to details on plan drawings for maintenance requirements.

Erosion Control Blankets - install at the location(s) shown on the approved plans.

- Erosion control blankets to be inspected at least weekly and after each runoff event.
- Refer to details on plan drawings for maintenance requirements / specifications as shown on the approved plan.

Rock Filter Outlet - utilize as dictated by work area conditions.

- Rock filter outlet to be inspected at least weekly and after each runoff event.
- Refer to details on plan drawings for maintenance requirements.

Vegetated Channel - install at the location(s) shown on the approved plans.

- Vegetated channel to be inspected at least weekly and after each runoff event.
- Refer to details on plan drawings for maintenance requirements.

Riprap Apron - install at the location(s) shown on the approved plans.

- Riprap apron to be inspected at least weekly and after each runoff event.
- Refer to details on plan drawings for maintenance requirements.

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

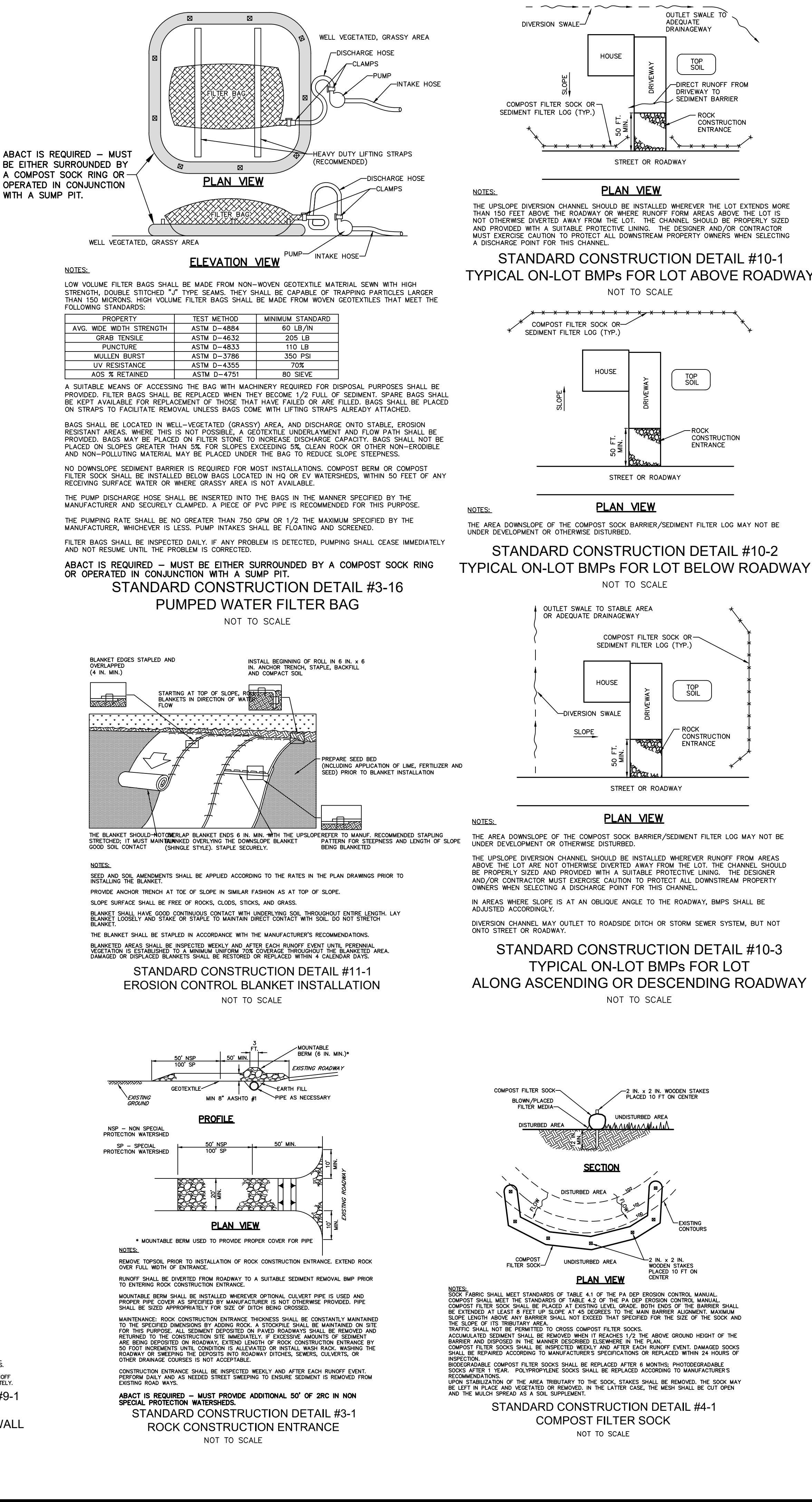
STOCKPILE CONTROL

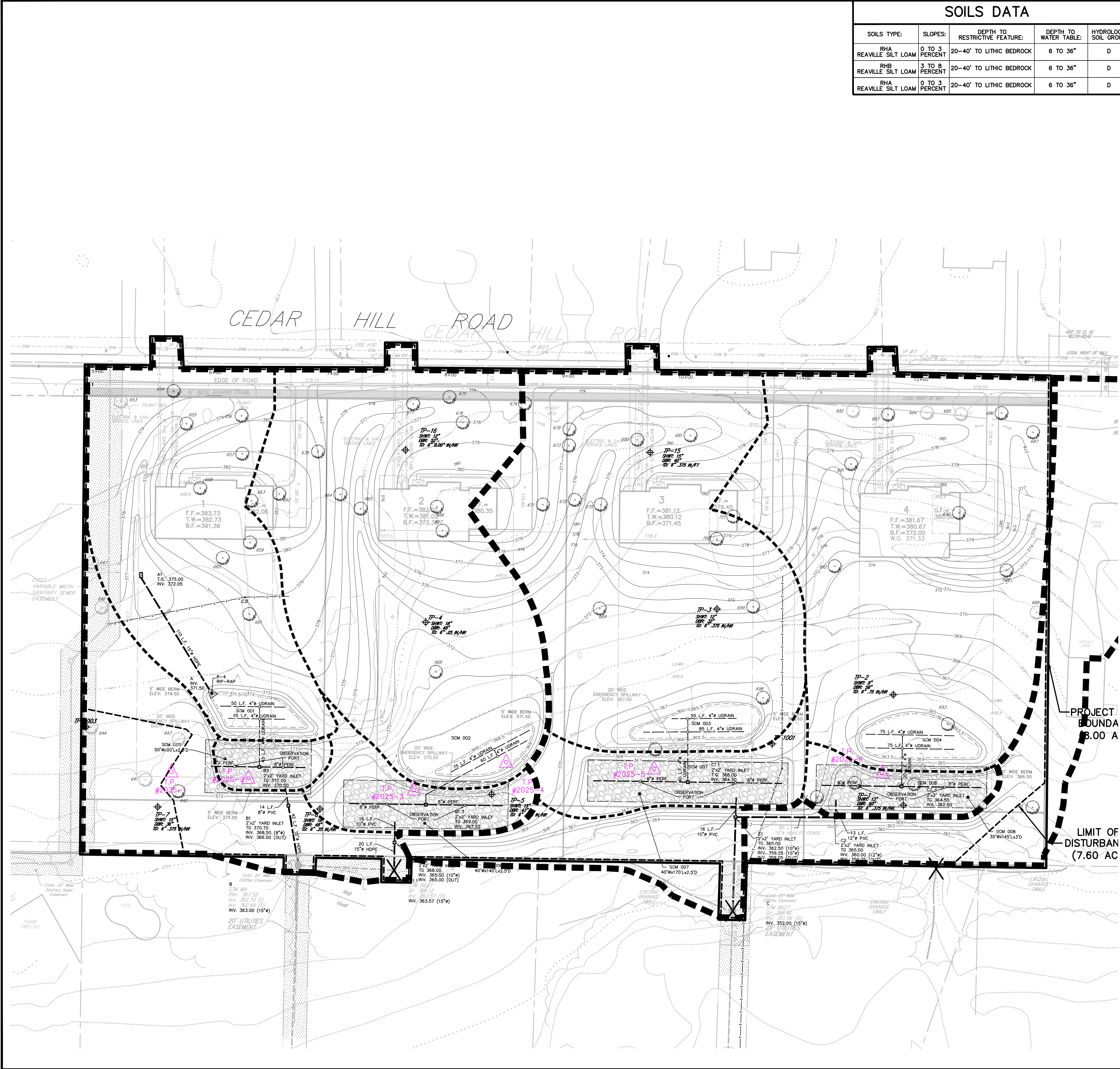
STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL

STOCKPILE CONTROL



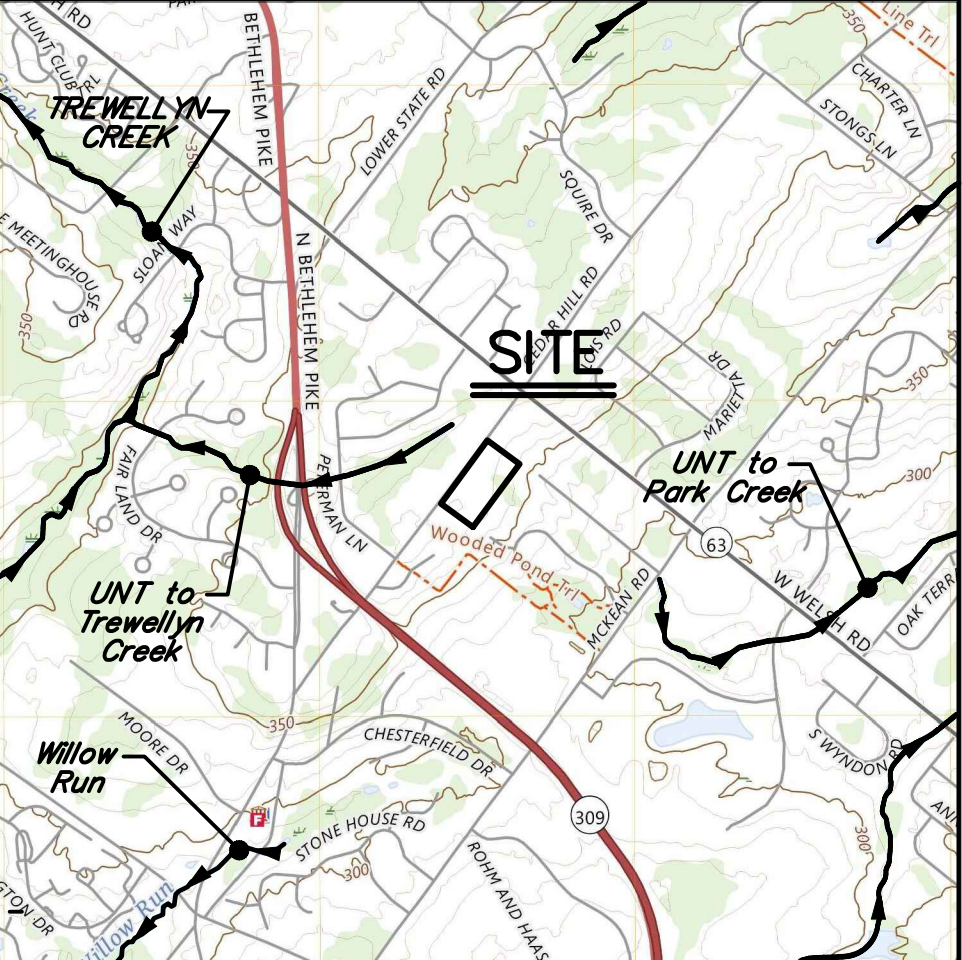


SOILS DATA				
SOILS TYPE:	SLOPES:	DEPTH TO RESTRICTIVE FEATURE:	DEPTH TO WATER TABLE:	HYDROLOGIC SOIL GROUP:
RHA REAVILLE SILT LOAM	0 TO 3 PERCENT	20-40' TO LITHIC BEDROCK	6 TO 36"	D
RHB REAVILLE SILT LOAM	3 TO 8 PERCENT	20-40' TO LITHIC BEDROCK	6 TO 36"	D
RHA REAVILLE SILT LOAM	0 TO 3 PERCENT	20-40' TO LITHIC BEDROCK	6 TO 36"	D

2025 TEST PIT INFILTRATION DATA				
TEST PIT NO.	LIMITING ZONE	EXIST. GROUND ELEV.	TEST ELEV.	INFILTRATION RATE (in/hr)
1	369.5 (R)	372.5	371.5	0.00
2	368.5 (R)	371.5	370.5	0.00
3	365.5 (R)	369.0	367.5	0.00
4	365.3 (R)	368.3	367.3	0.00
5	362.7 (R)	365.7	364.7	0.00
6	360.2 (R)	363.2	362.2	0.00

XXXX TEST PIT INFILTRATION DATA				
TEST PIT NO.	LIMITING ZONE	EXIST. GROUND ELEV.	TEST ELEV.	INFILTRATION RATE (in/hr)
1	360.52 (W)	361.6	361.1	0.375
2	365.33 (W)	366.0	365.5	0.75
3	370.1 (W)	371.1	370.6	0.375
4	372.4 (W)	373.9	373.4	0.25
5	366.5 (W)	367.75	367.25	0.625
6	368.6 (W)	370.10	369.60	0.25
7	370.8 (W)	372.05	371.55	0.375
15	373.6 (W)	374.85	374.35	0.375
16	376.25 (W)	377.25	376.75	0.00

LEGEND	
ADJOINING OWNERS	---
SETBACK LINES	---
EXISTING SANITARY SEWER	---
EXISTING STORM SEWER	---
EXISTING CONTOUR (MAJOR)	---
EXISTING CONTOUR (MINOR)	---
EXISTING EDGE OF ROAD	---
EXISTING CENTERLINE	---
EXISTING DRIVES	---
EXISTING EXISTING SOILS	---
EXISTING TREE ROW	---
EXISTING EASEMENT	---
EXISTING FENCE	---
EXISTING WATER MAIN	---
EXISTING GAS MAIN	---
EXISTING WATER SERVICE	---
EXISTING OVERHEAD WIRES	---
PROPOSED CONTOUR (MINOR)	---
PROPOSED CONTOUR (MAJOR)	---
PROPOSED STORM SEWER	---
PROPOSED EDGE OF ROAD	---
PROPOSED DRIVEWAY	---
PROPOSED WATER SERVICE	---
PROPOSED GAS SERVICE	---
PROPOSED ELECTRIC LINE	---
PROPOSED LATERAL	---
PROJECT SITE BOUNDARY	---
LIMIT OF DISTURBANCE	---
POST-DEVELOPMENT OVERALL	---
SWM FACILITY WATERSHED BOUNDARY	---
TEST PIT LOCATION	---



A UNT TO PARK CREEK IS THE RECEIVING WATERCOURSE IN THE NESHAMINY CREEK WATERSHED. THE CHAPTER 93 CLASSIFICATION FOR PARK CREEK IS WWF, MF.

SCALE: 1"=2000'

RECYCLING STATEMENT

IF NECESSARY, SEDIMENT SHOULD BE REMOVED WHEN THE BMP'S ARE THOROUGHLY DRY. TRASH AND DEBRIS REMOVED FROM THE SITE SHOULD BE DEPOSITED ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL WASTE REGULATIONS. IN THE CASE WHERE A BMP IS USED FOR SEDIMENT CONTROL, IT SHOULD BE REGRADED AND RESEEDED IMMEDIATELY AFTER CONSTRUCTION HAS CONCLUDED.

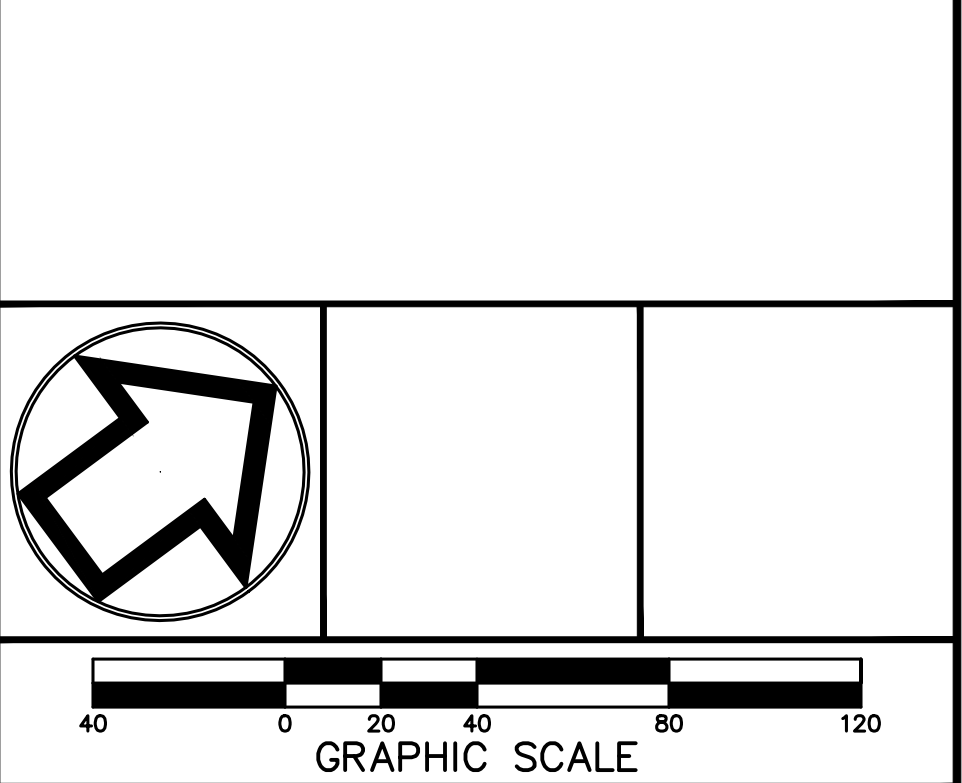
ACT 50 UTILITY NOTE

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20252383716.

CRITICAL STAGES OF BMP CONSTRUCTION

THE FOLLOWING STORMWATER MANAGEMENT BMP'S SHALL HAVE CONSTRUCTION OVERSIGHT:

- BIO-RETENTION W/MRC 001
- BIO-RETENTION W/MRC 002
- BIO-RETENTION W/MRC 003
- BIO-RETENTION W/MRC 004
- SEEPAGE BED 005
- SEEPAGE BED 006
- SEEPAGE BED 007
- SEEPAGE BED 008



REVISIONS	DATE
1. W/P	AUG. 25, 2025

PCSM PLAN

AS PART OF

1512 & 1524 CEDAR HILL ROAD

PREPARED FOR

TISMAN GROUP, LLC

SITE SITUATE IN

LOWER GWYNEDD TOWNSHIP

MONTGOMERY COUNTY

S T A

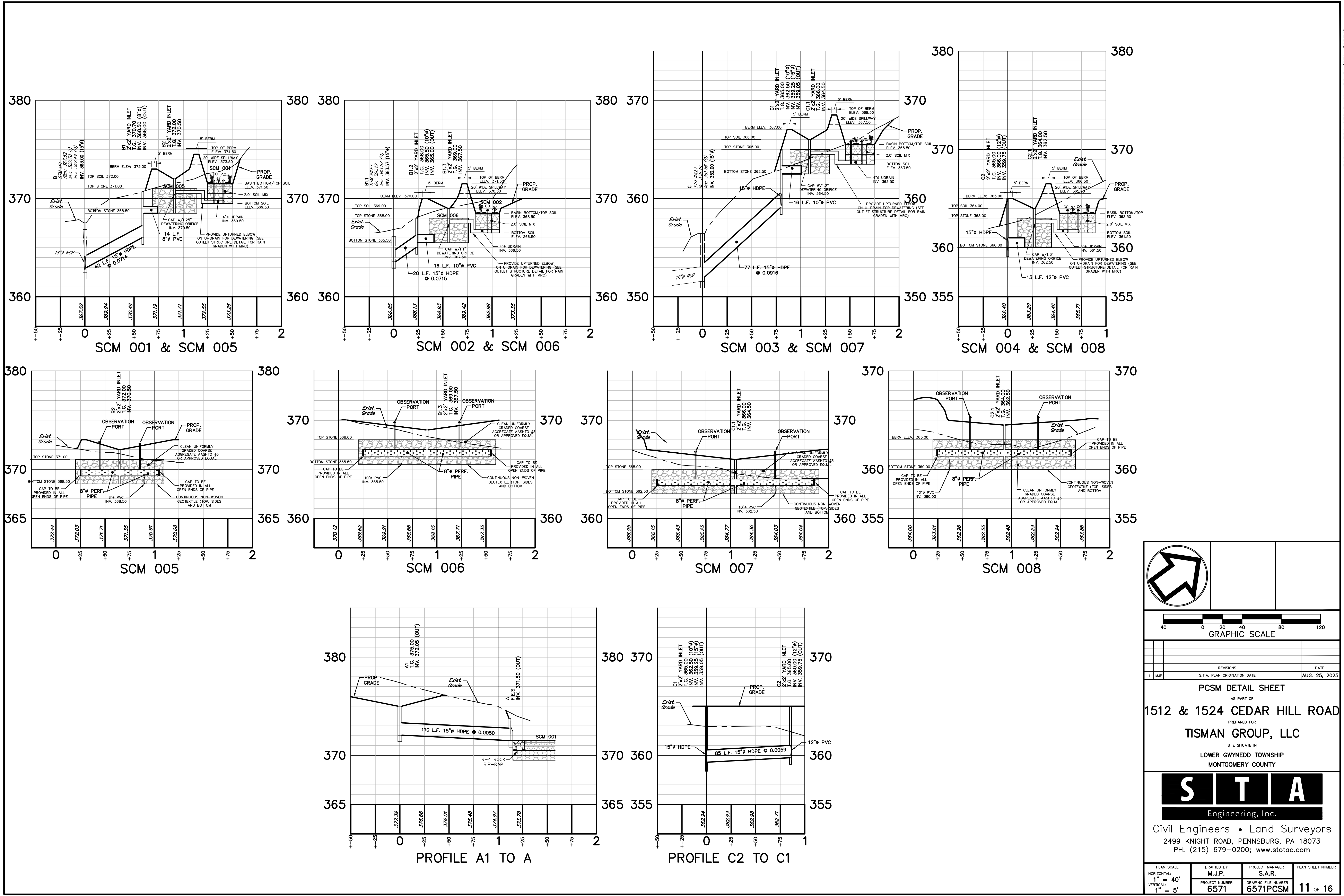
Engineering, Inc.

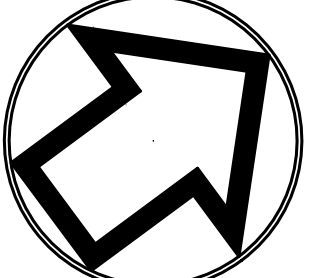
Civil Engineers • Land Surveyors

2499 KNIGHT ROAD, PENNSBURG, PA 18073

PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	M.J.P.	S.A.R.	
1" = 40'	PROJECT NUMBER	DRAWING FILE NUMBER	
	6571	6571PCSM	9 OF 16





400

0

20

40

80

120

GRAPHIC SCALE

REVISIONS		DATE
1	W.P.	AUG. 25, 2025

PCSM DETAIL SHEET

AS PART OF

1512 & 1524 CEDAR HILL ROAD

PREPARED FOR

TISMAN GROUP, LLC

SITE SITUATE IN

LOWER GWYNEDD TOWNSHIP

MONTGOMERY COUNTY

S

T

A

Engineering, Inc.

Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

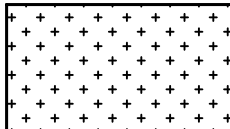
PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL: 1" = 40'	M.J.P.	S.A.R.	11 OF 16
VERTICAL: 1" = 5'	PROJECT NUMBER 6571	DRAWING FILE NUMBER 6571PCSM	

1512 & 1524 CEDAR HILL ROAD (STA #6571)

LANDSCAPE NOTES

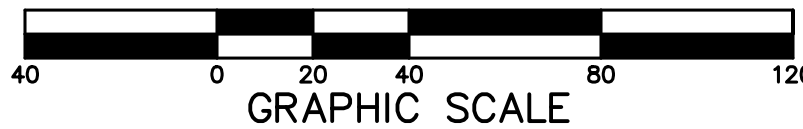
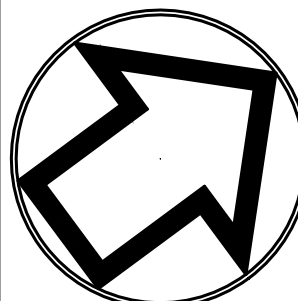
1. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE WELL DEVELOPED BRANCHES, AND VIGOROUS ROBUST ROOT SYSTEMS. THEY SHALL BE FREE FROM DEFECTS, DISEASES, INJURIES, OR DEFOLIATION. PLANTS SHALL BE FREE FROM ALL PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL COLLECTED MATERIALS SHALL BE FREE FROM DISEASES, INJURIES, OR DEFOLIATION.
2. SIZE AND GRADING STANDARDS SHALL CONFORM TO THE "U.S.A. STANDARD FOR NURSERY STOCK", LOOSE, BROKEN, OR MANUFACTURED BALLS WILL BE REJECTED.
3. BALLED AND BURLAPED, AND BALLED AND PLATFORM PLANTS, SHALL HAVE SOIL BALL OF EARTH SECURELY HELD IN PLACE BY BURLAP AND STOUT ROPE. MINIMUM BALL SIZE SHALL BE PRESCRIBED BY THE "U.S.A. STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. PROVIDE CONTINUOUS DOUBLE-SHREDDED HARDWOOD BARK MULCH (3" THICK) AT THE BASE OF THE SPECIEN TREES AND SHRUBS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHERE THE UNDERGROUND UTILITIES EXIST. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING NEAR THESE UTILITIES.
6. ALL DISTURBED AREAS AFTER EXCEPT PLANTING BEDS SHALL BE SEEDED AND MULCHED.
7. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, FERTILIZING, SPRAYING, TRUNKS, BRANCHES, AND REPAIRING OF EGGS, REMOVAL, AND REPLACEMENT OF DEAD MATERIAL. RESETTING SETTLED PLANTS TO PROPER GRADERS OR UPRIGHT POSITION, AND OTHER NECESSARY MAINTENANCE. THE CONTRACTOR WILL BE REQUIRED TO KEEP THE PLANTS IN A LIVE AND HEALTHY GROWING ENVIRONMENT.
8. STREET TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE PROPERTY HAS BEEN COMPLETED.
9. NO GRADING IS TO OCCUR WITHIN 5 FEET OF ANY TRACT BOUNDARY LINE.
10. REQUIRED PLANT MATERIAL SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT TO ACHIEVE THE REQUIRED VISUAL EFFECT OF THE BUFFER OR SCREEN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND MAINTAIN THE PLANTS. IF REPLACEMENT PLANTINGS ARE PROPERLY MAINTAINED, DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE PROPERTY OWNER WILL BE REQUIRED TO REPLACE AT THE NEXT GROWING SEASON.
11. STREET TREES SHALL BE OF NURSERY STOCK. THEY SHALL BE OF THE SYMMETRICAL, UPRIGHT, AND WELL-BRANCHED TYPE. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM TO THE APPLICABLE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. THESE STANDARDS INCLUDE, BUT ARE NOT LIMITED TO, CALIPER, HEIGHT, SPREAD, AND BRANCHING.
12. SOIL QUALITY. ALL SOIL IN ALL LANDSCAPED AREAS BE COMPROMISED OF SOIL FROM THE SITE, OR HAULED TO THE SITE, TO A DEPTH OF 36 INCHES. SUBSOIL, OR AREAS THAT SHALL NOT BE ADDED TO THE UPPER 36 INCHES OF SOIL. LANDSCAPED AREAS.
13. SOIL AMENDMENTS WHEN EXISTING TOPSOIL FROM THE SITE IS USED IN LANDSCAPED AREAS, ONE CUBIC YARD OF COMPOSTED LEAF MULCH OR SIMILAR ORGANIC MATERIAL SHALL BE APPLIED TO EVERY 100 SQUARE FEET OF LANDSCAPE. AREAS SHALL BE TILLED INTO THE SOIL TO A DEPTH NO GREATER THAN 12 INCHES, PRIOR TO PLANTING.
14. SOIL MULCH LAYER. TO PROMOTE THE ESTABLISHMENT OF HEALTHY PLANT MATERIAL, THE CONTRACTOR SHALL APPLY A LAYER OF MULCH. PLANT MATERIAL, OR HARDWOOD, THREE-INCH-THICK LAYER OF SHREDDED MULCH, BARK, ROPED, OR MULCHING IS REQUIRED IN ALL LANDSCAPED AREAS. IT SHALL BE APPLIED IMMEDIATELY AFTER PLANTING OR BEFORE PLANTING. MULCH SHALL BE APPLIED TO ALL AREAS. OTHER SUITABLE MATERIALS IN AREAS NOT DESIGNATED AS STORMWATER MANAGEMENT AREAS SHALL BE APPLIED TO ALL AREAS. MULCH SHALL BE LIMITED TO AREAS SUBJECTED TO EROSION, SUCH AS INLETS, FILLER TRENCHES, OR OVERFLOW RIVERS. STONE IS NOT PERMITTED ELSEWHERE IN THE LANDSCAPED AREA.
15. NATIVE PLANTING REQUIREMENTS. TO PROMOTE THE RESTORATION OF NATIVE PLANTS, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE NATIVE PLANTS TO A NEW SUBDIVISION OR LAND DEVELOPMENT SHALL BE NATIVE TO THE LOWER DELAWARE VALLEY. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN A LIST OF NATIVE PLANTS AS PROVIDED BY THE PENNSYLVANIA DEPARTMENT OF NATURAL RESOURCES ("DNR LIST").
16. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
17. ALL PROPOSED PLANT MATERIAL SHALL BE INSTALLED PER STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ASSOCIATION WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MATERIAL, STAKING AND GUYN.
18. PLANT MATERIAL SHALL BE GUARANTEED FOR EIGHTEEN (18) MONTHS FROM THE DATE OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING DEAD, UNHEALTHY, DYING OR DAMAGED PLANTS THROUGHOUT THE EIGHTEEN (18) MONTH PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE PLANTS. THE CONTRACTOR SHALL BE REQUIRED TO GUARANTEE PERCENT SHALL BE REPLACED UNTIL 100% GOOD LANDSCAPE.

LEGEND



SOIL MIX /
SCM FLOOR MIX:
ERNMX-180 (OR APPROVED EQUAL)

BMP SEED MIX SPECIFICATIONS

[illegible]

		REVISIONS	DATE
1	MJP	S.T.A. PLAN ORIGINATION DATE	AUG. 25, 202

PCSM LANDSCAPE PLAN

AS PART OF

1512 & 1524 CEDAR HILL ROAD

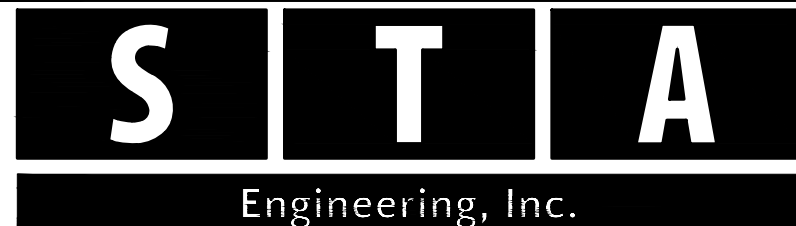
PREPARED FOR

TISMAN GROUP, LLC

SITE SITUATE IN

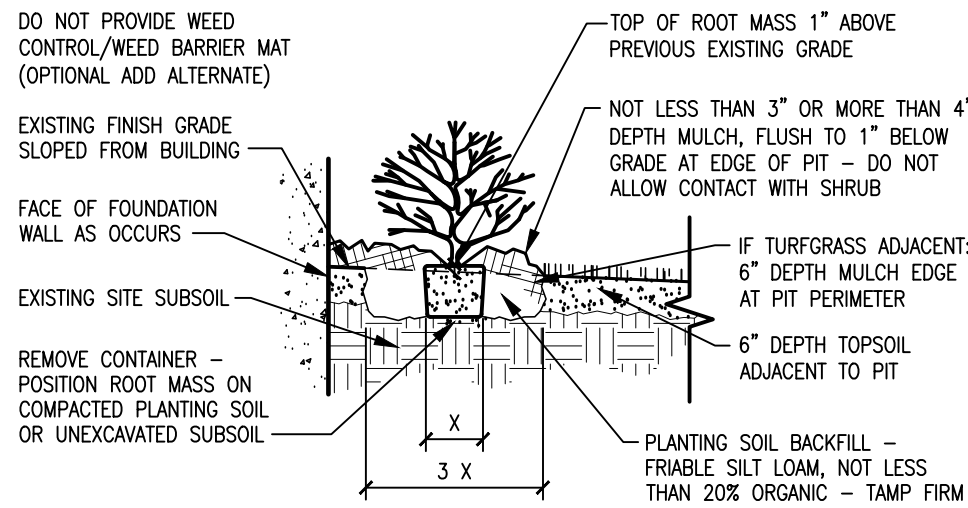
LOWER CUMNEDD TOWNSHIP

MONTGOMERY COUNTY

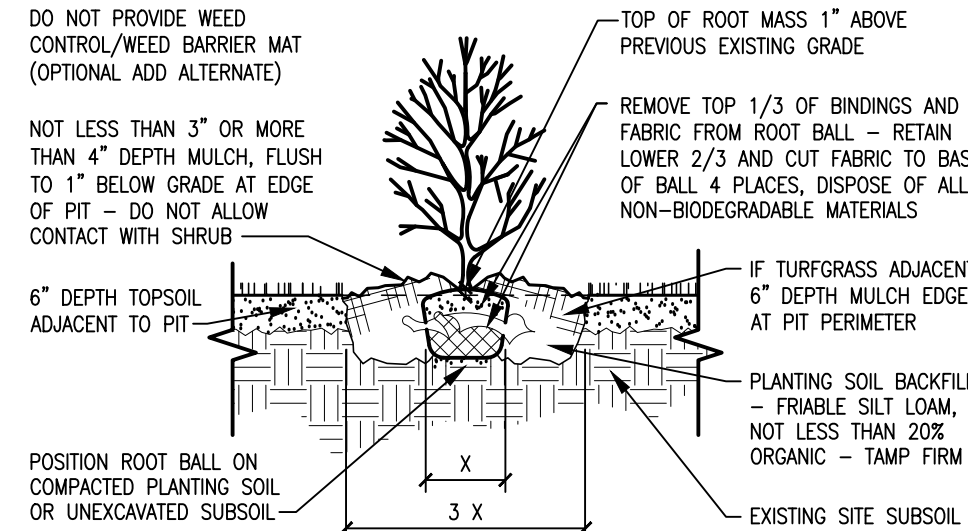


Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

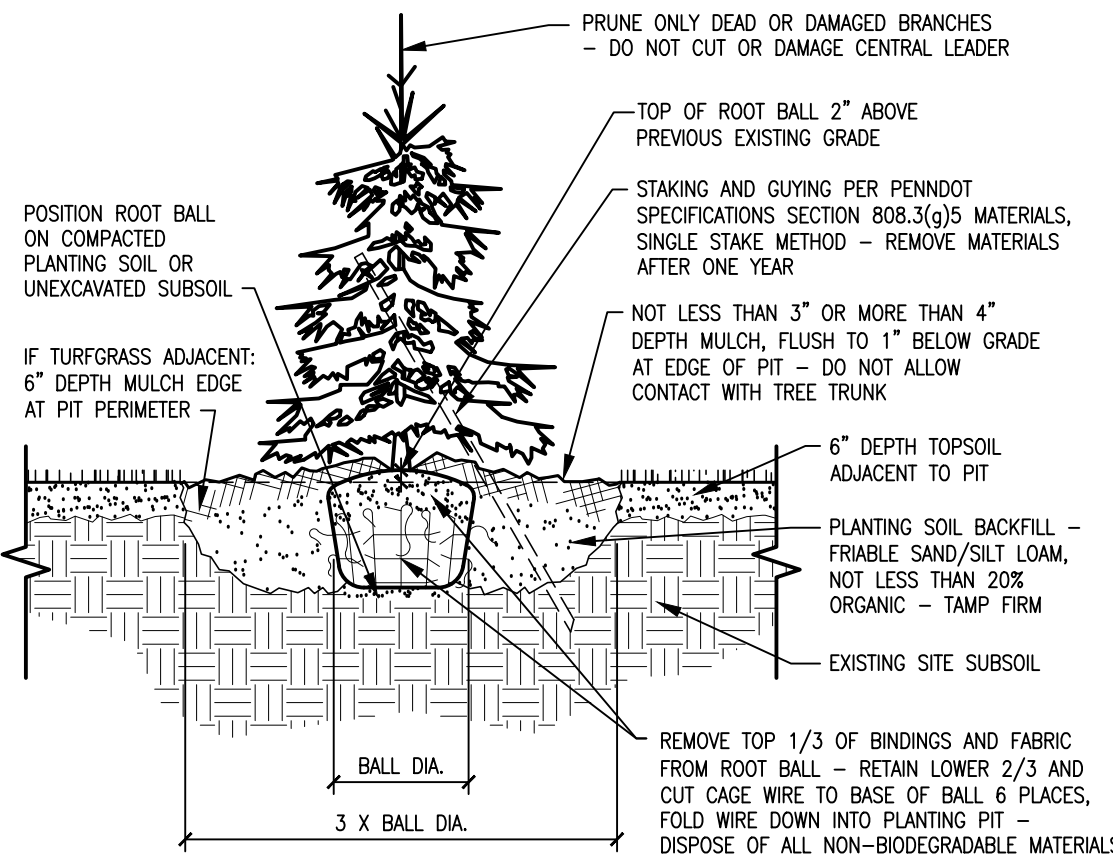
PLAN SCALE HORIZONTAL:	DRAFTED BY M.J.P.	PROJECT MANAGER S.A.R.	PLAN SHEET NUMBER
1" = 40'	PROJECT NUMBER 6571	DRAWING FILE NUMBER 6571LA	12 OF 16



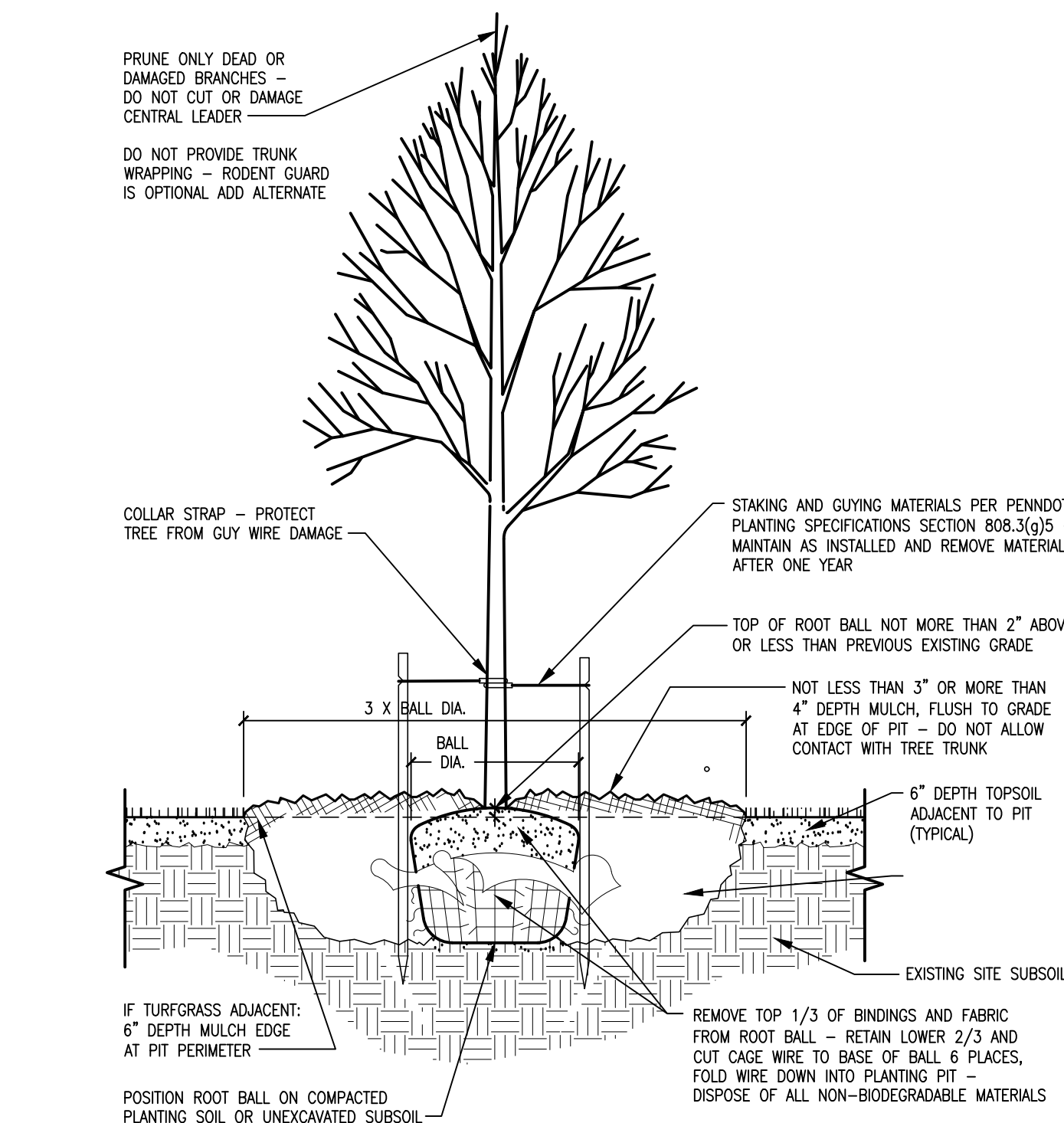
CONTAINER SHRUB PLANTING
N.T.S.



B&B SHRUB PLANTING
N.T.S.



EVERGREEN TREE – OPEN LAWN OR LANDSCAPE BUFFER
N.T.S.



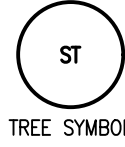
DECIDUOUS TREE PLANTING
N.T.S.

STREET TREES – SECTION 1230.42(a)(1)
REQUIRED: 1 SHADE TREE PER 40 L.F. (ONE SIDE OF STREET)

STREET NAME	STREET LENGTH	REQUIRED TREES	PROVIDED TREES
CEDAR HILL ROAD	817 L.F.	21	21

CE DAR HILL ROAD	KEY	SHADE TREES 3.5 IN. CALIPER MINIMUM BOTANICAL NAME COMMON NAME
6	AR	ACER RUBRUM RED MAPLE (NATIVE)
3	GT	GLEDITSIA TRIACANTHOS F. INERMIS THORNLESS HONEYLOCUST
7	LT	LIRIODENDRON TULIPIFERA TULIPTREE, TULIP POPLAR (NATIVE)
5	QA	QUERCUS ALBA WHITE OAK (NATIVE)

TOTAL: 21 SHADE TREES PROVIDED



TREE SYMBOL

DETENTION BASIN PERIMETER PLANTINGS – SECTION 1230.42(a)(2)
REQUIRED TREES: 1 SHADE TREE PER 30 LINEAR FEET OF BASIN PERIMETER

PROPOSED REPLACEMENT TREES:
1 FLOWERING TREE, 2 EVERGREEN TREES AND 5 SHRUBS PER 100 LINEAR FEET OF BASIN PERIMETER

SCM NO.	PERIMETER LENGTH	REQUIRED		REPLACEMENT		
		SHADE TREES	FLOWERING	EVERGREEN	SHRUBS	
		REQUIRED	PROVIDED	PROVIDED	PROVIDED	
001	235 L.F.	8	8	3	6	12
002	355 L.F.	12	12	4	8	18
003	355 L.F.	12	12	4	8	18
004	325 L.F.	11	11	3	6	17
TOTAL		43	43	14	28	65

BASIN REQUIRED:

SCM 001	SCM 002	SCM 003	SCM 004	TOTAL EACH	KEY	SHADE TREES 3.5 IN. CALIPER MINIMUM BOTANICAL NAME COMMON NAME
4	5	4	4	17	AR	ACER RUBRUM RED MAPLE (NATIVE)
1	3	4	2	10	BN	BETULA NIGRA RIVER BIRCH (NATIVE)
3	4	4	5	16	CO	CARYA OVATA SHAGBARK HICKORY (NATIVE)
TOTAL:	8	12	12	11		

43 SHADE TREES PROVIDED

BASIN REPLACEMENT:

SCM 001	SCM 002	SCM 003	SCM 004	TOTAL EACH	KEY	FLOWERING TREES 10 FT. MIN. HEIGHT BOTANICAL NAME COMMON NAME
2	2	0	2	6	AC	AMELANCHIER CANADENSIS SHADBLOW SERVICEBERRY (NATIVE)
1	0	2	1	4	CF	CORNUS FLORIDA FLOWERING DOGWOOD (NATIVE)
0	2	2	0	4	WV	MAGNOLIA VIRGINIANA SWEETBAY MAGNOLIA (NATIVE)
TOTAL:	3	4	4	3		

14 FLOWERING TREES PROVIDED

SCM 001	SCM 002	SCM 003	SCM 004	TOTAL EACH	KEY	EVERGREEN TREES 10 FT. MIN. HEIGHT BOTANICAL NAME COMMON NAME
6	8	8	6	28	IO	ILEX OPACA AMERICAN HOLLY (NATIVE)
TOTAL:	6	8	8	6		

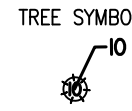
28 EVERGREEN TREES PROVIDED

SCM 001	SCM 002	SCM 003	SCM 004	TOTAL EACH	KEY	SHRUBS 4 FT. MIN. HEIGHT BOTANICAL NAME COMMON NAME
3	5	5	6	19	AA	ARONIA ARBUTIFOLIA RED CHOKEBERRY (NATIVE)
3	3	5	5	16	HV	HAMAMELIS VIRGINIANA COMMON WITCHHAZEL (NATIVE)
3	5	3	3	14	IG	ILEX GLABRA INKBERRY (NATIVE)
3	5	5	3	16	VD	VIBURNUM DENTATUM ARROWWOOD VIBURNUM (NATIVE)
TOTAL:	12	18	18	17		

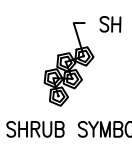
65 SHRUBS PROVIDED



TREE SYMBOL



TREE SYMBOL



SHRUB SYMBOL

INTERIOR LANDSCAPING – SECTION 1230.42(b)
REQUIRED: 3 SHADE TREES PER DWELLING

NO. OF DWELLINGS	REQUIRED TREES	PROVIDED TREES
4	12	12

LOTS 1-4	KEY	SHADE TREES 3.5 IN. CALIPER MINIMUM BOTANICAL NAME COMMON NAME
3	AR	ACER RUBRUM RED MAPLE (NATIVE)
3	GT	GLEDITSIA TRIACANTHOS F. INERMIS THORNLESS HONEYLOCUST
3	LS	LIQUIDAMBAR STYRACIFLUA SWEET GUM (NATIVE)
3	LT	LIRIODENDRON TULIPIFERA TULIPTREE, TULIP POPLAR (NATIVE)

TOTAL: 12 SHADE TREES PROVIDED

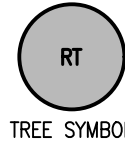


TREE SYMBOL

ADDITIONAL TREE REPLACEMENT:

		SHADE TREES	
		3.5 IN. CALIPER MINIMUM	
		BOTANICAL NAME	
KEY		COMMON NAME	
7	AS	ACER SACCHARUM	SUGAR MAPLE (NATIVE)
7	LS	LIQUIDAMBAR STYRACIFLUA	SWEET GUM (NATIVE)
5	LT	LIRIODENDRON TULIPIFERA	TULIPTREE, TULIP POPLAR (NATIVE)
5	QA	QUERCUS ALBA	WHITE OAK (NATIVE)
4	ZS	ZELKOVE SERRATA	JAPANESE ZELKOVA

TOTAL: 28 SHADE TREES PROVIDED



TREE SYMBOL

ON–LOT SHRUBS

ADDITIONAL ON–LOT SHRUB REPLACEMENT PLANTINGS
(NOT INCLUDED IN PLANT SCHEDULE)

SHRUBS SHALL BE SELECTED FROM TOWNSHIP APPROVED
SHRUB PLANTINGS LIST OR APPROVED BY TOWNSHIP PRIOR
TO PLANTING.

FIFTEEN (15) SHRUBS SHALL BE PROVIDED FOR EACH LOT
FOR A TOTAL OF 60 SHRUBS.

SHRUBS SHALL BE A MIN. 4 FT. HT. AT PLANTING.

REPLACEMENT TREE EQUIVALENTS

REPLACEMENT TREES REQUIRED – TO BE DETERMINED

- 28 SHADE TREES (3.5" CAL.)
- 21 BASIN FLOWERING/EVERGREEN EQUIVALENTS (10 FT. MIN. HT.)
14 FLOWERING TREES + 28 EVERGREEN TREES = 42/2 = 21 EQUIVALENTS
- 6 UPSIZED STREET TREES (3.5" CAL.)
3.5"–2.5" (REQ. STREET TREE SIZE) = 1.0 ADDITIONAL INCH PER TREE
21 STREET TREES x 1.0" = 21"/3.5" = 6 EQUIVALENTS
- 16 UPSIZED BASIN SHADE AND INTERIOR LANDSCAPE TREES (3.5" CAL.)
3.5"–2.5" (REQ. BASIN/INTERIOR LANDSCAPE TREE SIZE) = 1.0 ADDITIONAL INCH PER TREE
[43 BASIN SHADE TREES + 12 INTERIOR LANDSCAPE TREES] x 1.0" = 1"/3.5" = 16 EQUIVALENTS
- 13 TREE EQUIVALENTS PROVIDED BY BASIN AND LOT SHRUBS
65 BASIN SHRUBS + 60 LOT SHRUBS at 10:1 RATIO = 125/10 = 13 EQUIVALENTS

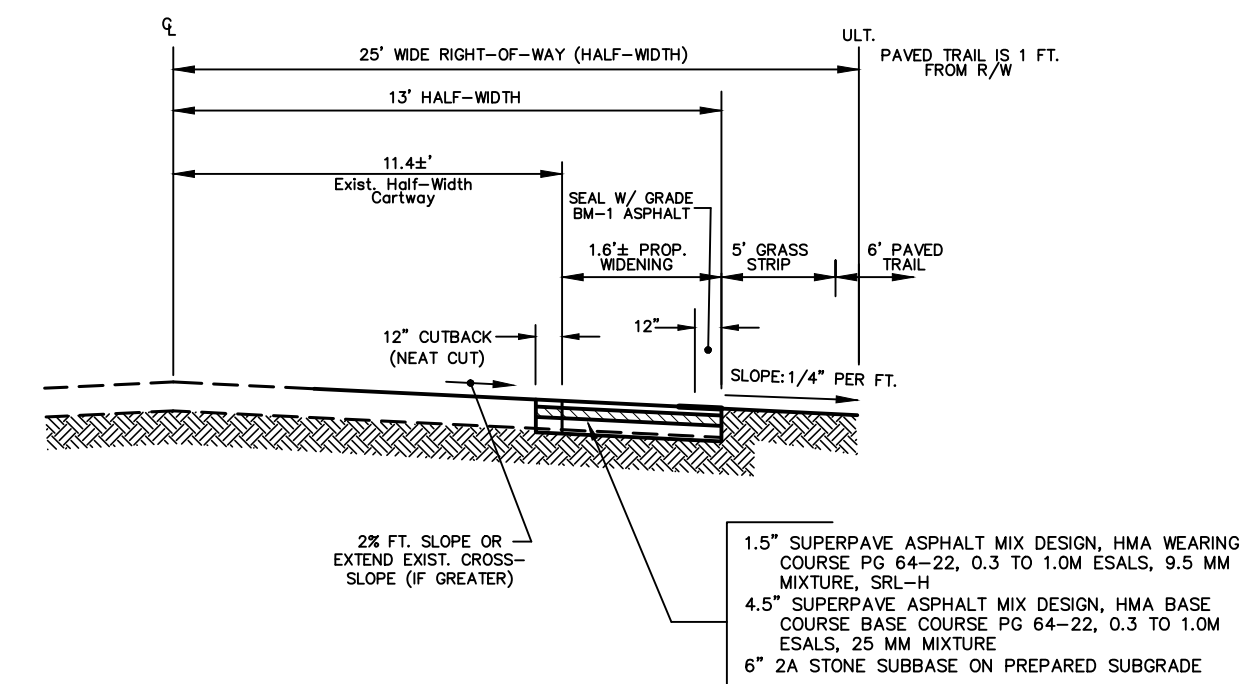
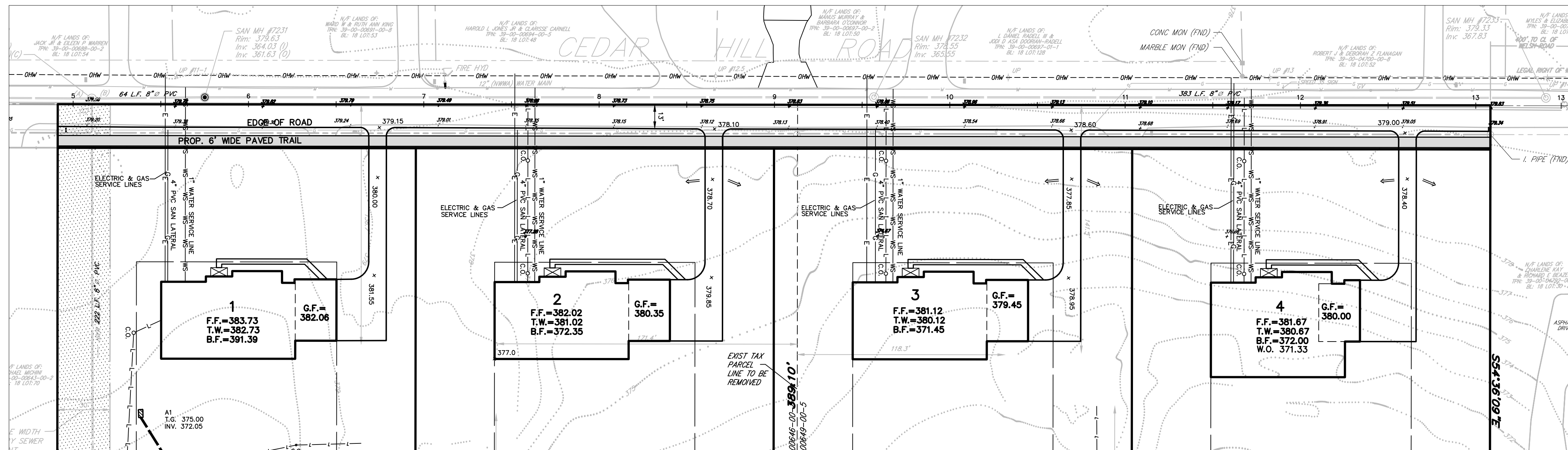
REMAINING REPLACEMENT TREES REQUIRED – TO BE DETERMINED

PCSM LANDSCAPE DETAIL SHEET
AS PART OF
1512 & 1524 CEDAR HILL ROAD
PREPARED FOR
TISMAN GROUP, LLC
SITE SITUATE IN
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY

S**T****A**
Engineering, Inc.

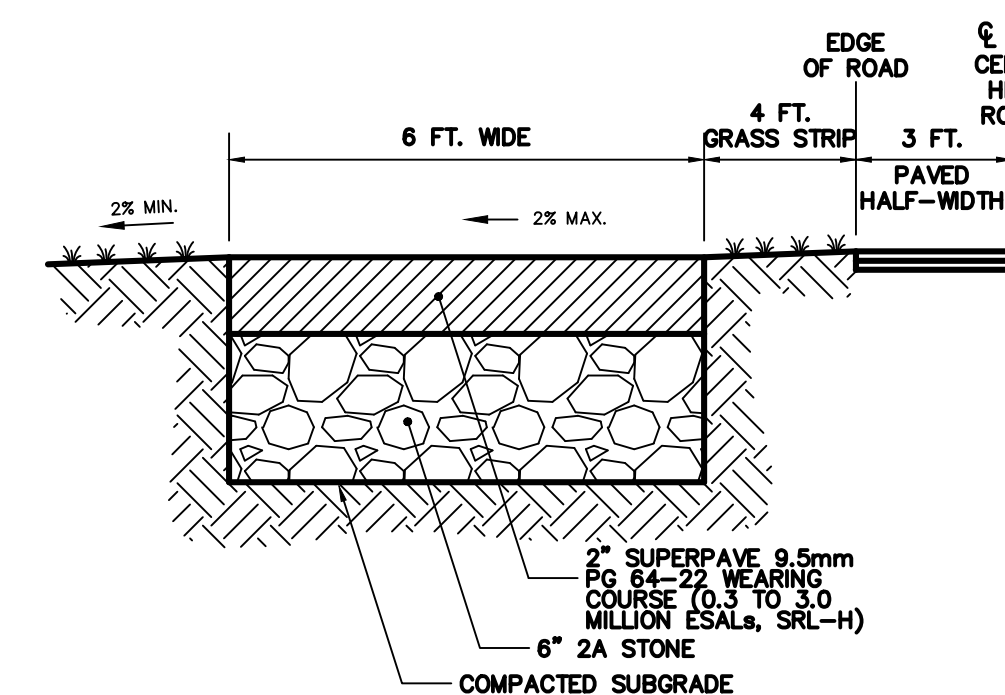
Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679–0200; www.stotac.com

PLAN SCALE HORIZONTAL	DRAFTED BY M.J.P.	PROJECT MANAGER S.A.R.	PLAN SHEET NUMBER
NTS	PROJECT NUMBER 6571	DRAWING FILE NUMBER 6571LA	13 OF 16

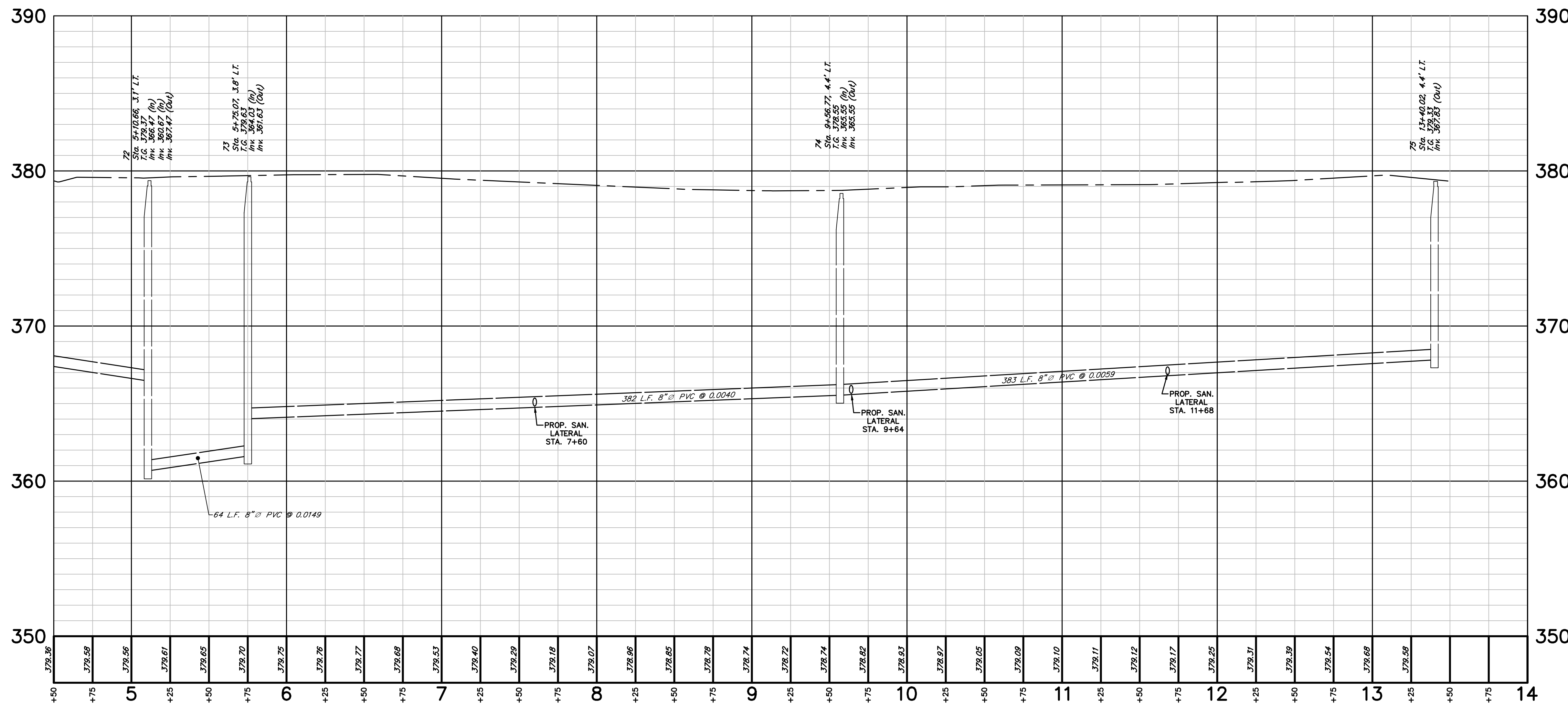


- NOTES:
1. ALL SUBGRADE AREAS TO BE COMPACTED AND APPROVED PRIOR TO PLACEMENT OF MATERIALS.
 2. BASE UNDERDRAIN TO BE INSTALLED AS DIRECTED BY MUNICIPAL ENGINEER.

**TYPICAL HALF-SECTION
CEDAR HILL ROAD WIDENING**
N.T.S.



6 FT. BITUMINOUS TRAIL DETAIL



REVISIONS		DATE
1	W.P.	AUG. 25, 2025

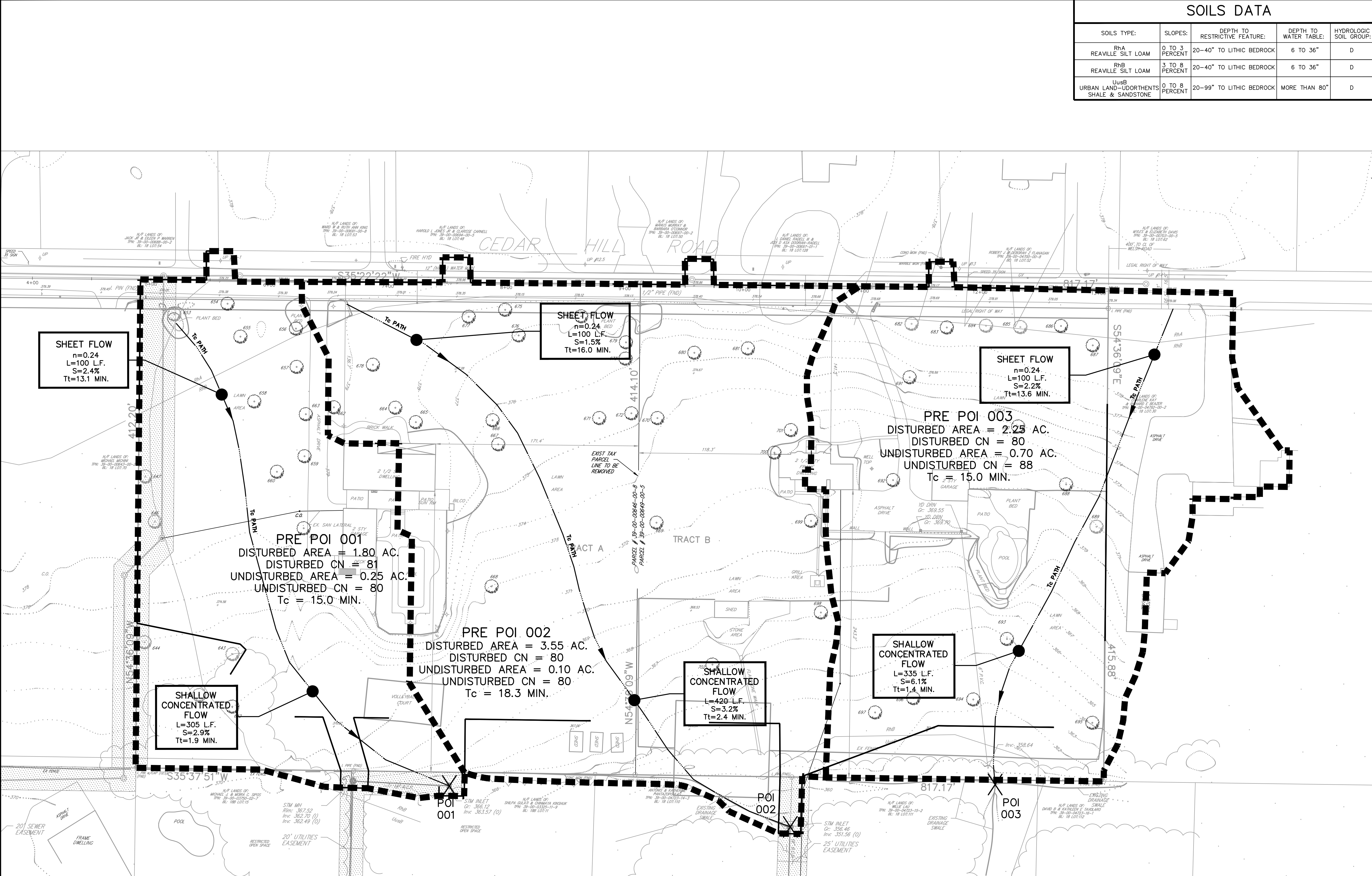
GRADING PLAN, PROFILE, AND DETAIL SHEET
OF
CEDAR HILL ROAD
AS PART OF
1512 & 1524 CEDAR HILL ROAD
PREPARED FOR
TISMAN GROUP, LLC
SITE SITUATE IN
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY

S T A

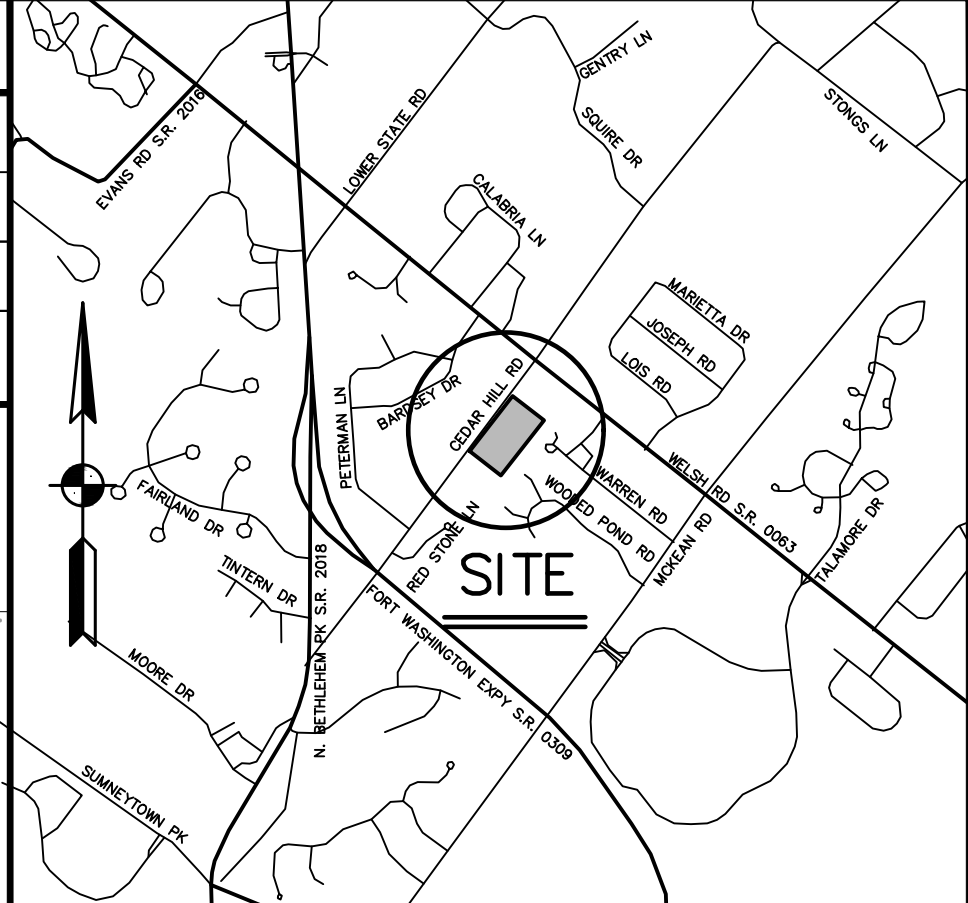
Engineering, Inc.

Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL: 1" = 40'	M.J.P.	S.A.R.	14 OF 16
VERTICAL: 1" = 4'	PROJECT NUMBER 6571	DRAWING FILE NUMBER 6571RD	

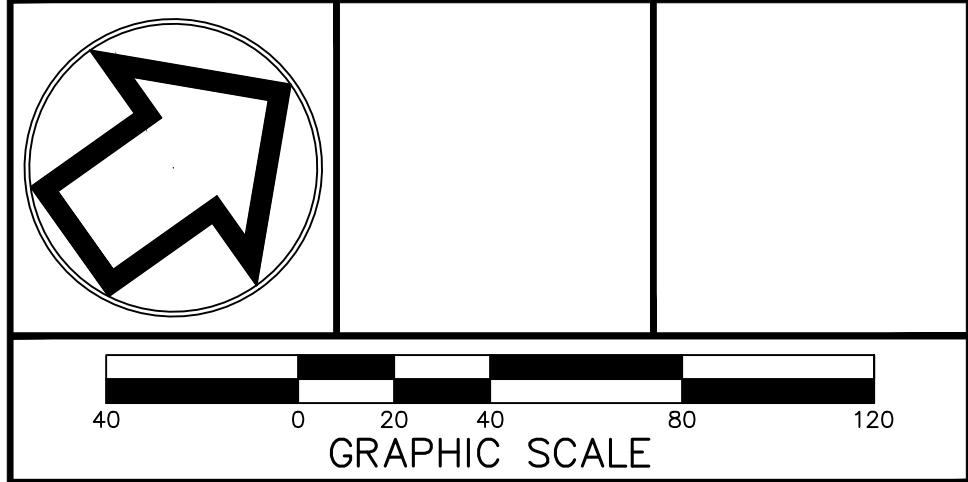


SOILS DATA				
SOILS TYPE:	SLOPES:	DEPTH TO RESTRICTIVE FEATURE:	DEPTH TO WATER TABLE:	HYDROLOGIC SOIL GROUP:
RhA REAVILLE SILT LOAM	0 TO 3 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
RhB REAVILLE SILT LOAM	3 TO 8 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
UuSB URBAN LAND-UDORTHENTS SHALE & SANDSTONE	0 TO 8 PERCENT	20-99" TO LITHIC BEDROCK	MORE THAN 80"	D



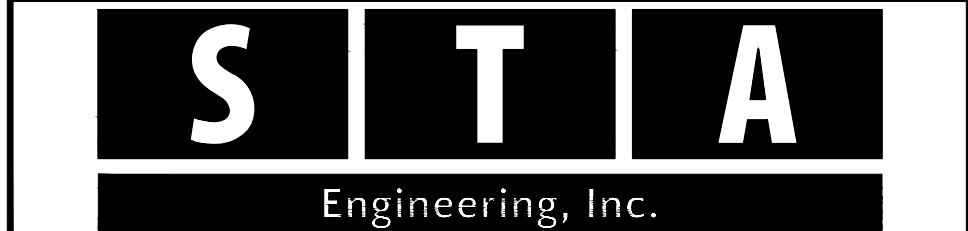
SITE LOCATION MAP 1"=2000'

LEGEND	
	PRE-DEVELOPMENT WATERSHED BOUNDARY
	TIME OF CONCENTRATION PATH
	DISCHARGE POINT



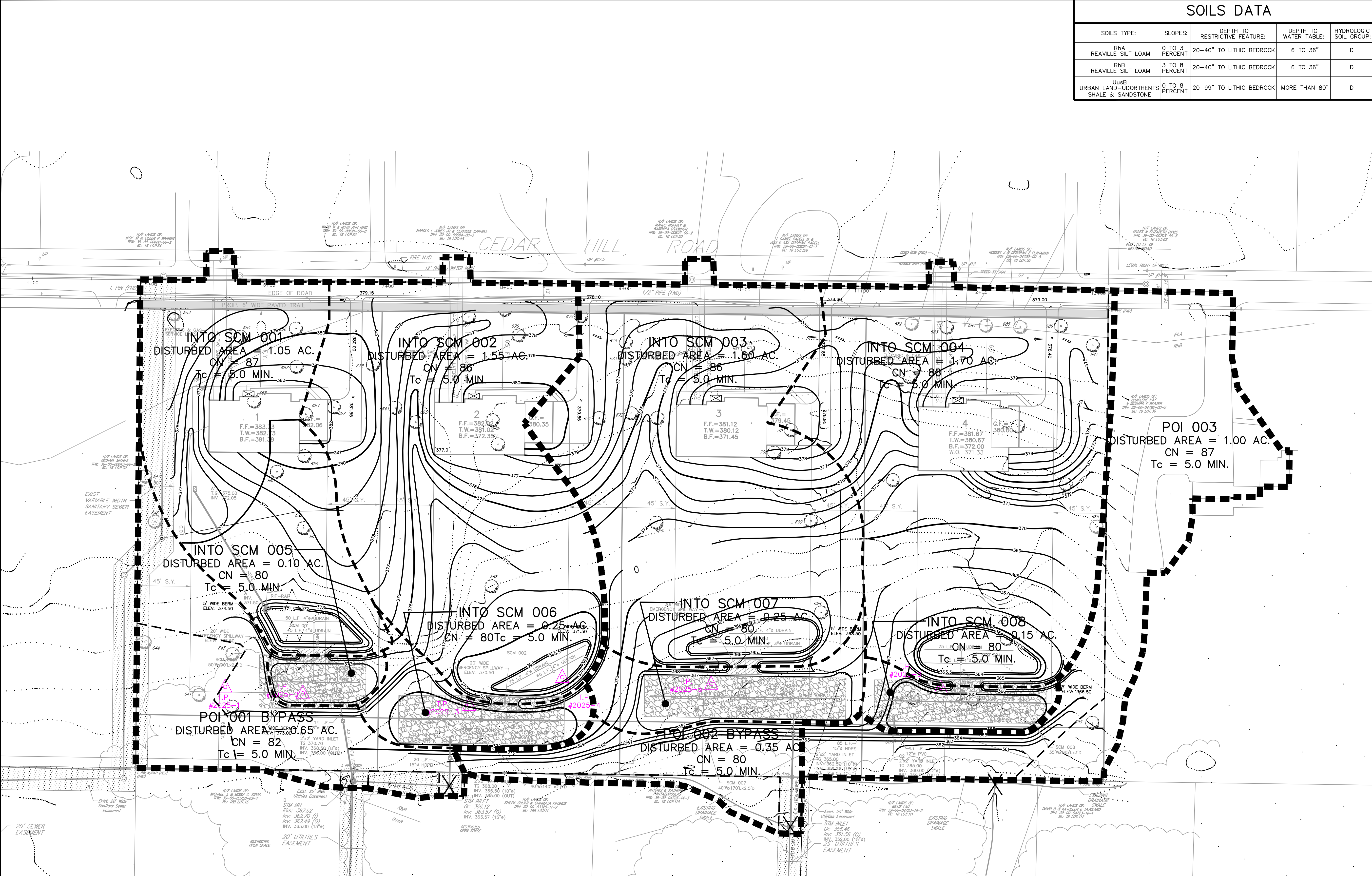
1	W.P.	S.T.A. PLAN ORIGINATION DATE	AUG. 25, 2025
---	------	------------------------------	---------------

PRE-DEVELOPMENT DRAINAGE SHED PLAN
AS PART OF
1512 & 1524 CEDAR HILL ROAD
PREPARED FOR
TISMAN GROUP, LLC
SITE SITUATE IN
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY

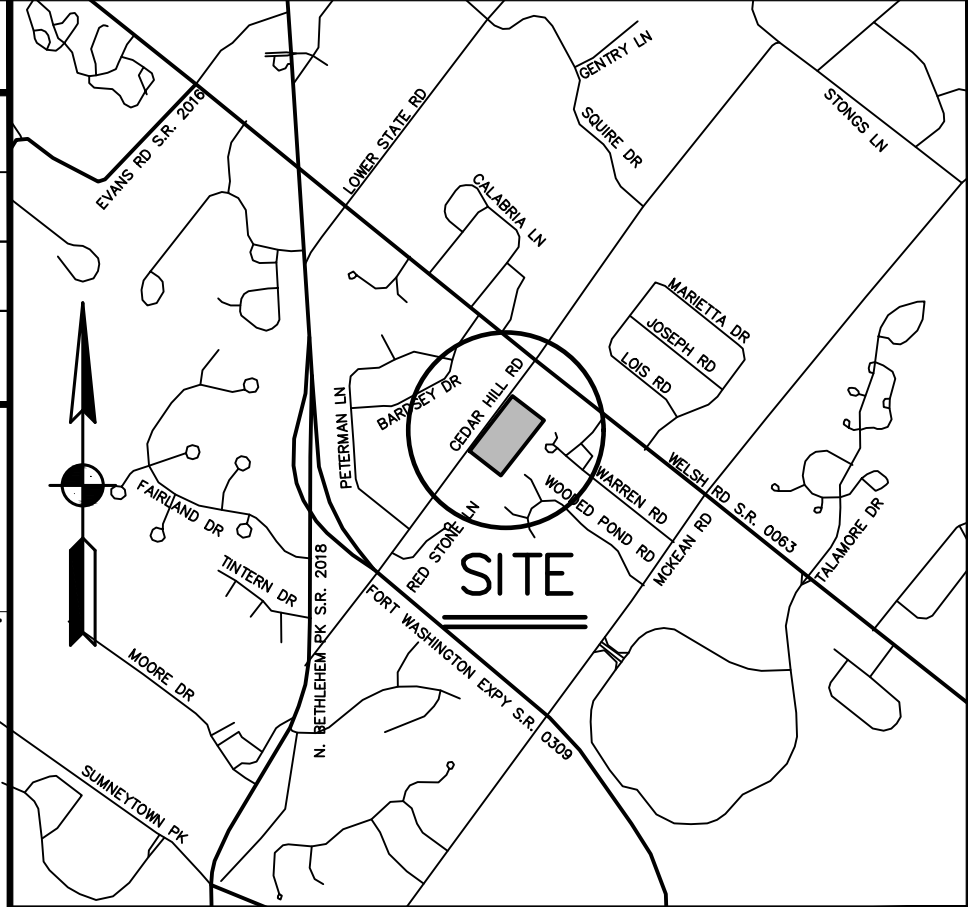


Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY M.J.P.	PROJECT MANAGER S.A.R.	PLAN SHEET NUMBER
1" = 40'	PROJECT NUMBER 6571	DRAWING FILE NUMBER SHED-PRE	15 OF 16

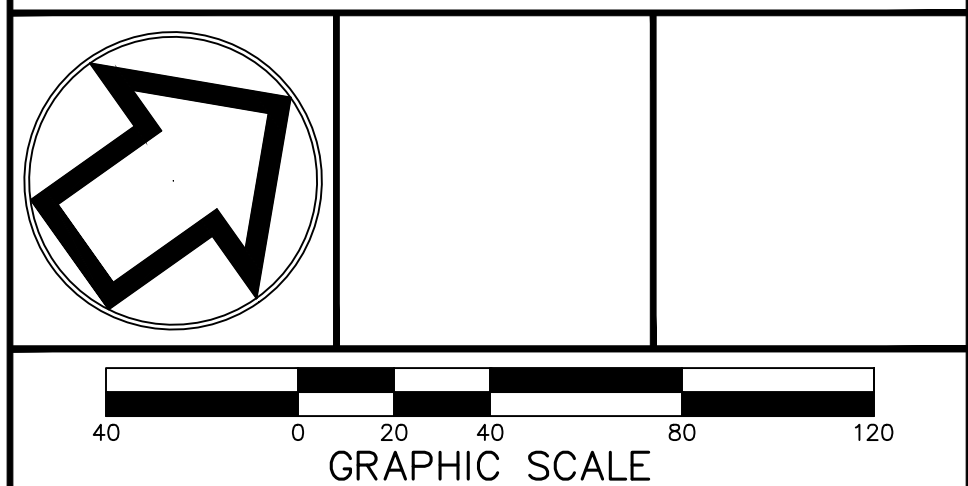
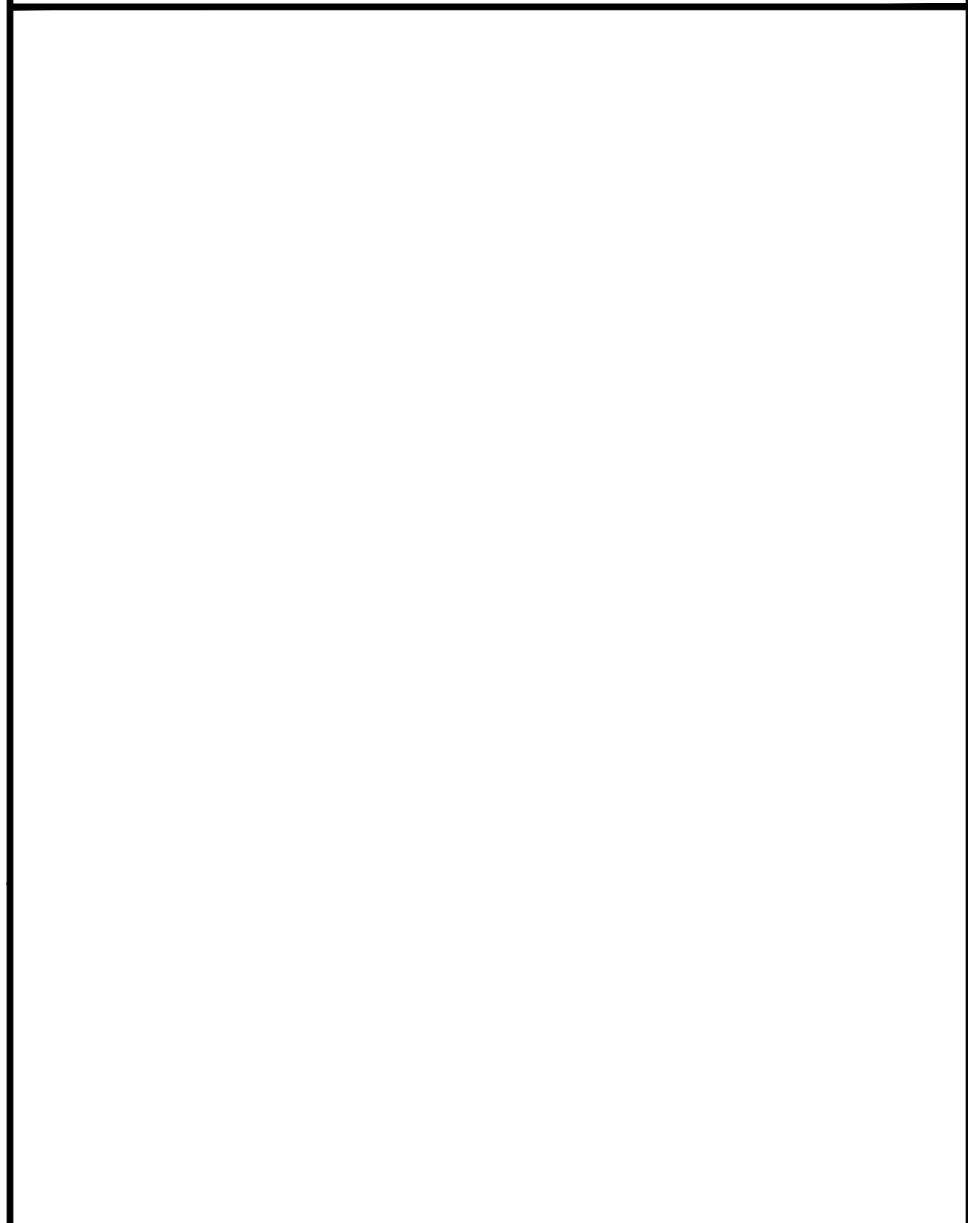


SOILS DATA				
SOILS TYPE:	SLOPES:	DEPTH TO RESTRICTIVE FEATURE:	DEPTH TO WATER TABLE:	HYDROLOGIC SOIL GROUP:
RhA REAVILLE SILT LOAM	0 TO 3 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
RhB REAVILLE SILT LOAM	3 TO 8 PERCENT	20-40" TO LITHIC BEDROCK	6 TO 36"	D
UusB URBAN LAND-UDORTHENTS SHALE & SANDSTONE	0 TO 8 PERCENT	20-99" TO LITHIC BEDROCK	MORE THAN 80"	D



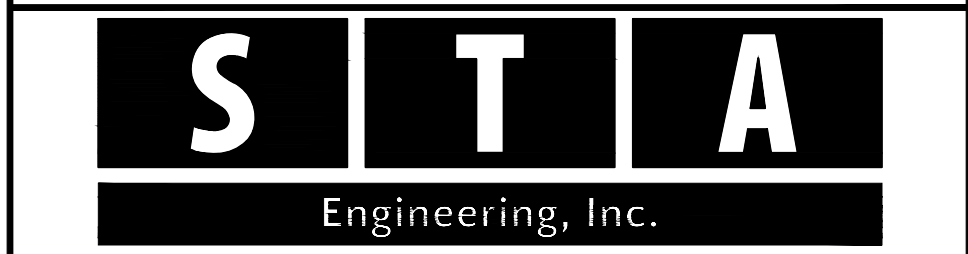
SITE LOCATION MAP 1"=2000'

LEGEND	
	PRE-DEVELOPMENT WATERSHED BOUNDARY
	PSCM WATERSHED BOUNDARY
	DISCHARGE POINT



1	M.P.	S.T.A. PLAN ORIGINATION DATE	AUG. 25, 2025
---	------	------------------------------	---------------

POST-DEVELOPMENT DRAINAGE SHED PLAN
AS PART OF
1512 & 1524 CEDAR HILL ROAD
PREPARED FOR
TISMAN GROUP, LLC
SITE SITUATE IN
LOWER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY



Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1" = 40'	M.J.P.	S.A.R.	
	PROJECT NUMBER	DRAWING FILE NUMBER	
	6571	SHED-POST	16 OF 16