

LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS REGULAR PUBLIC MEETING

Tuesday, June 24, 2025, 7:00 p.m.

To join the meeting via Zoom:

<https://us02web.zoom.us/j/82334527436?pwd=eVKAT1hkbsO33fslFtYQ72iZle9Dgg.1>

Call #: 1-646-876-9923



CALL TO ORDER AND PLEDGE OF ALLEGIANCE

ANNOUNCEMENTS AND PRESENTATIONS

The Board of Supervisors met in executive session on June 10, 2025, and prior to tonight's meeting to discuss matters of real estate related to the public works facility and potential litigation related to pensions, zoning, code enforcement, and emergency services.

The next concert at Pen-Ambler Park is Wednesday, June 25th, featuring Kate Mills. The Taqueria Dos Hermanos food truck opens at 6:30 pm. Check the Township website for more information.

PRESENTATION and Public Discussion about the Township's draft Sidewalks and Trails Plan

PUBLIC COMMENTS

Citizen comments, concerns, questions for items not on the agenda
(Comments on agenda items will be taken when those items are discussed by the Board)

BUILDING AND ZONING

1. Public hearing for Gwynedd Mercy Academy High School's conditional use application seeking approval to allow a pedestrian improvement to encroach into a riparian buffer
2. Public hearing for Foulkeways' conditional use application seeking approval for a storm pipe to encroach into a wetland buffer

GENERAL BUSINESS

1. School Resource Officer – Wissahickon School Board decision
2. Public hearing and possible decision to consider an amendment of a Penllyn Woods Park conservation easement to add a notification requirement for Wissahickon Trails
3. Consider revised proposal to update locks at Penllyn Woods Community Building
4. Consider awarding bid for residential trash and recycling collection
5. EAC single-use plastic update
6. Consider acceptance of proposal from Navitend for Computer/IT Services
7. Resolution 2025- Supporting Funding for SEPTA
8. Consider authorization to submit ARLE grant application in the amount of \$291,345 for traffic signal upgrades at Bethlehem Pike and Tennis Avenue

9. Consider acceptance of work order proposal from Bowman Consulting Group to prepare construction and bid documents for the replacement of the traffic signal pole at Bethlehem Pike and Penllyn Pike
10. Consider approval of quote from Gorski Engineering, Inc., with costs through TIPS-USA, for design and construction of Ingersoll Park improvements to baseball fields and new concession stand, press box, restroom, and associated site work at Ingersoll Park for \$991,624
11. Consider a donation request from Wissahickon Valley Historical Society
12. Consider authorization to issue bond counsel RFP
13. Consider approval of repayment terms from the Pierson pension
14. Financial report – May 2025
15. Township Engineer Report – June 2025
16. Traffic Engineer Report – June 2025
17. Approval of invoice report for June 24, 2025
18. Approval of minutes – May 27, 2025

SUPERVISOR LIAISON REPORTS

Questions about Volunteer Commission Meeting Highlights

STAFF UPDATES

Updates from staff on municipal activities and projects – **swale on Township Line Road; Old Bethlehem Pike projects**

SUPERVISORS COMMENTS

Comments or questions from the Board of Supervisors


Adjournment

UPCOMING MEETING DATES*

HUMAN RELATIONS COMMISSION	THURS	09/04/2025	7:00 P.M.
BOARD OF SUPERVISORS	TUES	07/22/2025	7:00 P.M.
ENVIRONMENTAL ADVISORY COUNCIL	WED	07/09/2025	7:00 P.M.
ZONING HEARING BOARD	THURS	07/22/2025	6:00 P.M.
PARKS AND RECREATION	TUES	07/15/2025	6:00 P.M.
PLANNING COMMISSION	WED	07/16/2025	7:00 P.M.

*Please check the Township website to confirm meeting dates and times.



To: Board of Supervisors
From: John L. Farrell, Project Manager & EMC 
Date: June 18, 2025
Re: Sidewalks & Trails DRAFT Plan Feedback

Recommended action: Review public input and provide feedback to be incorporated into the final report.

The most recent draft of the sidewalks and trails strategic plan was posted on the Township website after the last BOS meeting to give the public additional opportunity to provide feedback: <https://www.lowergwynedd.org/resources/news/article/?id=8214>

As of 6/19/2025, staff received 7 emails. The messages suggested additional priority routes and asked questions about the process. The feedback is summarized as follows:

- One resident asked the Township to consider a route that would connect residents living on Cedar Hill Road to the Spring House Village Shopping Center. While the plan shows a priority route on Cedar Hill going to Wesh Road, it was not identified going towards Bethlehem Pike. The primary limiting factor is that the bridge over Route 309 does not have any pedestrian access. Since it was erected in 2009, it is unlikely to be replaced in the near future. However, staff believe it may still be valuable to consider making the section of Cedar Hill between 309 and Bethlehem Pike a priority route, as well as the section of Bethlehem Pike between Cedar Hill and Fairland Drive, as the location has potential for future development. If the area does redevelop, a crosswalk on Bethlehem Pike may also be viable.
- Two residents suggested making Gypsy Hill Road a priority route, similar to the thoughts presented by Supervisor Martin at the 5/27 BOS meeting. Staff has evaluated the requests and suggests adding Gypsy Hill Road between Evans Road and Penllyn Pike as a priority route.
- One resident expressed their concern about the need for sidewalks along Bethlehem Pike between BMW of Fort Washington and the Fairland Village townhomes/shopping center. This area is already identified as a priority area, and staff suggest it remain as one.

- One resident asked why pedestrians are prevented from crossing Route 202 in several locations. During PennDOT's recent widening of 202, they evaluated appropriate locations for crossings, and eliminated others based on safety criteria.
- Another resident asked several questions about the process, including concerns about the walkability of the NW corner of the Township, bicycle accommodations, access to GMU trails, and connections across Welsh Road to shopping and other amenities. In response:
 - o The roads in the NW corner of the Township is generally not conducive to adding sidewalks, as it is composed of established neighborhoods with little room to build, and little chance for near-term redevelopment.
 - o Cycling lanes were not included as a part of this plan, though one route mentioned (Sumneytown/Evans) is a priority for pedestrian access.
 - o GMU trails do not have restricted access; it is our understanding that access was limited when COVID began, but since then access has reopened.
- The most recent response (as of the time of writing) was from a resident who asked to extend the sidewalk (that currently ends at the former Texaco lot) to the crosswalk between Gwynedd Hunt and Spring House Village, extend the sidewalk along the northern side Penllyn Pike to Wood Bridge Road, and add more bike lanes.
 - o The connection along Sumneytown Pike has been labeled as a priority, though not always on both sides of the road. In this case, walkers would need to cross to the Spring House Village side of the road at the five points traffic light to use the existing pathway.
 - o Rather than extend the sidewalk along Penllyn Pike on the NW side of the road, the plan calls for an evaluation of a crossing near the Carriages, to maximize use of the sidewalks and trails already in place.
 - o Cycling lanes were not included as part of this plan.

This information, along with any additional comments that are received, will be reviewed at the June 24th BOS meeting. Decisions made by the Board will be incorporated into the final report and presented for acceptance at the July 22nd meeting.

Recommended action: Review public input and provide feedback to be incorporated into the final report.



MEMORANDUM

ATTN: Board of Supervisors

DATE: June 18, 2025

FROM: Jamie P. Worman, Assistant Township Manager

Jamie Worman

SUBJ: Gwynedd Mercy Academy High School Conditional Use-#25-03CU

Gwynedd Mercy Academy High School is seeking conditional use approval to install a paved trail and pedestrian bridge to allow direct access to the athletic fields in the rear of their campus. To install the bridge, they will need to do additional grading work within a riparian corridor. The code requires that a riparian corridor buffer be 25 feet and any disturbance within this area shall only be permitted through conditional use approval granted by the BOS. The plans have been reviewed by the Township Engineer and the Montgomery County Planning Commission (attached). The application was presented to the Lower Gwynedd Planning Commission and recommended for approval on May 21, 2025. The applicant has also obtained the required permitting from the PADEP. Christen Pionzio, Esq. will be representing the applicant at the hearing.

Recommended Motion: Conditional Use #25-03- It is recommended that the BOS authorize the Township Solicitor to prepare a decision and order approving the GMAHS Conditional Use application conditioned upon the comments noted in the Township Engineer's letter and the MCPC letter both dated May 15, 2025. The trail will provide connectivity on the campus and the riparian corridor will be restored and could be enhanced following the installation of the improvements.

LEGAL ADVERTISEMENT
CONDITIONAL USE HEARING NOTICE

Notice is hereby given that the Lower Gwynedd Township Board of Supervisors, on Tuesday, June 24, 2025, at 7:00 p.m., will hold a public hearing to consider the conditional use application (“**Application**”) of Gwynedd Mercy Academy High School (“**Applicant**”), legal owner of the property known as 1345 Sumneytown Pike, Parcel # #39-00-03957-00-9, consisting of approximately 42 acres, located within the A-Residential Zoning District (“**Property**”). The Applicant proposes the installation of an asphalt trail and pedestrian bridge to allow direct access to the athletic fields at the rear of the Property. Additional improvements include grading to allow for the construction of the trail within the riparian buffer area on the Property (the “**Proposed Use**”). Conditional use approval is required pursuant to Section 1298.17(c), because the Proposed Use requires disturbance within the minimum riparian buffer. The Application must meet the requirements of Section 1298.07 of the Township's Zoning Code.

The Board of Supervisors will consider testimony and evidence from the Applicant at the hearing in support of the Application. Copies of the Application and proposed plans are available to be viewed at the Lower Gwynedd Township Building during normal business hours. Please contact the Township at (215) 646-5302 or mfarzetta@lowergwynedd.org, to schedule an appointment.

The public may participate in the meeting in person at the Lower Gwynedd Township Building, 1130 N. Bethlehem Pike, Spring House, PA 19477; online at _____; or by calling _____ and entering the meeting ID number _____ when prompted.

At the hearing, members of the public may request party status. Only those granted party status may question witnesses, present testimony, and appeal from the decision to court. Party status is not required to provide comments only, and comments may be presented in writing, or verbally at the conclusion of the hearing. Anyone requesting party status or who wishes to submit written comments in advance of the hearing, are encouraged, but not required, to email the Township Solicitor, Neil Andrew Stein, Esquire, nstein@kaplaw.com, with your name, address, e-mail address, and telephone number and any comments.

Neil Andrew Stein, Esquire
Lower Gwynedd Township Solicitor

PLEASE PROVIDE PROOF OF PUBLICATION

PHILADELPHIA GROUP

AFFIDAVIT OF PUBLICATION
390 Eagleview Boulevard • Exton, PA 19341

LOWER GWYNEDD TOWNSHIP
1130 N BETHLEHEM PIKE
PO BOX 625
SPRING HOUSE, PA 19477
Attention: MICHELLE FARZETTA

STATE OF PENNSYLVANIA,

The undersigned Richard L. Crowe, being duly sworn the he/she is the principal clerk of The Reporter, The Reporter Digital, published in Montgomery County for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

LOWER GWYNEDD TOWNSHIP

Published in the following edition(s):

The Reporter, The Reporter Digital
06/03/25, 06/10/25

Commonwealth of Pennsylvania - Notary Seal
Maureen Schmid, Notary Public
Montgomery County
My Commission Expires March 31, 2029
Commission Number 1248132

Sworn to the subscribed before me this 6/10/25.

Maureen Schmid

Notary Public, State of Pennsylvania
Acting in County of Montgomery

**LEGAL ADVERTISEMENT
CONDITIONAL USE
HEARING NOTICE**

Notice is hereby given that the Lower Gwynedd Township Board of Supervisors, on Tuesday, June 24, 2025, at 7:00 p.m., will hold a public hearing to consider the conditional use application ("Application") of Gwynedd Mercy Academy High School ("Applicant"), legal owner of the property known as 1345 Summerville Pike, Parcel # #39-00-03957-00-9, consisting of approximately 42 acres, located within the A-Residential Zoning District ("Property"). The Applicant proposes the installation of an asphalt trail and pedestrian bridge to allow direct access to the athletic fields at the rear of the Property. Additional improvements include grading to allow for the construction of the trail within the riparian buffer area on the Property (the "Proposed Use"). Conditional use approval is required pursuant to Section 1238.11(f), because the Proposed Use requires disturbance within the minimum riparian buffer. The Application must meet the requirements of Section 1248.07 of the Township's Zoning Code.

The Board of Supervisors will consider testimony and evidence from the Applicant at the hearing in support of the Application. Copies of the Application and proposed plans are available to be viewed at the Lower Gwynedd Township Building during normal business hours. Please contact the Township at (215) 646-5392 or mfarzetta@lowergwynedd.org, to schedule an appointment.

The public may participate in the meeting in person at the Lower Gwynedd Township Building, 1130 N. Bethlehem Pike, Spring House, PA 19477; online at <https://us02web.zoom.us/j/82334527436?pwd=akVATlRkS003S1R1Y0Q2R2JkZ090g.1>; or by calling 1-646-876-9923 and entering the meeting ID number 823 3452 7436 when prompted.

At the hearing, members of the public may request party status. Only those granted party status may question witnesses, present testimony, and appeal from the decision to court. Party status is not required to provide comments only, and comments may be presented in writing, or verbally at the conclusion of the hearing. Anyone requesting party status or who wishes to submit written comments in advance of the hearing, are encouraged, but not required, to email the Township Solicitor, Neil Andrew Stein, Esquire, nstein@kaplaw.com, with your name, address, e-mail address, and telephone number and any comments.

Neil Andrew Stein, Esquire
Lower Gwynedd Township
Solicitor

LAN: June 3, 10. a-1

Advertisement Information

Client Id: 881248

Ad Id: 2725054

PO: 6/24/25 Hearing

Sales Person: 063308



Lower Gwynedd Township
1130 N. Bethlehem Pike, P.O. Box 625
Spring House, PA 19477
(215)646-5302- phone
(215)646-3357-fax
www.lowergwynedd.org

Conditional Use Appeal to Board of Supervisors

1. Date: 5/2/2025
2. Classification of Appeal (check all that apply):
☒ Request for a Conditional Use
☐ Other (specify): _____
3. Applicant:
Name: Gwynedd Mercy Academy High School
Mailing Address: 1345 Sumneytown Pike
Ambler, PA 19002
Phone Number: 215-646-8815
Email Address: _____
State owner of legal title, if other than Applicant: _____
4. Applicant's Attorney:
Name: Christen G. Pionzio, Esquire
Mailing Address: 1684 S. Broad St., Suite 230, P.O. Box 1479
Lansdale, PA 19446
Phone Number: 215-661-0400
Email Address: cpionzio@hrmml.com
5. Property:
Location: 1345 Sumneytown Pike (Parcel No. 39-00-03947-00-9)
Present Zoning Classification: A-Residential
Area: 42.08 acres
Frontage: 502.64 ft. on Sumneytown (frontage and depth)
Depth: 1,224.67 ft. on Evans Road (frontage)
Description of the current use and the existing improvements on the property: Gwynedd Mercy Academy High School

Description of the proposed use and the proposed improvements (if different):

The applicant proposes to install a pedestrian bridge across wetlands and riparian buffers associated with Trewellyn Creek, which connects the high school building to the track and field facility, as shown on the plans.

6. Legal grounds for appeal:

The structures are permitted to cross the related buffers by conditional use because no reasonable engineering alternative exists. A GP-7 General Permit has been obtained from DEP indicating no adverse impact to the environment and community.

7. State each section of the zoning ordinance involved in this application:

1298.17(c)

8. Has any previous appeal or application been filed in connection with this property?

☒ Yes ☐ No If yes, date and specifics: Previous applications have been filed by the property owner, none of which are pertinent to this application.

9. Is public water available to this property?

☒ Yes ☐ No

Is public sewer available to this property?

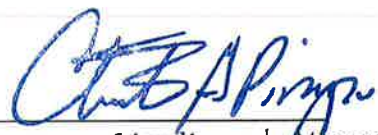
☒ Yes ☐ No

10. Does this Application involve a proposed subdivision?

☐ Yes ☒ No

If yes, has a subdivision plan been filed with the Township?

☐ Yes ☐ No



Signature of Applicant's Attorney
Christen G. Pionzio

EXTENSION OF TIME
CONDITIONAL USE REQUEST

Date: 5/2/2025

Township Manager
Lower Gwynedd Township
1130 North Bethlehem Pike
Spring House, PA 19477

RE: Property Address: 1345 Sumneytown Pike

Current Use: Gwynedd Mercy Academy High School

Requested Use: Same use with installation of a pedestrian bridge.

On 5/2/2025, I filed an official application for Conditional Use approval for the above referenced property and paid all appropriate fees. I understand that the Township's Zoning Ordinance and the Pennsylvania Municipalities Planning Code ("MPC") require that the Board of Supervisors hold the initial hearing on this application within 60 days of filing all appropriate fees and applications.

Please be advised that, notwithstanding any contrary provision of the Township's Zoning Ordinance or the MPC, this letter will serve as notice to the Township that the requirement that the initial hearing on this request by the Board of Supervisors take place within 60 days is hereby waived, without limitation as to time.

Should it become necessary to limit the amount of time for the Board of Supervisors to take action on my request, I may revoke this extension of time in writing, sent regular mail and certified mail to the Township, return receipt requested, and the Township shall be obligated hold a hearing on the Conditional Use application within the time then required by the MPC, starting from the date of the Township's receipt of the notice described in this paragraph.

If the Township, in its sole discretion, determines that insufficient progress is being made with regard to the progress of the Conditional Use application, the Township may also revoke this extension of time in writing, sent regular mail and certified mail, return receipt requested. I understand that the Township will advertise and hold a public hearing on the application within the time then required by the MPC, starting from the date of the Applicant's receipt of the notice described in this paragraph.



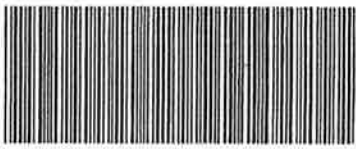

For the purposes stated herein, written notice shall be deemed received, if sent regular mail and certified mail, on the date of the written receipt on the certified mail return receipt, or, three (3) days after the date indicated on the notification letter in the event the certified mail is returned as "refused", "unclaimed", or is otherwise returned without indication of receipt.

Sincerely,

A handwritten signature in blue ink, appearing to read "Christen G. Pionzio", written over a horizontal line.

Christen G. Pionzio, Esquire
Attorney for Applicant

47500

  <p>RECORDER OF DEEDS MONTGOMERY COUNTY <i>Jeanne Sorg</i></p> <p>One Montgomery Plaza Swede and Alry Streets ~ Sulte 303 P.O. Box 311 ~ Norristown, PA 19404 Office: (610) 278-3289 ~ Fax: (610) 278-3869</p>	<p>DEED BK 6225 PG 01394 to 01399.2 INSTRUMENT # : 2021056891 RECORDED DATE: 05/17/2021 10:07:12 AM</p>  <p>5951578-0022.</p> <p>MONTGOMERY COUNTY ROD</p>
<p align="center">OFFICIAL RECORDING COVER PAGE Page 1 of 8</p>	
<p>Document Type: Deed Document Date: 05/04/2021 Reference Info:</p>	<p>Transaction #: 6336557 - 5 Doc (s) Document Page Count: 5 Operator Id: cdyer</p>
<p>RETURN TO: (Mail) SECURITY ABSTRACT OF PA, INC. 1592 Sumneytown Pike Lansdale,, PA 19446</p>	<p>PAID BY: SECURITY ABSTRACT OF PA INC</p>
<p>* PROPERTY DATA: Parcel ID #: 39-00-03957-00-9 Address: 1345 SUMNEYTOWN PIKE</p> <p>PA Municipality: Lower Gwynedd Township (100%) School District: Wissahickon</p>	
<p>* ASSOCIATED DOCUMENT(S):</p>	
<p>CONSIDERATION/SECURED AMT:</p> <p>FEES / TAXES: Recording Fee:Deed Affidavit Fee Additional Pages Fee Affordable Housing Pages Total:</p>	<p>DEED BK 6225 PG 01394 to 01399.2 Recorded Date: 05/17/2021 10:07:12 AM I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.</p>  <p align="right"><i>Jeanne Sorg</i> Jeanne Sorg Recorder of Deeds</p>

Rev1a 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL

Prepared by and Return to:

Security Abstract of PA, Inc.
1592 Sumneytown Pike
Lansdale, PA 19446

File No. SPA47500CHI

UPI # 39-00-03957-00-9

RECORDED OF DEEDS
MONTGOMERY COUNTY

2021 MAY 14 A 10:16

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
39-00-03957-00-9 LOWER GWYNEDD
1345 SUMNEYTOWN PIKE

SISTERS OF MERCY OF AMERICAS
B 008 U 055 L 1 5970 DATE: 05/14/2021

OK Solomon

PART OF

This Indenture, made the 4th day of May, 2021.
Effective the 10th day of May, 2021
Between

**SISTERS OF MERCY OF AMERICAS, MID-ATLANTIC COMMUNITY, INC., A
MISSOURI NON-PROFIT CORPORATION**

(hereinafter called the Grantor), of the one part, and

**GWYNEDD MERCY ACADEMY HIGH SCHOOL, A PA NON-PROFIT
CORPORATION**

(hereinafter called the Grantee), of the other part,

Witnesseth, that the said Grantor for and in consideration of the sum of
(\$10.00) lawful money of the United States of America, unto it well and truly paid by the said Grantee, at
or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted,
bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release
and confirm unto the said Grantee its successors and assigns

ALL THAT CERTAIN portion of land situate in the Township of Lower Gwynedd,
County of Montgomery, Commonwealth of Pennsylvania bounded and described
according to a Subdivision

Record Plan Set entitled "1345 Sumneytown Pike", Sheets 1 & 2 of 2, prepared by
Woodrow & Associates, Inc., dated May 08, 2020, last revised October 12, 2020, and
recorded 3/19/2021 in Plan Book 54 page 425, as follows, to wit:

BEGINNING AT A POINT of intersection that the centerline and title line of
Sumneytown Pike, being a County Road and being an existing 50 feet wide legal width
and being widened by the addition of 15 feet to the northeasterly existing legal right of
way line, makes with the common property line between lands now or formerly of Sisters
of Mercy of Americas Midatlantic Community Inc., (TPN: 39-00-03957-00-9, for
reference only) and lands now or formerly of Gwynedd Mercy College (TPN: 39-00-
03955-00-2, for reference only);

THENCE, leaving said beginning point and along said centerline and title line of
Sumneytown Pike North 59°59'09" West, a distance of 502.62 feet, to a common lot
corner of Proposed Lot 1 and Proposed Lot 2;

50/2
CO

THENCE, along the common lot line between Proposed Lot 1 and Proposed Lot 2, the following four (4) courses and distances:

- 1) North 34°45'07" East, a distance of 300.01 feet, to a point;
- 2) North 27°09'35" East, a distance of 53.08 feet, to a point;
- 3) North 62°50'25" West, a distance of 101.43 feet, to a point;
- 4) North 55°22'29" West, a distance of 225.96 feet, to a point on the title line and centerline of Evans Road;

THENCE, along said Title Line and centerline of Evans Road, being also known as S.R. 2016 and being an existing 33 feet wide legal width and being widened by the addition of 13.50 feet to the southeasterly existing legal right of way line, the following two (2) courses and distances:

- 1) North 34°37'31" East, a distance of 1224.70 feet, to a point;
- 2) North 34°55'31" East, a distance of 1342.01 feet, to a point a common property corner between said lands of Sisters of Mercy of Americas Midatlantic Community Inc., and said lands of Gwynedd Mercy college;

THENCE, along said common property line between said lands of Sisters of Mercy of Americas Midatlantic Community, Inc., and said lands of Gwynedd Mercy College, the following seventeen (17) courses and distances:

- 1) South 23°19'29" East, a distance of 633.00 feet, to a point;
- 2) South 06°55'50" West, a distance of 796.64 feet, to a point;
- 3) South 59°20'37" West, a distance of 156.58 feet, to a point of a non-tangential curve;
- 4) Along an arc of a circle curving to the left, having a radius of 285.00 feet, an arc distance of 110.00 feet, being subtended by a chord bearing of South 32°20'32" West and a chord distance of 109.32 feet, to a point;
- 5) South 37°36'11" West, a distance of 58.70 feet, to a point of curve;
- 6) Along an arc of a circle curving to the right, having a radius of 225.00 feet, an arc distance of 182.30 feet, being subtended by a chord bearing of South 49°34'51" West and a chord distance of 177.35 feet, to a point of tangent;
- 7) South 64°22'42" West, a distance of 58.65 feet, to a point;
- 8) South 61°28'35" West, a distance of 48.21 feet, to a point;
- 9) South 55°28'43" West, a distance of 92.94 feet, to a point of curve;
- 10) Along an arc of a circle curving to the left, having a radius of 330.00 feet, an arc distance of 94.32 feet, being subtended by a chord bearing of South 47°49'45" West and a chord distance of 94.00 feet, to a point of tangent;
- 11) South 40°57'11" West, a distance of 325.21 feet, to a point;
- 12) South 11°45'51" West, a distance of 222.06 feet, to a point;
- 13) South 15°04'07" West, a distance of 189.99 feet, to a point of curve;
- 14) Along an arc of a circle curving to the right, having a radius of 180.00 feet, an arc distance of 131.95 feet, being subtended by a chord bearing of South 26°53'12" West and a chord distance of 129.02 feet, to a point of tangent;
- 15) South 41°58'55" West, a distance of 72.40 feet, to a point;
- 16) South 30°01'09" West, a distance of 151.10 feet, to a point;
- 17) South 30° 00 minutes 51 seconds West 13.64 feet, to a point, said point being the first mentioned point and Place of Beginning,

Containing 1,930,103.43 Square Feet or 44.3091 Acres, more or less.

Being County Parcel No. 39-00-03957-00-9

Together with Agreement as set forth in Deed Book 5658 page 1535 and Easement as set forth in Deed Book _____ page _____.

Being part of the same premises which The Sisters of Mercy in the City of Philadelphia, a PA Non-Profit Corporation (subsequently known as The Sisters of Mercy of Merion, Pennsylvania) now known as Sisters of Mercy of the Americas Mid-Atlantic Community Inc., a Missouri Non-Profit Corporation by Indenture bearing date 7/6/2016 and recorded 8/4/2016 at Norristown in the Office for the Recording of Deeds in and for the County of Montgomery in Deed Book 6010 page 1733 etc. granted and conveyed unto Sisters of Mercy of Americas, Mid-Atlantic Community, Inc., a Missouri Non-Profit Corporation, in fee.

Under and Subject to any and all agreements, covenants, liens, reservations, exceptions, restrictions and other encumbrances of record.

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said grantor, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns, forever.

And the said Grantor, for itself, its successors and assigns, does, by these presents, covenant, grant and agree, to and with the said Grantee, its successors and assigns, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor, and its successors and assigns, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.

In Witness Whereof, the party of the first part has caused its common and corporate seal to be affixed to these presents by the hand of its President, and the same to be duly attested by its Secretary. Dated the day and year first above written.

ATTEST:

Jan R. Stenger
{SEAL}

SISTERS OF MERCY OF AMERICAS, MID-ATLANTIC COMMUNITY, INC., A MISSOURI NON-PROFIT CORPORATION

By: *Sister Patricia Vetrano, RSM*
Sister Patricia Vetrano, RSM

The precise residence and the complete post office address of the above-named Grantee is:

1345 Sumnerstown Pike
Swyredd Valley Pk 19437

J. E. [Signature]
On behalf of the Grantee

Commonwealth of Pennsylvania } ss
County of Montgomery

AND NOW, this 4 day of May, 2021, before me, the undersigned Notary Public, appeared *Sister Patricia Vetrano, RSM*, who acknowledged himself/herself to be the *Vice President* (title) of Sisters of Mercy of Americas, Mid-Atlantic Community, Inc., a Missouri Non-Profit Corporation, and he/she, as such *Vice President* (title) being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as *Vice President* (title).

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

Commonwealth of Pennsylvania - Notary Seal
Kathleen A. Remy, Notary Public
Montgomery County
My commission expires September 24, 2022
Commission number 1285911
Member, Pennsylvania Association of Notaries

Kathleen A. Remy
Notary Public
My commission expires *Sept. 24, 2022*

Deed

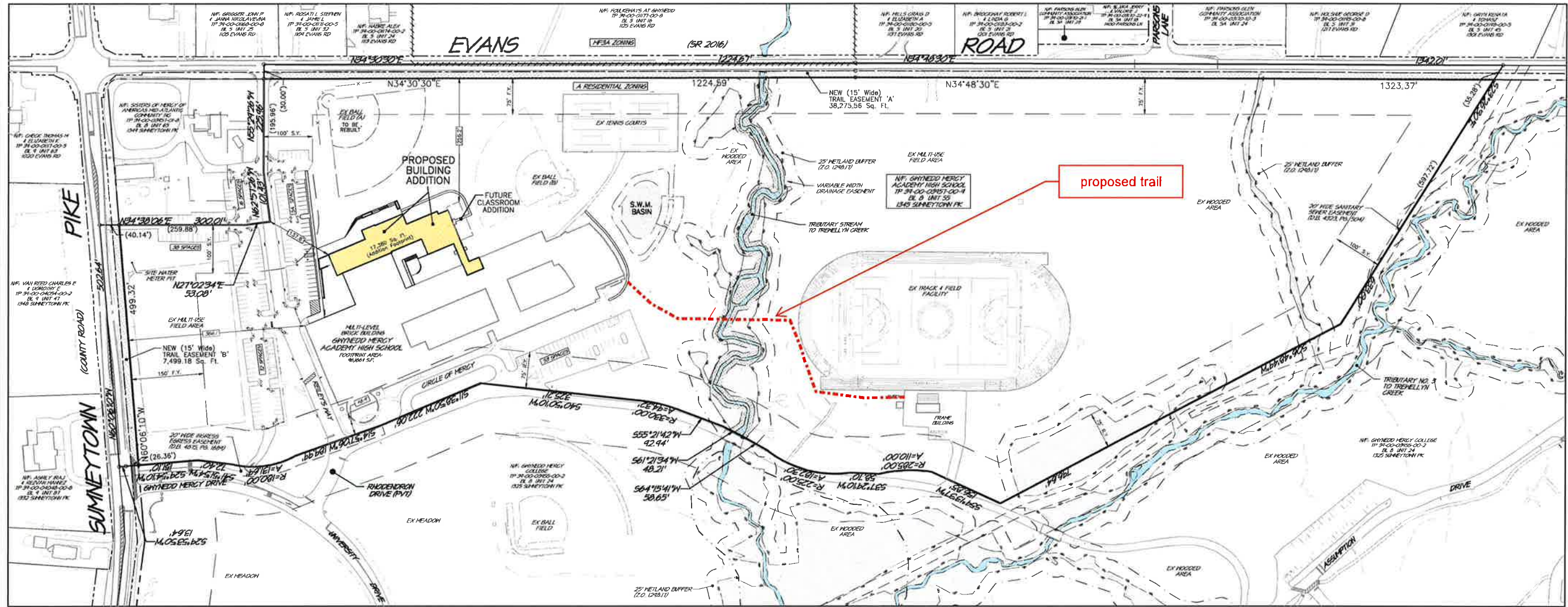
UPI # 39-00-03957-00-9

Sisters of Mercy of Americas,
Mid-Atlantic Community, Inc.,
a Missouri Non-Profit Corporation

TO

Gwynedd Mercy Academy High School,
a PA Non-Profit Corporation

Security Abstract of PA, Inc.
1592 Sumneytown Pike
Lansdale, PA 19446



PLAN LEGEND

- Red Boundary Line
- Right-of-Way Line
- Right-of-Way Centerline
- Zoning District Boundary
- Zone A' Flood Limit (See note 5)
- Metres Link (See note 4)

CAMPUS ACCESS SIGHT DISTANCES:

Posted Speed Limit: 35 MPH
Summerville Pike: 500± Ft. (Left)
325± Ft. (Right)

Posted Speed Limit: 25 MPH
Evans Road: 343± Ft. (Left)
285± Ft. (Right)

Existing field measured sight distances.

ZONING and SITE DATA SCHEDULE				
Zoning District: A - Residential District				
Item	Section	Requirement	PROPOSED Site	
Permitted Use	1237.02(b)	EDUCATIONAL USE	EDUCATIONAL USE	
Min. Lot Area	1237.02(b)	33 Acres	42.0839 Acres	
Min. Lot Width	1237.03(a)	200 Ft.	3200 Ft.	
Front Yard	1237.04(a)	75 Ft.	366 Ft. / 256.2 Ft.	
Side Yard	1237.04(a)(2)	100 Ft. (Non-Residential)	137.8 Ft.	
Rear Yard	1237.04(c)	75 Ft.	46.9 Ft.	[3]
Highway Setback	1238.12	130 Ft.	366 Ft.	
Rdg. Coverage (Max)	1237.03(a)(2)	30 %	6.42 %	
Lot Impervious (Max)	1237.03(a)(2)	45 % (Non-Residential)	23.62 %	
Body Height (Max)	1237.06(a)	45 Ft. / 2.5 Stories	25.64 Ft.	[4]
Accty. Height (Max)	1237.06(a)	34 Ft. / 3 Story		[4]
Parking Quantity	1237.07	1 Space for every (3) seats for assembly	179 Spaces (On-Site) 54 Spaces (Shared)	
	1237.07	184 Spaces Req'd [5]	233 Spaces TOTAL	

- Educational Use permitted by SPECIAL EXCEPTION subject to area requirements.
- In every single-family residential district, any lot that abuts a highway shall have the setback requirement for that respective yard doubled in size. For purposes of this section, the following roads shall be considered highways: Summerville Pike.
- Existing Non-Conforming Item.
- Building height is outside grade to roof peak.
- Assembly seating capacity is 550 seats / 3 spaces per seat.
Required parking capacity of 184 spaces.

LOT IMPERVIOUS SCHEDULE:				
BASED ON PROJECT NET AREA: 42.0839 Acres				
	Existing	Demolish:	New:	Total:
Buildings:	2.29 Ac. (3.44%)	-0.04 Ac.	+0.45 Ac.	= 2.70 Acres (6.42%)
Asphalt Paving:	2.70 Ac.	-0.52 Ac.	+0.34 Ac.	= 2.52 Acres
Courts & Track Area:	4.00 Ac.	-0.00 Ac.	+0.00 Ac.	= 4.00 Acres
Conc. & Hardscape:	0.36 Ac.	-0.04 Ac.	+0.39 Ac.	= 0.70 Acres
TOTAL:	9.37 Ac. (22.25%)	-0.60 Ac.	+1.17 Ac.	= 9.94 Acres (23.62%)

LAND DEVELOPMENT APPROVAL:

This application received Final Plan Approval by the Board of Supervisors at their regular meeting held on May 9, 2023. Project shall be in conformance with all conditions noted in Resolution No. #23-11 (app #22-07 LD).

- WAIVERS and DEFERRALS:**
- The following WAIVERS are GRANTED per Final Plan Approval:
- Section 1230.19(b): Relief to submit a preliminary/final land development plan application as opposed to the need for a two-step process.
 - Section 1230.37(c)(4)(e): Requiring curbing and the construction and dedication of occasional right-of-way beyond the existing legal right-of-way for major roadways.
 - Section 1230.41(f): Requiring street trees along Summerville Pike and Evans Road.
 - Section 1230.41(g): Conditioned upon revised Landscape Plan (Exhibit A).
 - Section 1230.41(h): Requiring parking areas with greater than 10 vehicles, shall have a landscape strip of at least 10 ft in width & a minimum of 10% of any parking area in excess of 2,000 S.F. shall be devoted to landscaping.
 - Section 1230.41(i): Conditioned upon revised Landscape Plan (Exhibit A).
 - Section 1230.41(j): Requiring sidewalks along all existing and new streets and pedestrian trails to be a min. width of 8'-ft. except in such locations as may be determined by the Board or Supervisors.
 - Section 1230.41(k): Applies to frontage along Summerville Pike and Evans Road.
 - Section 1241.04(f): Permit relief regarding to install monuments along all property corners.
 - Section 1241.04(f): Relief from the requirement of all storm piping to be a min. of 18" diameter and reinforced concrete material.

GENERAL PLAN NOTES

- EXISTING FEATURES and SURVEY NOTES:**
- The notes and drawings illustrated on this plan were prepared from documents of record and without the benefit of a field report. This plan is not to be used for construction purposes only. All bearings shown reflect rotation from true bearing back to match Pennsylvania's South Zone 2700 State Plane Coordinate Bearing Bank.
 - Topographic and existing features illustrated on this plan were prepared from documents of record and field surveys within the limits of the Proposed Project construction area only. Site elevation data is referenced per note 3 below.
 - This plan was prepared utilizing the following references:
 - a. Tax maps and records as obtained from the Recorder of Deeds online resources.
 - b. Existing Soil classifications and mapping has been pulled from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - c. Vertical datum references provided by the PA State Data Access system (PASDA) - PA/PA7 data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum.
 - d. Aerial imagery used for base plan reference provided by Viewport, Inc. Imagery from flight dates March 03, 2022 and July 04, 2022.
 - e. Plan prepared by Axi Engineering (ltd "Subdivision Plan" prepared for Gwynedd Mercy College dated 05/30/1995, last revised 10/10/1997).
 - f. Plan prepared by Chambers Assoc., Inc. titled "Record Plan" prepared for Sisters of Mercy dated 04/09/1998, last revised 08/12/2021.
 - g. Plan prepared by Woodrow & Assoc., Inc. titled "Minor Subdivision - Record Plan" prepared for Sisters of Mercy dated 05/08/2021 last revised 10/12/2020.
 - h. Plan prepared by Central Point Assoc., Inc. titled "ALTA/NSPS Land Title Survey" prepared for Gwynedd Mercy University, dated 01/21/2021 (no revision).
 - i. FEMA Flood Zone (graphic showing only). This site is located primarily within Flood Plain Zone "X" (areas determined to be outside the 1% annual chance floodplain) and Flood Plain Zone "A" (1% annual chance flood, with average depths of less than 1-ft. or with average depths of less than 1 ft. 6 in. and areas surrounded by areas from 1% annual chance flood) as illustrated on Community Zone Number 2209-12-078, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency.
 - j. All persons signing on this site shall comply with the requirements of Section 5 of PA Act 207 as amended by PA Act 181. State law requires a three (3) business day notice prior to any mapping (does not include scale maps or sketches). Call 8-1-1 or go to www.pa.gov.
 - k. Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no express or implied agreement that subsurface utility conditions exist between colored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
 - l. Subject property is Zoned A - Residential District as noted on the official Zoning Map.
 - m. Right-of-way widths for Summerville Pike and Evans Road taken from recorded plans (see note 3a & 3j above). No additional right-of-way is offered for acquisition at the time of this application.
 - n. Yards Setbacks: Setbacks illustrated are reflective of a recorded plan prepared by Chambers Assoc., Inc. titled "Record Plan" prepared for Sisters of Mercy dated 04/09/1998 last revised 08/12/2021.
- BASE DEVELOPMENT NOTES:**
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
 - Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
 - Contractor to ensure compliance with AIA regulations.
 - Nothing shall be permitted to be set on, placed or planted within the area of any utility or storm water easement except lawns or suitable low ground cover.
 - Construction materials and processes shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
 - All proposed utilities (including but not limited to electric, gas, telephone, cable tv, etc.) shall be installed underground in strict accordance with the operating authority's specifications.
 - Sanitary sewer is conveyed on-site by private system to public conveyance and treatment plant by Upper Gwynedd Township Municipal Authority. Public water supply provided by the North Wales Water Authority (NWAA).
 - The Stormwater Best Management Practices (BMPs) shown on these plans are a basic and preliminary part of the storm water management system of the proposed site located within the Municipality and, as such, are to be practiced and maintained in accordance with the approved Final Plans by the owners, their successors, and assigns of these plans. The Municipality and/or its agents reserve the right and privilege to enter upon these lands from time to time for the inspection of said facilities in order to determine that the structure and design integrity is being maintained by the owner and the proper operation and maintenance are being conducted.
 - The proposed Utilizing Right-of-Way width for Summerville Pike and Evans Road are hereby offered to the agency having jurisdiction at the time of decision.
 - Any damage incurred within the public Right-of-Way as a result of construction is to be repaired at the owner's sole expense.
 - A detailed retaining wall design and supporting structural calculations shall be submitted to the Township Engineer's office for review and approval prior to installation. Design by others.
 - The applicant shall enter into a Stormwater Ownership and Maintenance Agreement with Lower Gwynedd Township for the proposed stormwater facilities on site and must be executed prior to plan recording.
 - All proposed buildings and additions shall be equipped with sprinkler systems per Township Code.
 - For the driveway connection to Evans Road (with a 35 MPH posted speed limit), PennDOT minimum side sight distances of 140 feet to the left and 350 feet to the right shall be maintained at all times.

RECORDER OF DEEDS:

Recorded this _____ day of _____, 2023, in the Office for the recording of deeds, in and for the County of Montgomery, Pennsylvania in Plan Book _____ Page _____.

Recorder of deeds: _____

MCPC No.: 22-0288-001

PROCESSED and REVIEWED: A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipality's Planning Code.

Certified this date: _____

For the Director
Montgomery County Planning Commission

OWNER CERTIFICATION

I, DENISE MARBACH, PRESIDENT of GWYNEDD MERCY ACADEMY HIGH SCHOOL, Owner, hereby acknowledges this Plan to be the official plan of the Map-owners and properties shown thereon situated in the Township of Lower Gwynedd, Montgomery County, Pennsylvania, and desire that this Plan be recorded according to law.

Allies: _____ By: Denise Marbach, President

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

On this _____ day of _____, 2023, before me, _____, Recorder of the County of Montgomery, known to me or satisfactory to me to be the duly authorized representative to do so, executed the within instrument on behalf of the corporation for the purposes therein contained by signing the name of the corporation by herself as President.

N. WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public:
My Commission Expires: _____

BOARD OF SUPERVISORS CERTIFICATE

Approved by the Township Board of Supervisors of the Township of Lower Gwynedd on this _____ day of _____, 2023.

Two Secretary: MIMI CLEASON
Chair: DANIELLE A. DUCKET

PLANNING COMMISSION CERTIFICATE

Recommended for approval by the Planning Commission of the Township of Lower Gwynedd on this _____ day of _____, 2023.

Chair: _____

TOWNSHIP ENGINEER CERTIFICATE

Testified by the Township Engineer of the Township of Lower Gwynedd on this _____ day of _____, 2023.

Township Engineer: _____

ENGINEER'S CERTIFICATION

I, TAMIY P. WOODROW, P.E., do hereby certify that I am a Registered Professional Engineer, licensed in compliance with the laws of the Commonwealth of Pennsylvania, that this plan correctly represents a survey made by myself or under my supervision and that all dimensions and graphic details shown are correct.

Signature: _____ Date: 03/8/25-E

SURVEYOR'S CERTIFICATION

I, GARY A. HILFORD, P.L.S., do hereby certify that I am a Registered Professional Land Surveyor, licensed in compliance with the laws of the Commonwealth of Pennsylvania, that this plan correctly represents a survey made by myself or under my supervision and that all dimensions and graphic details shown are correct.

Signature: _____ Date: SU-033144-E

C.U. Application Exhibit
April 15, 2025

LOT AREA SCHEDULE:			
Block B Unit 55:			
Gross Lot Area:	1,929,933.00 Sq. Ft.	(44,305.2 Acres)	
Legal Right-of-Way (Evans):	-42,265.29 Sq. Ft.	(0.9703 Acres)	
Legal Right-of-Way (Summerville):	-12,540.04 Sq. Ft.	(0.2879 Acres)	
Ultimate Right-of-Way (Evans):	-24,454.32 Sq. Ft.	(0.5619 Acres)	
Ultimate Right-of-Way (Summerville):	-7,499.18 Sq. Ft.	(0.1722 Acres)	
NET Lot Area:	1,833,174.18 Sq. Ft.	(42.0839 Acres)	
RECORDING NOTE:			
Plan sheets 1, 2 and 15 to be recorded with the Montgomery County Recorder of Deeds.			



Parcel Information:

GWYNEDD MERCY ACADEMY HIGH SCHOOL
39-00-03957-00-9
Block B Unit 55
0.8 - 0.225 Pg. 1394

Area: 44,305.2 Acres
Legal: 12,540.04 Acres
Gross: 1,929,933.00 Acres
NET Area: 42,083.9 Acres

APPLICANT:

GWYNEDD MERCY ACADEMY HIGH SCHOOL
c/o Denise Marbach
1345 Summerville Pike
Gwynedd Valley, PA 19437

Scale in Feet (1" = 100')

0' 100'

Scale in Feet (1" = 100')

0' 100'

Scale in Feet (1" = 100')

0' 100'

PRELIMINARY / FINAL PLAN

RECORD PLAN - LAND DEVELOPMENT

GWYNEDD MERCY ACADEMY HIGH SCHOOL

LOWER Gwynedd Township - Montgomery County - Pennsylvania

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS

1128 North Bethlehem Pike / Suite 500 - Lower Gwynedd - PA 19202
Phone: (215) 842-5648 Fax: (215) 842-5649 Web: www.woodrowinc.com

2 of **18**



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF WATERWAYS ENGINEERING AND WETLANDS

CHAPTER 105 WATER OBSTRUCTIONS AND ENCROACHMENT GENERAL PERMIT REGISTRATION

SECTION A. APPLICANT INFORMATION					
Applicant's Name / Client Gwynedd Mercy Academy H.S.I		DEP Client ID# (if known)		Employer ID# (EIN) 23-1740598	
Client Information - Please select Client Type / Code from drop down box under the correct entity shown below. (or may be written in) ↓					
Government		Non-Government		Individual	
		OTHER Other (Non-Govt) Nonprofit Corporation			
Mailing Address 1345 Sumneytown Pike, P.O. Box 902			City Lower Gwyedd		State PA
					ZIP + 4 19002
Contact Person – Last Name Marbach		First Denise	MI	Suffix	Telephone (215) 646-8815
Email Address dmarbach@gmahs.org					
SECTION B. CONSULTANT INFORMATION (If applicable) <input type="checkbox"/> N/A					
Contact Person – Last Name Mease		First Jason	MI J	Suffix	Consultants Title PWS
				Consulting Firm Valley Environmental Services, Inc.	
Mailing Address 3282 Hope Drive			City Emmaus		State PA
					ZIP + 4 18049
Telephone (610-) 762-0990		Fax () N/A		Employer ID# (EIN) 81-4912216	
Email jason@valenv.com					
SECTION C. PROJECT INFORMATION					
Project / Site Name Gwynedd Mercy Academy High School				DEP Site ID# (if known or leave blank)	
Client Relationship - Please select Site-to-Client Relationship / Code from drop down box to the right. (or may be written in) →				Double-click on shaded area below to select correct Site-to-Client Relationship / Code ↓ OWN Owner	
County Montgomery		Municipality <input type="checkbox"/> City <input type="checkbox"/> Borough <input checked="" type="checkbox"/> Township Lower Gwynedd		Note: Municipal & County Notification is Required	
Site Location / Address 1345 Sumneytown Pike			City Lower Gwynedd		State PA
					ZIP + 4 19002
Latitude: 40.197781 Longitude: -75.241453					

SECTION D. REGISTRATION CHECKLIST AND REQUIREMENTS

PLEASE PLACE AN "X" NEXT TO EACH ITEM (1-11) TO ENSURE IT IS COMPLETED AND/OR PROVIDED. Unless otherwise specified, ALL ITEMS are required to ensure a complete Registration package. See GP Registration Instructions (3150-PM-BWEW0500) for additional details.

1. **Registering a General Permit (GP):** Check all GPs which you are registering. Enter project details to calculate applicable fee. See Chapter 105 Fee Calculation Worksheet (3150-PM-BWEW0553) for additional details

APPLICANT ENTRY				DEP ONLY
Federal, State, county or municipal agency or municipal authority:			<input type="checkbox"/> EXEMPT from fees	<input type="checkbox"/>
<input type="checkbox"/> GP-1	Fish Habitat Enhancement Structures	Per Project	\$ 50 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-2	Small Docks and Boat Launching Ramps	Per Dock / Ramp _____ (#) x	\$ 175 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-3	Bank Rehabilitation, Bank Protection and Gravel Bar Removal	Per Project _____ (#) x	\$ 250 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-4	Intake and Outfall Structures	Per Structure _____ (#) x	\$ 200 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-5	Utility Line Stream Crossings	Utility Lines _____ (#) x Per Crossing _____ (#) x	\$ 250 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-6	Agricultural Crossings and Ramps	Per Crossing / Ramp _____ (#) x	\$ 50 = \$ _____	<input type="checkbox"/>
<input checked="" type="checkbox"/> GP-7	Minor Road Crossings	Per Crossing <u>1</u> (#) x	\$ 350 = \$ <u>350</u>	<input checked="" type="checkbox"/>
<input type="checkbox"/> GP-8	Temporary Road Crossings	Per Crossing _____ (#) x	\$ 175 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-9	Agricultural Activities	Per Project	\$ 50 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-10	Abandoned Mine Reclamation	Per Project	\$ 500 = \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-11	Maintenance, Testing, Repair, Rehabilitation, or Replacement of Water Obstructions and Encroachments		\$ 750 = \$ _____	<input type="checkbox"/>
	<input type="checkbox"/> Temporary Disturbance (\$400/0.1ac)	_____ acres x	\$4,000 = + \$ _____	<input type="checkbox"/>
	<input type="checkbox"/> Permanent Disturbance (\$800/0.1ac)	_____ acres x	\$8,000 = + \$ _____	<input type="checkbox"/>
GP-11 subtotal			= \$ _____	<input type="checkbox"/>
<input type="checkbox"/> GP-15	Private Residential Construction in Wetlands		\$ 750 = \$ _____	<input type="checkbox"/>
	<input type="checkbox"/> Temporary Disturbance (\$400/0.1ac)	_____ acres x	\$4,000 = + \$ _____	<input type="checkbox"/>
	<input type="checkbox"/> Permanent Disturbance (\$800/0.1ac)	_____ acres x	\$8,000 = + \$ _____	<input type="checkbox"/>
GP-15 subtotal			= \$ <u>350</u>	<input checked="" type="checkbox"/>
TOTAL OF ALL GP FEES			= \$ <u>350</u>	<input checked="" type="checkbox"/>

APPLICANT ENTRY		DEP ONLY
2. Location Map with project site marked: (Note: PNDI Search Receipt Map is sufficient)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Color Photographs showing proposed activity and resource area, as recommended in the instructions.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4. Project Description including proposed impacts and potential coordination with the Federal Energy Regulatory Commission (FERC) or a separate/individual 401 Water Quality Certification.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5. Site Plan & Other Drawings showing all proposed project activities. Sample Drawings are available. NOTE - For registrations of a GP-7 or GP-11, some activities for use by the general public may require a Professional Engineer Seal and Certification. See GP Registration Instructions for specific details.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Chapter 102 (Erosion and Sediment Control): Select ONE option to indicate how compliance is being obtained. See GP Registration Instructions for more information.		
a. For GP-9: Has a Conservation Plan been approved by the county conservation district?	<input type="checkbox"/>	<input type="checkbox"/>
b. For GP-11: The E&S Plan is attached.	<input type="checkbox"/>	<input type="checkbox"/>
c. For Oil & Gas activities: The E&S Plan is attached OR a separate E&S permit (ESCGP) has been submitted.	<input type="checkbox"/>	<input type="checkbox"/>
d. All Other GPs: Will obtain an approved E&S Plan prior to commencement of construction.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
7. Changes in Waterway Opening and Registration of Multiple Structures: Is this a GP-11? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide the information below:		
a. Bridge Or Culvert Replacement Projects or Projects That Change the Waterway Opening form (3150-PM-BWEW0552B) or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>
b. Registrations of multiple structures: Project Inventory form (3150-PM-BWEW0552A) or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>
8. Pennsylvania Natural Diversity Inventory (PNDI): PNDI Search Receipt AND clearance letters. NOTE - Concurrent review does not apply to Chapter 105 GPs. See GP Registration Instructions for more information.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
9. Wetlands: Are wetlands present at the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide the information below:		
a. A wetland delineation report following the method as detailed in the GP Registration Instructions .	<input type="checkbox"/>	<input type="checkbox"/>
b. Method to provide Compensatory Mitigation for impacts which require compensatory mitigation , as detailed in the GP Registration Instructions .	<input type="checkbox"/>	<input type="checkbox"/>
10. Proposed Impacts: General Permit Aquatic Resource Impact Table form (3950-PM-BWEW0560) or equivalent.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
11. Submerged Lands of the Commonwealth: In certain situations, a Submerged Lands License Agreement (SLLA) is required, but not all waters are Submerged Lands of the Commonwealth. The final determination is made by DEP. See GP Registration Instructions for more information. Select ONE option to indicate how an SLLA is being addressed.		
a. I believe an SLLA is required and have attached plans including the facility area information. OR	<input type="checkbox"/>	<input type="checkbox"/>
b. I believe an SLLA is not required or I am unsure.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

SECTION E. CERTIFICATION

I certify under penalty of law that the information provided in this permit registration is true and correct to the best of my knowledge and information and that I possess the authority to undertake the proposed action. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. (If any of the information and/or plans is found to be in error, falsified, and/or incomplete, this authorization/verification may be subject to modification, suspension, or revocation in accordance with applicable regulations.) I further certify that this project complies with all the conditions of the general permit.

Denise C. Mairbach
Applicant / Owner Signature
DENISE Mairbach
Typed / Printed Name

Date 8/27/24

This General Permit shall not be effective until the owner has had their E&S Plan reviewed by the appropriate Regional Office or District, and, where required, obtained an SLLA from DEP.

Please provide a copy of the Registration form to the Municipality & County in which the work will be performed.
Proof of receipt is not required to be provided to DEP.

**THIS ACKNOWLEDGED COPY OF THIS GENERAL PERMIT REGISTRATION PACKAGE AND THE E&S PLAN
MUST BE AVAILABLE AT THE PROJECT SITE DURING CONSTRUCTION.**

 **STOP! THE REMAINDER OF THIS FORM WILL BE COMPLETED BY DEP STAFF.** 

SECTION F. DECISION / DISPOSITION – COMPLETED BY DEP

Decision Review:

Andy Flambert
DEP / District Reviewer Signature
Andy Flambert
Reviewer's Typed / Printed Name

GP 074601224-005
GP _____
GP _____

Disposition Status:

☒ **ACKNOWLEDGED**

SLLA Required

Date 03/05/2025

☐ Yes Attached ☒ No

☐ **ELIGIBILITY DEFICIENCY ***

Date _____

☐ **EXTENSION REQUEST ***

Date _____

☐ **WITHDRAWN**

Date _____

Comments

* If the GP registration information is incomplete/deficient a copy of this registration form and requested additional information must be re-submitted within 60 calendar days unless extended by the extension date listed above. See [GP Registration Instructions](#) for more information

FEDERAL AUTHORIZATION:

☒ As proposed, this General Permit does not require Federal Authorization.

☒ Non-reporting PASPGP verification / authorization attached.

☐ Reporting * – A copy of this General Permit registration package has been sent to the U.S. Army Corps of Engineers. Separate federal authorization may be required.

* If the reporting box is checked you do not have Federal authorization for this project and such authorization may be required prior to starting your project. In accordance with procedures established with the U.S. Army Corps of Engineers, you will be contacted directly by the Corps regarding Federal Authorization.

DEP USE ONLY	
US Army Corps of Engineers impacts for PASPGP determination	TOTAL linear feet of stream impacts
	TOTAL acres of waters impacted

PENNSYLVANIA STATE PROGRAMMATIC GENERAL PERMIT – 6
(PASPGP-6)

July 1, 2021

Please note: the full text of the PASPGP-6 may be viewed on the Baltimore District web site at <http://www.nab.usace.army.mil/Missions/Regulatory/PermitTypesandProcess.aspx> or by calling the Corps at 814-235-0570

Permittee: Gwynedd Mercy Academy High School

Date of PASPGP-6 Verification: 03/05/2024

State Authorization(s): GP074601224-005

Corps District:

☐

Baltimore District

U.S. Army Corps of Engineers State College Field Office
1631 South Atherton Street
Suite 101
State College, Pennsylvania 16801-6260
Email: NAB-Regulatory@usace.army.mil

☒

Philadelphia District

U.S. Army Corps of Engineers
Wanamaker Building
100 Penn Square East Regulatory Branch
Philadelphia, Pennsylvania 19107-3390
Email: PhiladelphiaDistrictRegulatory@usace.army.mil

☐

Pittsburgh District

U.S. Army Corps of Engineers, Regulatory Branch
William S. Moorhead Federal Building, 20th floor
1000 Liberty Avenue
Pittsburgh, Pennsylvania 15222-4186
Email: Regulatory.Permits@usace.army.mil

It has been determined that your proposed project, which includes the discharge of dredged and/or fill material and/or the placement of structures into waters of the United States, including wetlands, qualifies for federal authorization under the provisions of Section 404 of the Clean Water Act and /or Section 10 of the River and Harbor Act of 1899, under the terms and conditions of the PASPGP-6.

All activities authorized under PASPGP-6 must comply with all conditions of the authorization, including General, Procedural, and Special Conditions. Failure to comply with all the conditions of the authorization, including project special conditions, will constitute a permit violation and may be subject to criminal, civil, or administrative penalties, and /or restoration.

The authorized activity must be performed in compliance with the following General Conditions to be authorized under PASPGP-6:

General Conditions:

1. Permit Conditions: The permittee shall conduct all work and activities in waters of the United States, including jurisdictional wetlands, in strict compliance with the approved authorization/verification including all final maps, plans, profiles, and design specifications.
2. 401 State Water Quality Certification (SWQC) Conditions: The permittee shall comply with the following conditions unless a project specific SWQC is required as identified below:
 - a. Prior to beginning any activity authorized by the Corps under PASPGP-6, the applicant shall obtain from the Department all necessary environmental permits, authorizations or approvals, and submit to the Department environmental assessments and other information necessary to obtain the permits and approvals, as required under state law, including The Clean Streams Law (35 P.S. §§ 691.1—691.1001), the Dam Safety and Encroachments Act (32 P.S. §§ 693.1—693.27), the Surface Mining Conservation and Reclamation Act (52 P.S. §§ 1396.1—1396.19b), the Noncoal Surface Mining Conservation and Reclamation Act (52 P.S. §§ 3301—3326), the Bituminous Mine Subsidence and Land Conservation Act (52 P.S. §§ 1406.1—1406.21), the Coal Refuse Disposal Control Act (52 P.S. §§ 30.51—30.66), the Solid Waste Management Act (35 P.S. §§ 6018.101—6018.1003), the Hazardous Sites Cleanup Act (35 P.S. §§ 6020.101—6020.1305), the Land Recycling and Environmental Remediation Standards Act (35 P.S. §§ 6026.101—6026.908), 58 Pa.C.S. §§ 3201—3274 (related to development), the Air Pollution Control Act (35 P.S. §§ 4001—4015), the Storage Tank and Spill Prevention Act (35 P.S. §§ 6021.101—6021.2104) and the regulations promulgated thereunder, including 25 Pa. Code Chapters 16, 71, 77, 78, 78a, 86—91, 92a, 93, 95, 96, 102, 105, 106, 127, 245 and 260a—299.
 - b. Fill material may not contain any wastes as defined in the Solid Waste Management Act.
 - c. Applicants and projects eligible for the PASPGP-6 must obtain all state permits or approvals, or both, necessary to ensure that the project meets the state's applicable water quality standards, including a project-specific SWQC.

Note: As part of PADEP's issuance of 401 SWQC for PASPGP-6 on February 12, 2021, the following was included to clarify the meaning of this condition:

This 401 SWQC is only available for projects that do not require any federal authorization other than authorization from the Corps under Section 404 of the Act or Section 10 of the Rivers and Harbors Act of 1899. Applicants seeking authorization for activities not eligible for coverage under PASPGP-6, or for activities that require another federal authorization (such as an interstate natural gas pipeline, a gas storage field or a nuclear or hydroelectric project requiring authorization by another federal agency), must submit a request to the Department for a project-specific SWQC. The scope of the issuance of this SWQC is related only to the scope and applicability of the proposed PASPGP-6. Any activity or project requiring the Department to

issue 401 SWQC that is beyond the scope of the proposed PASPGP-6 or other programmatically issued SWQC (e.g. Nationwide Permits) will require the applicant to obtain a project-specific SWQC from the Department. This would include any activity or project requiring a SWQC associated with an authorization, permit or license issued by a federal agency, such as Federal Energy Regulatory Commission or Nuclear Regulatory Commission. Such activities or projects include, but are not limited to, an interstate natural gas pipeline, a gas storage field or a nuclear or hydroelectric project.

3. Terms and Conditions Related to Coastal Zone Management Act (CZMA) Certification: For those projects located within Pennsylvania's Coastal Zones, Non-Reporting Activities have General CZMA consistency determination and Reporting Activities must obtain individual CZMA consistency determination (see General Condition 30(b)).
4. Aquatic Life Movements: No activity may substantially disrupt the necessary life cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. All permanent and temporary crossings of waterbodies shall be suitably culverted, bridged, or otherwise designed and constructed to maintain low flows to sustain the movement of those aquatic species. If a bottomless crossing cannot be used, then culverts should be designed, constructed, and appropriately depressed, if possible, below the stream invert to minimize adverse effects to aquatic life movements.
5. Threatened and Endangered Species: By signing the Pennsylvania Natural Diversity Inventory (PNDI) receipt, the permittee has agreed to comply with all avoidance measures identified by the PNDI receipt. The applicant may also agree in writing to comply with all avoidance measures identified in U.S. Fish and Wildlife Service (USFWS) correspondence, including IPaC, as part of the application. To ensure compliance with the Endangered Species Act (ESA), those avoidance measures associated with federally listed, threatened, or endangered species are a condition of the PASPGP-6 verification, unless modified by the Corps.

If an activity is verified under the PASPGP-6, and a federally listed, threatened, or endangered species, or proposed species, is subsequently found to be present, all work must cease, and the Corps and USFWS (or National Marine Fisheries Service (NMFS)) must be notified by telephone immediately (contact information below). The PASPGP-6 verification is automatically suspended without additional notification to the permittee and will not be re-issued until consultation pursuant to Section 7 of the ESA is concluded and adverse effects to federally listed, threatened, endangered, and proposed species are avoided, or incidental take authorization issued.

Furthermore, persons have an independent responsibility under Section 9 of the ESA to avoid any activity that could result in the "take" of a federally listed species.

USFWS:

Pennsylvania Field Office
110 Radnor Rd; Suite 101
State College, PA 16801
office phone: 814 234-4090
fax: 814-234-0748 or 814 206-7452

NMFS:

Ms. Jennifer Anderson
Assistant Regional Administrator
Protected Resources Division NOAA Fisheries
55 Greater Republic Drive
Gloucester, Massachusetts 01930

6. Spawning Areas: The permittee shall comply with all time-of-year-restrictions (see below) associated with spawning areas as set forth by the Pennsylvania Fish and Boat Commission (PFBC) or other designated agency. Discharges or structures in spawning or nursery areas shall not occur during spawning seasons unless written approval is obtained from the PFBC or another designated agency. In addition, work in areas used for other time sensitive life span activities of fish and wildlife (such as hibernation or migration) may necessitate the use of seasonal restrictions for avoidance of adverse impacts to vulnerable species. Impacts to these areas shall be avoided or minimized to the maximum extent practicable during all other times of the year.

Wild Trout	October 1 - December 31
Class A Wild Trout	October 1 - April 1

List of Trout Streams found at:

<https://www.fishandboat.com/Fish/PennsylvaniaFishes/Trout/Pages/TroutWaterClassification.aspx>.

7. Shellfish Production: No discharge of dredged and/or fill material and/or the placement of structures may occur in areas of concentrated shellfish production, unless the discharge is directly related to an authorized shellfish harvesting activity.
8. Adverse Effects From Impoundment: If the regulated activity creates an impoundment of water, the adverse effects on the aquatic system caused by the accelerated passage of water and/or the restriction of its flow, including impacts to wetlands, shall be minimized to the maximum extent practicable.
9. Management of High Flows: To the maximum extent practicable, the preconstruction course, condition, capacity, and location of open waters must be maintained for each activity, including stream channelization, storm water management activities, and temporary and permanent road crossings, except as provided below. The activity must be constructed to withstand expected high flows. The activity must not restrict or impede the passage of normal or high flows unless the primary purpose of the activity is to impound water or manage high flows. The activity may alter the pre-construction course, condition, capacity,

and location of open waters if it benefits the aquatic environment (e.g., stream restoration or relocation activities).

10. Erosion and Sediment Controls: Appropriate soil erosion and sediment controls, in accordance with state regulations, must be used and maintained in effective operating condition during construction, and all exposed soil and other fills, as well as any work below the ordinary high water mark or high tide line, must be permanently stabilized at the earliest practicable date. Permittees are encouraged to perform work within waters of the United States, including jurisdictional wetlands, during periods of low-flow or no-flow, or during low tides.
11. Suitable Material: No activities, including discharges of dredged and/or fill material or the placement of structures, may consist of unsuitable material (i.e., asphalt, trash, debris, car bodies, etc.). No material discharged shall contain toxic pollutants in amounts that would violate the effluent limitation standards of § 307 of the Clean Water Act (CWA).
12. Temporary Fill and Structures: Temporary fill (i.e., access roads and cofferdams) and structures in waters and/or wetlands authorized by PASPGP-6 shall be properly constructed and stabilized during use to prevent erosion and accretion. Temporary fill in wetlands shall be placed on geotextile fabric laid on existing wetland grade, unless such requirement is specifically waived by the Corps. Whenever possible, rubber or wooden mats should be used for equipment access through wetlands to the project area. Temporary fills and structures shall be removed, in their entirety, to an upland site, and suitably contained to prevent erosion and transport to a waterway or wetland. Temporarily impacted areas shall be restored to their preconstruction contours, elevations, and hydrology, and revegetated with a wetland seed mix that contains non-invasive, native species, to the maximum extent practicable. Unless approved by the Corps, the restoration work must be completed within 30 days of the date the temporary fill/structure is no longer needed.
13. Equipment Working in Wetlands: Heavy equipment working in wetlands or mudflats must be placed on mats, or other measures must be taken to minimize soil disturbance.
14. Installation and Maintenance: Any regulated structure or fill authorized by PASPGP-6 shall be properly installed and maintained to ensure public safety.
15. PASPGP-6 Authorization:
 - a. PASPGP-6 expires June 30, 2026, unless suspended or revoked.
 - b. Verifications of PASPGP-6 expire June 30, 2026, unless the PASPGP-6 permit is suspended, revoked, or the PADEP authorization expires, whichever date occurs sooner. Activities authorized under PASPGP-6 that have commenced construction or are under contract to commence construction will remain authorized provided the activity is completed within 12 month of the date of the PASPGP-6 expiration, modification, or revocation; or until the expiration date of the project specific verification, whichever is sooner.

16. One-Time Use: A PASPGP-6 verification is valid to construct the project, or perform the activity, one time only, except for PASPGP-6 verifications specifically issued for reoccurring maintenance activities.
17. Water Supply Intakes: No regulated activity may occur in the proximity of a public water supply intake and adversely impact the public water supply. In order to minimize the effects of intakes on anadromous fish eggs and larvae, and oyster larvae, intake structures should be equipped with screening (with mesh size no larger than 2 mm) of wedge wire or another material of equal or better performance. Where feasible, intakes should be located away from spawning or nursery grounds, or to minimize the impingement on, or entrainment of, eggs or larvae. In addition, intake velocities should not exceed 0.5 ft/sec.
18. Historic Properties: For all activities verified under a PASPGP-6, upon the unanticipated discovery of any previously unknown historic properties (historic or archeological), all work must cease immediately, and the permittee must notify the State Historic Preservation Officer (SHPO) and the Corps. The Corps will contact the tribes with whom they routinely consult, within 24 hours in accordance with each District's tribal consultation process. PASPGP-6 may be re-verified, and special conditions added if necessary, after an effect's determination on historic properties and/or tribal resources is made, in consultation with the SHPO, the tribes and other interested parties. The PASPGP-6 verification may be modified and/or rescinded for the specific activity if an adverse effect on the historic property cannot be avoided, minimized, or mitigated.
19. Tribal Rights: No activity or its operation may impair reserved tribal rights, including, but not limited to, reserved water rights and treaty fishing and hunting rights.
20. Corps Civil Works Projects: The PASPGP-6 does not authorize any work which will interfere with an existing or proposed Corps Civil Works project, or any Corps-owned or managed property or easement (i.e., flood control projects, dams, reservoirs, and navigation projects), unless specifically approved by the Corps in writing. Pursuant to 33 U.S.C 408, a review by, or permission from the Corps is required for activities that will alter or temporarily or permanently occupy or use a Corps federally authorized Civil Works project. Any activity that requires Section 408 permission and/or review is not authorized by PASPGP-6 until the appropriate Corps office issues the Section 408 permission or completes its review to alter, occupy, or use the Corps Civil Works project, and Corps issues a written PASPGP-6 verification.
21. Navigation: No activity verified under PASPGP-6 may cause more than minimal adverse effect on navigation. No attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to the activity authorized herein. In addition, activities that require temporary causeways that prohibit continued navigational use of a waterway (i.e., temporary causeways extending greater than $\frac{3}{4}$ the width across the waterway) shall be removed in their entirety upon completion of their use. Any safety lights and signals prescribed by the U.S. Coast Guard (USCG), through regulation or otherwise, must be installed and maintained at the permittee's expense on authorized facilities in navigable waters of the United States. The permittee understands and agrees that, if further operations by the United States require the removal, relocation, or other alteration, of the

structure or work herein authorized, or if, in the opinion of the Secretary of the Army or an authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

22. Inspections: The permittee shall allow a District Engineer or an authorized representative(s) to make periodic inspections at any time deemed necessary in order to ensure that the work is being performed in accordance with all the terms and conditions of PASPGP-6. The District Engineer may also require post-construction engineering drawings (as-built plans) for completed work.
23. Modifications of Prior Verifications: Any proposed modification of a previously verified Single and Complete project that results in a change in the verified impact to, or use of waters of the United States, including jurisdictional wetlands, must be approved by PADEP, or the Corps if applicable. Corps written approval is required if the prior verification was reviewed by the Corps, or if the proposed modification is a Reporting Activity under PASPGP-6. Project modifications that cause a Single and Complete Project to exceed 0.5 acre of loss of waters of the United States, including jurisdictional wetlands (except those identified in Part II A.2. a. and b.), or greater than 1,000 linear feet of permanent jurisdictional stream loss (except those identified in Part II A.2. a and b.), are not eligible for PASPGP-6 and will be forwarded to the Corps for review under an alternative permit review procedure.
24. Recorded Conservation Instruments: As per Part III.D.27 and Part III.E.8 of this permit, proposed Draft Conservation Instruments may be submitted by the applicant as part of the permit application package for review and approval. When such proposed Conservation Instruments are submitted by the applicant, proof of the recorded deed restriction, conservation easement, or deed restricted open space area shall be forwarded to the appropriate Corps District and appropriate PADEP offices, prior to the initiation of any permitted work, unless specifically waived by the Corps in writing. Conservation Instrument templates can be found at:
<http://www.nab.usace.army.mil/Missions/Regulatory/PermitTypesandProcess.aspx>
25. Property Rights: PASPGP-6 does not obviate the need to obtain other federal, state, or local authorizations required by law, nor does the permit grant any property rights or exclusive privileges or authorize any injury to the property or rights of others.
26. Navigable Waters of the United States (Section 10 Waters):

In addition to the other general conditions, the following conditions are applicable for activities in the eligible navigable waters of the United States identified in Appendix B:

- a. For aerial transmission lines, the following minimum clearances are required for aerial electric power transmission lines crossing navigable waters of the United States. These clearances are related to the clearances over the navigable channel provided by the

existing fixed bridges, or the clearances which would be required by the USCG for new fixed bridges, in the vicinity of the proposed aerial transmission line. These clearances are based on the low point of the line under conditions producing the greatest sag, taking into consideration temperature, load, wind, length of span, and type of supports as outlined in the National Electric Safety Code:

Nominal System Voltage (kV)	Minimum Additional Clearance (ft.) Above Clearance Required for Bridges
115 and below	20
138	22
161	24
230	26
350	30
500	35
700	42
750-765	45

- i. Clearances for communication lines, stream gauging cables, ferry cables, and other aerial crossings must be a minimum of ten feet above clearances required for bridges, unless specifically authorized otherwise by the District Engineer.
 - ii. Corps regulation ER 1110-2-4401 prescribes minimum vertical clearances for power communication lines over Corps lake projects. In instances where both regulation and ER 1110-2-4401 apply, the greater minimum clearance is required.
- b. Encasement: The top of any cable, encasement, or pipeline shall be located a minimum of three feet below the existing bottom elevation of the streambed and shall be backfilled with suitable heavy material to the preconstruction bottom elevation. Where the cable, encasement, or pipeline is placed in rock, a minimum depth of one foot from the lowest point in the natural contour of the streambed shall be maintained. When crossing a maintained navigation channel, the requirements are a minimum of eight feet between the top of the cable, encasement, or pipeline and the authorized depth of the navigation channel. For maintained navigational channels, where the utility line is placed in rock, a minimum depth of two feet from the authorized depth of the navigation channel shall be maintained.
- c. As-Built Drawings: Within 60 days of completing an activity that involves an aerial transmission line, submerged cable, or submerged pipeline across a navigable water of the United States (i.e., Section 10 waters), the permittee shall furnish the Corps and National Oceanic and Atmospheric Administration, Nautical Data Branch, N/CS26, Station 7317, 1315 East-West Highway, Silver Spring, Maryland, 20910 with professional, certified as-built drawings, to scale, with control (i.e., latitude/longitude, state plane coordinates), depicting the alignment and minimum clearance of the aerial wires above the mean high water line at the time of survey or depicting the elevations and alignment of the buried cable or pipeline across the navigable waterway.

d. Aids to Navigation: The permittee must prepare and provide for USCG approval, a Private Aids to Navigation Application (CG-2554). The application can be found at: https://media.defense.gov/2017/Nov/20/2001846135/-1/-1/0/CG_2554.pdf. The completed application must be sent to the appropriate USCG office as indicated below:

- i. Baltimore/Philadelphia Districts: Commander Fifth Coast Guard District, 431 Crawford Street, Room 100, Portsmouth, VA 23704-5504, Attn: Mr. Matthew Creelman; by email to Matthew.K.Creelman2@uscg.mil; or by FAX to (757) 398-6303.
- ii. Pittsburgh District: Eighth Coast Guard District, Sector Ohio Valley, USCGC Osage, 300 McKown Ln, Sewickley, PA 15143; phone (412) 741-1180

Within 30 days of the date of receipt of the USCG approval, the permittee must provide a copy to the appropriate Corps district office.

27. PADEP Waiver: If the Corps determines a specific activity, which is eligible for a PADEP Non-reporting Waiver, has a significant adverse impact on life, property or important aquatic resources, the Corps may require the owner to modify the activity to eliminate the adverse condition or to obtain a Corps Individual Permit. In accordance with 33 CFR 325.7(a), "The District Engineer may reevaluate the circumstances and conditions of any permit, including regional permits, either on his own motion, at the request of the permittee, or a third party, or as the result of periodic progress inspections, and initiate action to modify, suspend, or revoke a permit as may be made necessary by considerations of the public interest. In the case of regional permits, this reevaluation may cover individual activities, categories of activities, or geographic areas."
28. Corps Water Releases: For projects located downstream of a Corps dam, the permittee should contact the appropriate Corps, Area Engineer Office, to obtain information on potential water releases and to provide contact information for notification of unscheduled water releases. It is recommended that no in-water work be performed during periods of high-water flow velocities. Any work performed at the project site is at the permittee's own risk.
29. State Authorization: The activity must receive state authorization. For the purpose of this requirement, any one of the following is considered as a state authorization:
 - a. A PADEP Chapter 105 Water Obstruction and Encroachment Permit, including PADEP approved Environmental Assessment pursuant to 25 Pa. Code § 105.15; or
 - b. A PADEP GP issued pursuant to 25 Pa. Code § §105.441-105.449; or
 - c. A PADEP approved Environmental Assessment for activities not otherwise requiring a PADEP permit pursuant to 25 Pa. Code § 105.12; or
 - d. A PADEP Dam Permit, including maintenance or repairs of existing authorized dams, including maintenance dredging; or

- e. A PADEP Emergency Permit issued pursuant to 25 Pa. Code § 105.64; or
 - f. A PADEP permit for the construction of a bridge or culvert which allows for maintenance activities of bridges and culverts; or
 - g. A PADEP Chapter 105 Dam Safety and Encroachment Enforcement Action.
30. Other Authorizations: Additional federal, state, and/or local authorizations or approvals may be required and where applicable must be secured by the applicant, prior to initiating any discharge of dredged and/or fill material, and/or the placement of structures into waters of the United States, including jurisdictional wetlands. These approvals include, but are not limited to:

- a. A project specific 401 SWQC issued by PADEP or considered waived, consistent with Section 401 of the CWA.

PADEP has issued 401 SWQC for activities authorized by PASPGP-6 with conditions. See General Condition 2 for conditions and for identification when a project specific 401 SWQC or a waiver thereof is required. If the permittee cannot comply with all of the conditions of the 401 SWQC previously issued for PASPGP-6, then the permittee must obtain a project specific 401 SWQC or waiver for the proposed discharge in order for the activity to be authorized by PASPGP-6. The Corps or certifying authority may require additional water quality management measures to ensure that the authorized activity does not result in more than minimal degradation of water quality; and

- b. Reporting Activities located within the designated CZM Areas. Require a CZMA consistency determination issued by PADEP or a presumption of concurrence pursuant to Section 307 of the Federal Coastal Zone Management Act.

The District Engineer or PADEP may require additional measures to ensure that the authorized activity is consistent with state CAM requirements; and

- c. Fills within the 100-year floodplains. This activity must comply with applicable Federal Emergency Management Agency approved state or local floodplain management requirements.

31. Federal Liability: In issuing this permit and any subsequent activity verification, the federal government does not assume any liability, including but not limited to the following:

- a. Damages to permitted project or users, thereof, as a result of other permitted or unpermitted activities or from natural causes;
- b. Damages to the permitted project or uses, thereof, as a result of current or future activities undertaken by or on behalf of the United States in the public interest;
- c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit;

- d. Design or construction deficiencies associated with the permitted work; and
- e. Damage claims associated with any future modification, suspension, or revocation of the PASPGP-6.

32. False and Incomplete Information: The Corps may modify or rescind a previously issued project specific verification, if it determines that the original verification was issued based on false, incomplete and/or inaccurate information; or other information becomes available whereby such action is necessary to ensure compliance with other federal laws and regulations.
33. Anadromous Fish Waters: To protect anadromous fish during their migration and spawning, no work can take place in the following anadromous fish waterways listed in the table below from March 15 to June 30 unless approved in writing by the Corps. Questions on the applicability of this condition should be directed to the Corps, Philadelphia District.

<u>Waterway</u>	<u>Downstream extent</u>	<u>Upstream extent</u>	<u>Upstream Latitude (N)</u>	<u>Upstream Longitude (E)</u>
<u>Delaware River in Pennsylvania (including W. Branch)</u>	<u>Rte. 220 Bridge</u>	<u>PA/NY Border</u>	<u>41.999448</u>	<u>-75.359573</u>
<u>Lehigh River and adjacent canals</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the Cementon Dam</u>	<u>40.690275</u>	<u>-75.503800</u>
<u>Little Lehigh Creek</u>	<u>confluence with Lehigh River</u>	<u>500 feet upstream of the lowermost dam</u>	<u>40.596318</u>	<u>-75.475570</u>
<u>Hokendauqua Creek</u>	<u>confluence with Lehigh River</u>	<u>State Route 4014 (West Scenic Drive)</u>	<u>40.793273</u>	<u>-75.439262</u>
<u>Bushkill Creek</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the lowermost dam</u>	<u>40.694859</u>	<u>-75.212406</u>
<u>Waterway</u>	<u>Downstream extent</u>	<u>Upstream extent</u>	<u>Upstream Latitude (N)</u>	<u>Upstream Longitude (E)</u>
<u>Brodhead Creek</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the Stroudsburg Water Co. Dam</u>	<u>41.018667</u>	<u>-75.201063</u>
<u>Bush Kill</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of Resica Falls</u>	<u>41.111235</u>	<u>-75.095824</u>
<u>Lackawaxen River</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the Woolen Mill Dam</u>	<u>40.984304</u>	<u>-75.191569</u>
<u>Dyberry Creek</u>	<u>confluence with Lackawaxen River</u>	<u>Jadwin Dam</u>	<u>41.612088</u>	<u>-75.263391</u>
<u>Darby Creek</u>	<u>Confluence with Delaware River</u>	<u>500 feet upstream of the confluence of Cobbs Creek and Darby Creek</u>	<u>39.907278</u>	<u>-75.255432</u>

Schuylkill River	Fairmount Dam	500 feet upstream of the Bingaman St. Bridge in Reading, Pennsylvania	40.326411	-75.934417
Neshaminy Creek	Confluence with Delaware River	500 feet upstream of the lowermost dam	40.143369	-74.915828

34. Compliance Certification: Each permittee who receives a written PASPGP-6 verification letter from the Corps must provide a signed certification documenting completion of the authorized activity and implementation of any required compensatory mitigation. This certification should indicate if the success of any required permittee-responsible mitigation was completed in accordance with the permit conditions. If credits from a mitigation bank or in-lieu fee program are used to satisfy the compensatory mitigation requirements, the certification must include the documentation required by 33 CFR 332.3(l)(3) to confirm that the permittee secured the appropriate number and resource type of credits. The signature of the permittee is also required to certify the completion of the activity and mitigation. The completed certification document must be submitted to the District Engineer within 30 days of completion of the authorized activity or the implementation of any required compensatory mitigation, whichever occurs later.

35. Migratory Birds and Bald and Golden Eagles: The permittee is responsible for ensuring that an action authorized by PASPGP-6 complies with the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act. The permittee is responsible for contacting the appropriate local office of the USFWS to determine what measures, if any, are necessary or appropriate to reduce adverse effects to migratory birds or eagles, including whether "incidental take" permits are necessary and available under the Migratory Bird Treaty Act or Bald and Golden Eagle Protection Act for a particular activity. The permittee should contact the appropriate local office of the USFWS to determine if such authorizations are required for a particular activity. Information on the conservation of migratory birds and Bald and Golden Eagles can be found at the following USFWS web site:
<http://www.fws.gov/northeast/pafo/>

36. Migratory Bird Breeding Areas: Activities in waters of the United States, including jurisdictional wetlands, that serve as breeding areas for migratory birds must be avoided to the maximum extent practicable. Recommendations pertaining to the conservation of migratory birds can be found at the following USFWS web site:
<http://www.fws.gov/northeast/pafo/>


By Authority of the Secretary of the Army:

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John T. Litz
Colonel, U.S. Army
Commander and District Engineer
Baltimore District

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David C. Park
Lieutenant Colonel, Corps of Engineers
District Commander
Philadelphia District



Andrew J. Short
Colonel, Corps of Engineers
District Engineer
Pittsburgh District



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

May 15, 2025

File No. 25-00573

Mimi Gleason, Township Manager
Lower Gwynedd Township
1130 N Bethlehem Pike
P.O. Box 625
Spring House, PA 19477

Reference: Gwynedd Mercy Academy High School – Pedestrian Bridge
TMP #39-00-03957-00-9
Conditional Use Application – Review 1

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the conditional use application for the above-referenced project. Upon review we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors:

I. Submission

A. Conditional Use Grading Plan, as prepared by Woodrow & Associates, Inc., dated April 18, 2024.

II. Project Description

The subject property TMP #39-00-03957-00-9, located at 1345 Sumneytown Pike, is situated in the Lower Gwynedd Township A-Residential District. The subject property is accessed from Sumneytown Pike and Evans Road. The tract consists of approximately 42 acres and currently contains an existing high school, with parking areas and various athletic fields.

The plans propose the installation of an asphalt trail and pedestrian bridge to allow direct access to the athletic fields in the rear of the property. Additional improvements include grading to allow for the construction of the trail within the riparian buffer area.

III. Review Comments

A. Conditional Use

We note that the minimum riparian buffer shall be 25 feet. Any disturbance within a riparian buffer area shall be subject to conditional use approval from the Lower Gwynedd Township Board of Supervisors. As such, the Applicant has submitted the above referenced Conditional Use Application for review. Upon review, we note that the plans propose improvements within the 25-foot buffer area, including a paved asphalt trail, concrete wing walls for a pedestrian bridge and some minor grading. We offer the following comments below related to the plans. The comments contained in this section should not be misconstrued as requirements, but rather discussion points for the Board's consideration when evaluating the conditional use.

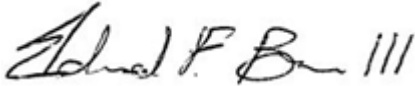
1. We note that the proposed improvements will add approximately 3,000 square feet of new impervious surface areas. As such, the plans will be subject to the Lower Gwynedd Township Stormwater Management Ordinance. The applicant will be required to provide stormwater design at the time of the grading permit submission or provide calculations to show that the previously installed stormwater BMP's for the recent building addition and parking lot, have the allowable capacity to control the runoff from proposed trail.

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462 | Phone: 610-489-4949 | Fax: 610-489-8447

2. The Applicant will be required to obtain the appropriate general permit from DEP for the proposed stream crossing and floodway disturbance.
3. The proposed trail shall meet all applicable ADA requirements and slope information shall be provided on the grading permit plans.
4. It appears that the plans propose an additional trail connection around the track area toward Evans Road. The grading permit plans shall show the full scope of the proposed trail.

If you have any questions regarding the above, please contact this office

Sincerely,



Edward Brown, P.E.
Project Manager
Gilmore & Associates, Inc.

EB/sl

cc: Jamie Worman Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
Neil Stein, Esq., Township Solicitor
Tim Woodrow, P.E., Woodrow & Associates, Inc.
Jim Hersh, P.E., Vice President, Gilmore & Associates, Inc.

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

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**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

May 15, 2025

Ms. Jamie Worman, Assistant Township Manager
Lower Gwynedd Township
1130 North Bethlehem Pike
Post Office Box 625
Spring House, Pennsylvania 19477

Re: MCPC #25-0092-001
Plan Name: Gwynedd Mercy HS Trail Conditional Use
Situate: Sumneytown Pike (cross street: Evans Road)
Lower Gwynedd Township

Dear Ms. Worman:

We have reviewed the above-referenced conditional use plan as you requested on May 5, 2025. We forward this letter as a report of our review.

BACKGROUND

The applicant, Gwynedd Mercy Academy High School, is proposing to install a pedestrian bridge that would connect the high school building and the track and field facilities. The bridge would cross wetlands and riparian corridor buffer area along a tributary of the Trewellyn Creek. The township's zoning permits crossing over the riparian buffers by conditional use approval, provided that there are no reasonable engineering alternatives (per § 1298.17(c)). The property is located in the A-Residential Zoning District.

COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with the county's comprehensive plan, *MONTCO 2040: A Shared Vision*, which shows the area located in the "Suburban Residential" future land use area. Suburban Residential areas consist primarily of single family homes and institutional uses. Development should match the character of the surrounding neighborhood and environmentally sensitive land should be preserved.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and township may wish to consider prior to conditional use approval. Our comments are as follows:



REVIEW COMMENTS

CONDITIONAL USE

We feel that the proposed trail would create a useful pedestrian connection through the campus and that conditional use approval would be appropriate.

- A. Riparian Corridor Buffer Landscaping. We recommend that the applicant plant vegetation along the new wood edge and within the riparian buffer in order to protect against invasives that may more easily overtake in recently exposed areas. The township requires in the zoning that wetlands, streams, and riparian buffers that are destroyed by development “shall be replaced elsewhere on the site... so that the total predevelopment area shall not be reduced” (§ 1298.17(c)).

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant’s proposal but we believe that our suggested revisions will better achieve Lower Gwynedd’s planning objectives for development in the riparian buffer area.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (25-0092-001) on any plans submitted for final recording.

Sincerely,



Claire Warner, Senior Community Planner

Claire.Warner@montgomerycountypa.gov – 610-278-3755

c: Christen Pionzio, Applicant’s Representative
Woodrow & Associates, Applicant’s Representative
Mimi Gleason, Township Manager
Craig Melograno, Chairman, Planning Commission

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant’s Proposed Site Plan

ATTACHMENTS A & B



Gwynedd Mercy High School
Trail Conditional Use
MCPC#250092001

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
PO Box 311, Rocktown PA 19404-0311
(610) 278-3723 (t) 610-278-3941
www.montcopa.org/plancom
Aerial photography provided by Noamap

0 250 500 1,000 Feet





**LOWER GWYNEDD TOWNSHIP
PLANNING COMMISSION
Minutes of May 21, 2025**

Present: Rich Valiga, Vice-Chair
Maureen Nunn
Danielle Porreca
Michael Mrozinski
Craig Adams

Patty Furber, B&Z Administrator
Ed Brown, Gilmore & Associates

Absent: Craig Melograno, Chairman, Rusty Beardsley

Call to Order:

The meeting of the Lower Gwynedd Township Planning Commission was called to order at 7:00 PM.

Approval of Minutes: March 19, 2025

A motion was made by Ms. Porreca and seconded by Mr. Adams to approve the minutes of the Lower Gwynedd Township Planning Commission meeting of March 19, 2025. The motion carried unanimously.

Conditional Use Application:

**Gwynedd Mercy Academy High School
1345 Sumneytown Pike**

#25-03CU

Present for the conditional use application was Ms. Christen Pionzio from HRMM&L, Mr. Robert Jordan from Woodrow & Associates and Ms. Denise Marbach, President of Gwynedd Mercy Academy High School.

Ms. Pionzio stated that they are proposing to install a bridge over the watercourse to connect the building addition to the athletic field. Ms. Pionzio stated that they have received their DEP permit, review letters from Gilmore and the Montgomery County Planning Commission. Ms. Pionzio stated that they would comply with all the comments that were noted in Gilmore's review letter dated May 15, 2025, regarding providing a stormwater design along with a grading permit and ADA requirements.

Ms. Pionzio stated she wanted to note that there is a small stub reflected in the plan that shows a future trail leading to a grassy area, but they are unsure if this will be built. She stated if they decide to pursue building that trail, a grading permit would be submitted.

Ms. Pionzio stated that the Montgomery County Planning Commission requested in their review letter dated May 15, 2025, that they plant vegetation to replace what would be destroyed by the installation of the bridge. She stated they would comply.

Ms. Pionzio stated that this would be a pedestrian boardwalk style bridge with supports on each side. She stated that this is already permitted through DEP. Mr. Valiga wanted more of an explanation of what was being proposed. Mr. Jordan explained that with the new building addition, they would like to connect the existing school trail to a path that would link up the school facility with the athletic facility. He stated that they will be encroaching within the riparian area, very minimum, with no disturbance of the wetlands, but this is why conditional use is required.

Mr. Valiga stated that the site plan included with the submission lists waivers. He stated that he wanted to make sure that there would be no additional waivers or deferrals requested with this application. Ms. Pionzio stated that the site plan was included to show the approximate location of the proposed pedestrian bridge and there are no additional waivers requested.

Mr. Valiga wanted to know if they would have any issues with Gilmore's review letter, item number 1, regarding the stormwater design. Mr. Brown stated that he believed that there could be available storage within the existing stormwater facility that was completed for the parking area. Ms. Pionzio stated that would be confirmed through their grading permit submission.

A motion was made by Mr. Valiga and seconded by Ms. Porreca to recommend approval of the conditional use application to the BOS with the following recommendations:

1. The applicant agrees to provide the information that was requested in the Gilmore review letter dated May 15, 2025.

The motion passed with a 5-0 vote.

Conditional Use Application
Foulkeways
1120 Meetinghouse Rd.

#25-04CU

Present for the conditional use application was Ms. Christen Pionzio from HRMM&L, Mr. Robert Jordan from Woodrow & Associates and Mr. Bill Durbin from Foulkeways.

Ms. Pionzio stated that near the existing fitness center (located in the center of the campus) there is an existing stormwater endwall where water comes out that creates a drainage channel that feeds into the wetlands. She stated that they are proposing to take that channel, pipe it underground and move the outlet water to a different location. The underground pipe would still feed the wetland area. She stated a conditional use is required because it's a watercourse and buffers are involved in the riparian corridor.

Ms. Pionzio stated that they received Gilmore's review letter dated May 16, 2025. She stated they already have the DEP permit and would submit a grading permit. Ms. Pionzio stated that they would also comply with the Montgomery County Planning Commission's review letter dated May 15, 2025, that requests to replace the vegetation that is covered by the piping.

Mr. Valiga wanted to know about Montgomery County Planning Commission's review letter regarding their comment under "Conditional Use" regarding "we defer to the township solicitor to determine if a building expansion would meet the criteria in Section 1298.17." Ms. Pionzio stated that the "future building expansion" is the future fitness center which won't happen until after the watercourse is piped. She stated that you can't erect a building within any wetlands, creeks, watercourses, streams or waters of the commonwealth. She stated that they are piping the watercourse underground first, then the building expansion will come afterwards which will require a full land development application. Mr. Valiga wanted to know if that would change the nature of that area. Ms. Pionzio stated that they are just moving the watercourse so that it's not in an open ditch towards the wetlands. She stated that it will be enclosed in a pipe with dirt and grass. Ms. Pionzio stated that the purpose of this is to be able to build on top of that area to avoid building in a wetland or a riparian area; it will be all underground. Ms. Pionzio stated that there is no other place to build an addition for the fitness center. She stated that Foulkeways is trying to modernize, they need space for group activities and equipment space. Ms. Pionzio stated that the infrastructure within Foulkeways is 58 years old. She stated that they need to do the renovation to bring in revenue because the sewer system, kitchen and fitness center are all old. She stated for them to modernize they must put an addition on the fitness center.

Mr. Valiga stated that he wanted to make sure the township solicitor reviews the application so that this board is not endorsing something that the solicitor would have an issue with. Ms. Pionzio stated that her job is to make sure they meet all criteria, including the approval of the township solicitor during the Board of Supervisors hearing.

Ms. Porreca wanted to know if Foulkeways received any comments or push back about enclosing that area. Mr. Durbin stated that they looked at every possible option to expand the fitness center and this was the only viable option. He stated that their long-term plan is to try and improve that area to allow the residents to enjoy it.

A motion was made by Ms. Porreca and seconded by Mr. Adams to recommend approval of the conditional use application to the BOS with the following recommendations:

1. The P.C. supports the conditional use application with the intention that the proposed riparian buffer mitigation does not change or alter the existing municipal regulations pertaining to wetlands and streams.
2. The applicant agrees to the recommendations and comments listed in the Gilmore review letter dated May 16, 2025.

The motion passed with a 5-0 vote.



Update of the comprehensive plan:

Ms. Claire Warner from the Montgomery County Planning Commission was present to give an update on the comprehensive plan. Mr. Valiga stated that he wanted to give the board some background regarding the progression of the comprehensive plan. He stated that they have been working on the comprehensive plan for the past two and half years. He stated that a steering committee was created by the Board of Supervisors, which consists of residents, business owners and interested parties to provide Ms. Warner detailed comments to address each of the elements of the plan. He stated this process started in July of 2023 and included over 22 meetings and two public sessions.

Ms. Warner stated that Ms. Jamie Worman, Assistant Township Manager and Director of Building & Zoning, was present in front of the P.C. back in March to give an update and inform them regarding the process. Ms. Warner stated that she wanted to give an update on the comments they have received from the public meetings and Monday night's steering committee meeting. Ms. Warner stated that they had a few public meetings, surveys were put out, and updates were posted on Lower Gwynedd's website. Ms. Warner stated that they are now in the final phases to review the plan before the official public comment period begins.

Ms. Warner gave a brief overview of exactly what a comprehensive plan contains with various topics such as traffic, transportation, housing, environmental contexts, trails and

a focus area chapter on Bethlehem Pike. Ms. Warner stated that part of the main guidepost for the township to move forward is the future land use plan. She stated that they have received comments from the Planning Commission and Board of Supervisors, and those fall into general categories. Ms. Warner stated that they also received a lot of comments regarding the condition of Bethlehem Pike. She stated that the future land use map comments were related to the topic "town center/mixed use/future land use" category and how that relates to the different properties that fall under those categories. Ms. Warner stated that the future land use map contains several categories that are listed by residential low, medium, and high density. She explained that is reflected on the exhibit plan in fuchsia and is referred to as the "town center/mixed use." She stated that there was feedback on that term concerning using the word "town" sounded too traditional. She stated it would create a vision that wouldn't be appropriate around areas that would be considered mixed-use. She stated that the concern was the property on Norristown Road and the Pen Ambler sections near the Penllyn train station. She stated that those areas would not be appropriate for that same mixed-use category. She stated during the most recent steering committee meeting, they discussed having tiered categories for mixed-use such as high, medium or low depending on the context the properties are in. She stated that this is still being developed, but generally it would be based on site context, building design, uses, scale, dimensions and intensity of the location of the property.

Ms. Warner stated besides the color categories on the map, there are two circles around the two train stations. She just wanted to inform everyone that those areas are not considered land use designations, just acknowledging the train stations are located there. She also stated that area might be considered for gentle density increases. Ms. Porreca wanted to know what she meant by "gentle density increases." Ms. Warner explained she meant that smaller-scale projects would be more appropriate for that type of location than larger-scale projects.

Mr. Valiga stated that there was a lot of discussion regarding the proposed map, and this is just a draft or a footprint for future development. Mr. Valiga stated that this is a model that will give the township staff a general idea of where to go with a proposed project. Ms. Warner stated that they want to improve walkability and focus on streetscape, building design and create places where people want to go. Ms. Warner stated that they have been doing some design work to improve the streetscape and revitalize the corridor a little bit better. Mr. Mrozinski wanted to know if there was a specific location along the corridor that they are using as a model. Ms. Warner stated that they used the Fairland at Gwynedd project along Bethlehem Pike. She stated that they looked at the footprint of the building and they heard that the residents liked the appearance of the development with the townhouses behind retail with gentle density and a nice aesthetic feel.

Ms. Warner stated that the sidewalk and trails are generally in line with the specific recommendations of the trail and sidewalk plan. She stated that there would be a reference to the sidewalk/trail map in the comprehensive plan. Ms. Nunn wanted to know regarding the safety aspects of the trail and sidewalk plan. Ms. Warner stated that safety issues are always considered. She stated that traffic calming measures have been taken into consideration to improve safety. Ms. Nunn wanted to know if the trail and sidewalk plan would be an attachment to the comprehensive plan as discussed at the last P.C. meeting. Ms. Warner stated that they didn't want to have any conflicting information regarding the trail and sidewalk plan and that it will be referenced in the comp plan if anyone is interested in viewing that separately.

Ms. Warner stated that the next steps are to take additional feedback and work on a clean draft that will be reviewed internally. She is hoping to have this completed by the summer. She stated that once the township has a draft, there will be a 45-day comment period, and another public meeting will be scheduled. She stated she would return to the P.C. if anyone had further questions. Ms. Nunn wanted to know what the difference was between the high-level of the plan vs the 20-year-old comp plan. Ms. Warner stated there are a lot of similarities when it comes to the high-level difference, but there has been a lot of development since then due to the large increase in population. Mr. Valiga stated that there were discussions about the differences in the plans moving forward. He stated that sections were updated to reflect what we have today in Lower Gwynedd Township by using that as the base moving forward, we are focusing on what we are envisioning for various sectors within the township.

Ms. Warner stated that there is a large staff at the Montgomery County Planning Commission that helps to advise her with a team of design planners to help with the vision. Mr. Valiga stated that Ms. Warner has been a pleasure to work with. He stated that the whole focus of the future view is to try and preserve the unique character of Lower Gwynedd Township. He stated that we have a very unique country-style setting here that we are trying to maintain. Some of the P.C. members requested a copy of Ms. Warner's presentation to be emailed to them. Ms. Warner stated that she would email tonight's PowerPoint presentation to Ms. Furber to forward to the P.C. members. She stated that if anyone wants to share their comments, please email her or Ms. Jamie Worman.



ADJOURNMENT

There being no further business, the meeting was adjourned at 7:50 P.M.

Respectfully submitted,

Patty Furber, Secretary



MEMORANDUM

ATTN: Board of Supervisors

DATE: June 18, 2025

FROM: Jamie P. Worman, Assistant Township Manager

Jamie Worman

SUBJ: Foulkeways at Gwynedd Conditional Use-#25-04CU

Foulkeways at Gwynedd is seeking conditional use approval to install approximately 140 feet of storm pipe within an existing drainage channel in preparation for the construction of a future fitness center. Additional improvements include the installation of three storm manholes and an endwall. The fitness center is a separate project and will be handled through land development in the future when Foulkeways is ready to pursue that project. The code requires that a riparian and wetland buffer be 25 feet and any disturbance within this area shall only be permitted through conditional use approval granted by the BOS. The plans have been reviewed by the Township Engineer and the Montgomery County Planning Commission (attached). The application was presented to the Lower Gwynedd Planning Commission and recommended for approval on May 21, 2025, with conditions including compliance with the Township regulations pertaining to wetlands/riparian buffers and the Township Engineer's review comments in their letter dated May 16, 2025. The applicant will need to obtain the required permitting from the PADEP and will need to submit a grading plan for review and approval by the Township Engineer. Christen Pionzio, Esq. will be representing the applicant at the hearing.

Recommended Motion: Conditional Use #25-03- It is recommended that the BOS authorize the Township Solicitor to prepare a decision and order approving the Foulkeways at Gwynedd Conditional Use application conditioned upon the comments noted in the Township Engineer's letter (5/16/25) and the MCPC letter (5/15/25).

LEGAL ADVERTISEMENT
CONDITIONAL USE HEARING NOTICE

Notice is hereby given that the Lower Gwynedd Township Board of Supervisors, on Tuesday, June 24, 2025, at 7:00 p.m., will hold a public hearing to consider the conditional use application ("**Application**") of Foulkeways at Gwynedd ("**Applicant**"), legal owner of the property known as 1120 Meetinghouse Road, Parcel # #39-00-03947-00-9, consisting of approximately 100.81 acres, located within the MF-3A Zoning District ("**Property**"). The Applicant proposes to pipe 160 linear feet of mapped waters within the riparian buffer area on the Property, for the redevelopment of the fitness center and natatorium (the "**Proposed Use**"). Conditional use approval is required pursuant to Section 1298.17(c), because the Proposed Use requires disturbance within the minimum riparian buffer. The Application must meet the requirements of Section 1298.07 of the Township's Zoning Code.

The Board of Supervisors will consider testimony and evidence from the Applicant at the hearing in support of the Application. Copies of the Application and proposed plans are available to be viewed at the Lower Gwynedd Township Building during normal business hours. Please contact the Township at (215) 646-5302 or mfarzetta@lowergwynedd.org, to schedule an appointment.

The public may participate in the meeting in person at the Lower Gwynedd Township Building, 1130 N. Bethlehem Pike, Spring House, PA 19477; online at _____; or by calling _____ and entering the meeting ID number _____ when prompted.

At the hearing, members of the public may request party status. Only those granted party status may question witnesses, present testimony, and appeal from the decision to court. Party status is not required to provide comments only, and comments may be presented in writing, or verbally at the conclusion of the hearing. Anyone requesting party status or who wishes to submit written comments in advance of the hearing, are encouraged, but not required, to email the Township Solicitor, Neil Andrew Stein, Esquire, nstein@kaplaw.com, with your name, address, e-mail address, and telephone number and any comments.

Neil Andrew Stein, Esquire
Lower Gwynedd Township Solicitor

PLEASE PROVIDE PROOF OF PUBLICATION

PHILADELPHIA GROUP

AFFIDAVIT OF PUBLICATION
390 Eagleview Boulevard • Exton, PA 19341**LOWER GWYNEDD TOWNSHIP**
1130 N BETHLEHEM PIKE
PO BOX 625
SPRING HOUSE, PA 19477
Attention: MICHELLE FARZETTA

STATE OF PENNSYLVANIA,

The undersigned Richard L. Crowe, being duly sworn the he/she is the principal clerk of The Reporter, The Reporter Digital, published in Montgomery County for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

LOWER GWYNEDD TOWNSHIP

Published in the following edition(s):

The Reporter, The Reporter Digital
06/03/25, 06/10/25

Commonwealth of Pennsylvania - Notary Seal
Maureen Schmid, Notary Public
Montgomery County
My Commission Expires March 31, 2029
Commission Number 1248132

Sworn to the subscribed before me this 6/10/25.

Notary Public, State of Pennsylvania
Acting in County of Montgomery

**LEGAL ADVERTISEMENT
CONDITIONAL USE
HEARING NOTICE**

Notice is hereby given that the Lower Gwynedd Township Board of Supervisors, on Tuesday, June 24, 2025, at 7:00 p.m., will hold a public hearing to consider the conditional use application ("Application") of Foulkeways at Gwynedd ("Applicant"), legal owner of the property known as 1120 Meetinghouse Road, Parcel # 033-00-03347-00-9, consisting of approximately 100.81 acres, located within the MF-3A Zoning District ("Property"). The Applicant proposes to pipe 160 linear feet of mapped waters within the riparian buffer area on the Property, for the redevelopment of the fitness center and natatorium (the "Proposed Use"). Conditional use approval is required pursuant to Section 1298.11(c), because the Proposed Use requires disturbance within the minimum riparian buffer. The Application must meet the requirements of Section 1298.07 of the Township's Zoning Code.

The Board of Supervisors will consider testimony and evidence from the Applicant at the hearing in support of the Application. Copies of the Application and proposed plans are available to be viewed at the Lower Gwynedd Township Building during normal business hours. Please contact the Township at (215) 646-5302 or mfarzetta@lowergwynedd.org to schedule an appointment.

The public may participate in the meeting in person at the Lower Gwynedd Township Building, 1130 N. Bethlehem Pike, Spring House, PA 19477; online at <https://us02web.zoom.us/j/82334527436?pwd=ZWVhbnR1b3R1aVQ1ZjY5bGg1>; or by calling 1-646-876-5923 and entering the meeting ID number 823 3452 7436 when prompted.

At the hearing, members of the public may request party status. Only those granted party status may question witnesses, present testimony, and appeal from the decision to court. Party status is not required to provide comments only, and comments may be presented in writing, or verbally at the conclusion of the hearing. Anyone requesting party status or who wishes to submit written comments in advance of the hearing, are encouraged, but not required, to email the Township Solicitor, Neil Andrew Stein, Esquire, nstein@kaplaw.com, with your name, address, e-mail address, and telephone number and any comments.

Neil Andrew Stein, Esquire
Lower Gwynedd Township
Solicitor

LAN: June 3, 10, a-1

Advertisement Information

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PO: 6/24/25 Hearing (2) Sales Person: 063308



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1130 N. Bethlehem Pike, P.O. Box 625
Spring House, PA 19477
(215)646-5302- phone
(215)646-3357-fax
www.lowergwynedd.org

Conditional Use Appeal to Board of Supervisors

1. Date: 5/2/2025
2. Classification of Appeal (check all that apply):
☒ Request for a Conditional Use
☐ Other (specify): _____
3. Applicant:
Name: Foulkeways at Gwynedd
Mailing Address: 1120 Meetinghouse Road
Gwynedd, PA 19436
Phone Number: 215-643-2200
Email Address: _____
State owner of legal title, if other than Applicant: _____
4. Applicant's Attorney:
Name: Christen G. Pionzio, Esquire
Mailing Address: 1684 S. Broad St., Suite 230, P.O. Box 1479
Lansdale, PA 19446
Phone Number: 215-661-0400
Email Address: cpionzio@hrmml.com
5. Property:
Location: 1120 Meetinghouse Road (Parcel No. 39-00-03947-00-9)
Present Zoning Classification: MF-3A
Area: 100.81 acres
Frontage: Sumneytown Pike, Route 202 and Meetinghouse Roads
Depth: _____
Description of the current use and the existing improvements on the property: Foulkeways Continuing Care Retirement Community

Description of the proposed use and the proposed improvements (if different):

The applicant proposes to pipe 160 linear ft. of mapped waters on the property which impacts a riparian buffer associated with a tributary to Trewellyn Creek and any required buffer areas which assists in the redevelopment of the fitness center and natatorium.

6. Legal grounds for appeal:

The structures are permitted in the riparian buffer, as well as as any related buffers by conditional use because no reasonable engineering alternative exists. A GP-6 General Permit has been obtained from DEP indicating no adverse impact to the environment and community.

7. State each section of the zoning ordinance involved in this application:

1298.17(c)

8. Has any previous appeal or application been filed in connection with this property?

☒ Yes ☐ No If yes, date and specifics: Previous applications have been filed by the property owner, none of which are pertinent to this application.

9. Is public water available to this property?

☒ Yes ☐ No

Is public sewer available to this property?

☒ Yes ☐ No

10. Does this Application involve a proposed subdivision?

☐ Yes ☒ No

If yes, has a subdivision plan been filed with the Township?

☐ Yes ☐ No



Signature of Applicant's Attorney
Christen G. Pionzio

EXTENSION OF TIME
CONDITIONAL USE REQUEST

Date: 5/2/2025

Township Manager
Lower Gwynedd Township
1130 North Bethlehem Pike
Spring House, PA 19477

RE: Property Address: 1120 Meetinghouse Road

Current Use: ~~Foulkeways Continuing Care Retirement Community~~

Requested Use: Same use.

On 5/2/2025, I filed an official application for Conditional Use approval for the above referenced property and paid all appropriate fees. I understand that the Township's Zoning Ordinance and the Pennsylvania Municipalities Planning Code ("MPC") require that the Board of Supervisors hold the initial hearing on this application within 60 days of filing all appropriate fees and applications.

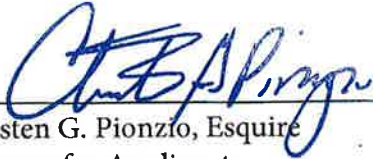
Please be advised that, notwithstanding any contrary provision of the Township's Zoning Ordinance or the MPC, this letter will serve as notice to the Township that the requirement that the initial hearing on this request by the Board of Supervisors take place within 60 days is hereby waived, without limitation as to time.

Should it become necessary to limit the amount of time for the Board of Supervisors to take action on my request, I may revoke this extension of time in writing, sent regular mail and certified mail to the Township, return receipt requested, and the Township shall be obligated hold a hearing on the Conditional Use application within the time then required by the MPC, starting from the date of the Township's receipt of the notice described in this paragraph.

If the Township, in its sole discretion, determines that insufficient progress is being made with regard to the progress of the Conditional Use application, the Township may also revoke this extension of time in writing, sent regular mail and certified mail, return receipt requested. I understand that the Township will advertise and hold a public hearing on the application within the time then required by the MPC, starting from the date of the Applicant's receipt of the notice described in this paragraph.

For the purposes stated herein, written notice shall be deemed received, if sent regular mail and certified mail, on the date of the written receipt on the certified mail return receipt, or, three (3) days after the date indicated on the notification letter in the event the certified mail is returned as "refused", "unclaimed", or is otherwise returned without indication of receipt.

Sincerely,

A handwritten signature in blue ink, reading "Christen G. Pionzio", is written over a horizontal line.

Christen G. Pionzio, Esquire
Attorney for Applicant



**RECORDER OF DEEDS
MONTGOMERY COUNTY**

Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6032 PG 00500 to 00512.2
INSTRUMENT # : 2017007829
RECORDED DATE: 01/27/2017 02:49:35 PM



3434791-0024U

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 15

Document Type: Deed of Consolidation
Document Date: 01/25/2017
Reference Info:

Transaction #: 3510618 - 1 Doc(s)
Document Page Count: 12
Operator Id: sford

RETURN TO: (Email)
diane barnes
375 morris road
p.o. box 1479
lansdale, PA 19446

PAID BY:
DIANE BARNES

*** PROPERTY DATA:**

Parcel ID #: 39-00-02671-00-8
Address: 1120 MEETINGHOUSE RD

39-00-03997-00-5
1529 SUMNEYTOWN PIKE

39-00-00886-00-2
1113 MEETINGHOUSE RD

Municipality: PA
Lower Gwynedd Township
(100%)

PA
Lower Gwynedd Township
(0%)

PA
Lower Gwynedd Township (0%)

School District: Wissahickon

Wissahickon

Wissahickon

*** ASSOCIATED DOCUMENT(S):**

**CONSIDERATION/SECURED AMT:
TAXABLE AMOUNT:**

FEES / TAXES:

Recording Fee: Deed of
Consolidation
Affidavit Fee
Additional Pages Fee
Additional Parcels Fee
Affordable Housing Pages
Affordable Housing Parcels
eRecording Fee Per Doc

Total:

DEED BK 6032 PG 00500 to 00512.2
Recorded Date: 01/27/2017 02:49:35 PM

I hereby CERTIFY that this document is
recorded in the Recorder of Deeds Office in
Montgomery County, Pennsylvania.



Jeanne Sorg
Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

***COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION**

Prepared by: Christen G. Pionzio, Esquire
HAMBURG, RUBIN, MULLIN, MAXWELL & LUPIN

Record and Return to:
HAMBURG, RUBIN, MULLIN, MAXWELL & LUPIN
375 Morris Road, P. O. Box 1479
Lansdale, PA 19446-0773
215-661-0400

TAX PARCEL #: 39-00-02671-00-8
(see attached for all parcel numbers)

DEED OF CONSOLIDATION

THIS INDENTURE, made this 25th day of JANUARY, 2017,

BETWEEN FOULKEWAYS AT GWYNEDD, a Pennsylvania non-profit corporation (hereinafter called the Grantor), and

FOULKEWAYS AT GWYNEDD, a Pennsylvania non-profit corporation (hereinafter called the Grantee).

THIS DEED OF CONSOLIDATION has been prepared for the sake of merging adjoining parcels of land held in common ownership.

WITNESSETH That the said Grantor, for and in consideration of the sum of lawful money of the United States of America unto itself well and truly paid by said Grantee, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, enfeoffed, released and confirmed, and by these presents does grant, bargain, sell, alien, enfeoff, release and confirm unto the said Grantee, its Successors and Assigns, as aforesaid.

ALL THOSE CERTAIN lots or pieces of land, with the improvements thereon erected, **SITUATE** in the Township of Lower Gwynedd, County of Montgomery and Commonwealth of Pennsylvania, as being more fully described in Exhibit "A" attached hereto and made a part hereof.

Also known as Parcel Numbers: 39-00-02671-00-8, 39-00-03997-00-5, 39-00-00886-00-2 and 39-00-02671-01-7.

BEING the same premises which FOULKEWAYS AT GWYNEDD, a Pennsylvania corporation, by Deed of Consolidation dated January 26, 2016, and recorded on January 29, 2016, in the Office for the Recording of Deeds in and for Montgomery County at Norristown,

Pennsylvania, in Deed Book 5987, Page 216 &c., granted and conveyed unto FOULKEWAYS AT GWYNEDD, a Pennsylvania non-profit corporation, in fee.

AND ALSO BEING the same premises which CHARLES G. LOSCHIAVO and DIANE C. LOSCHIAVO, by Deed dated September 27, 2016, and recorded on October 21, 2016, in the Office for the Recording of Deeds in and for Montgomery County at Norristown, Pennsylvania, in Deed Book 6020, Page 350 &c., granted and conveyed unto FOULKEWAYS AT GWYNEDD, a Pennsylvania non-profit corporation, in fee.

UNDER AND SUBJECT to all conditions, easements, rights of way, agreements, covenants, liens, reservations, exceptions, restrictions and other encumbrances of record, to the extent still valid, subsisting and enforceable.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances whatsoever unto the hereby granted premises belonging or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest property, claim and demand whatsoever of it the said Grantor, as well at law as in equity, or otherwise, of, in, and to the same and every part thereof.

TO HAVE AND TO HOLD the said lot or piece of ground, described, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its Successors and Assigns, to and for the only proper use and behoof of the said Grantee, its Successors and Assigns forever, as aforesaid.

UNDER AND SUBJECT as aforesaid.

AND the said Grantor, for itself, its Successors and Assigns, by these presents does covenant, grant, promise and agree, to and with the said Grantee, its Successors and Assigns, that it, the said Grantor, its Successors, all and singular the hereditaments and premises herein described and granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its Successors and Assigns, against it the said Grantor, (and) its Successors, and against all and every other Person and Persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under it or any of them Shall and Will **WARRANT** and forever **DEFEND**.

{this space intentionally left blank}

IN WITNESS WHEREOF, the said Grantor has hereunto caused its common or corporate seal to be affixed duly attested. Dated the day and year first above written.

Signed, Sealed and Delivered

FOULKEWAYS AT GWYNEDD

IN THE PRESENCE OF:

By:

D. Michael Peasley
D. Michael Peasley, Chief Executive Officer

Attest:

Name:

Title:

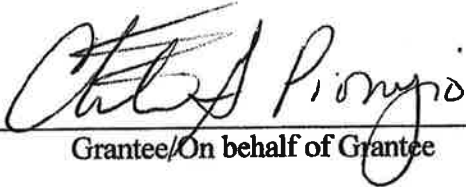
Walt F. Truller
asst. secretary

(CORPORATE SEAL)

CERTIFICATE OF RESIDENCE

I HEREBY CERTIFY THAT THE ADDRESS OF THE GRANTEE IS:

1120 Meetinghouse Road
Gwynedd, Pennsylvania 19436



Grantee/On behalf of Grantee

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF

Montgomery:
: ss.
:

ON THIS, the 25th day of January, 2017, before me, the undersigned officer, personally appeared D. MICHAEL PEASLEY, who acknowledged himself to be the Chief Executive Officer of Foulkeways at Gwynedd, a Pennsylvania non-profit corporation, and that he as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the Corporation by himself as Chief Executive Officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Carole B. Culbreth
Notary Public

MY COMMISSION EXPIRES: Nov 7, 2017

{seal}

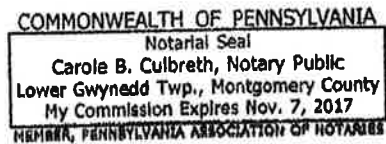


Exhibit "A"**Legal Description of the Consolidated Tract Area of Foulkeways at Gwynedd
(being Block 5, Units 10 & 22, Block 5, Unit 43 and Block 5, Unit 47)**

ALL THOSE CERTAIN three (3) tracts of land, situate in the Township of Lower Gwynedd, County of Montgomery and Commonwealth of Pennsylvania, bounded and described as follows, to wit:

Block 5, Units 10 & 22 - Gross Tract Area of the Main Campus

BEGINNING AT A POINT in the bed of Sumneytown Pike, being 100 feet wide at this point and a common property corner of this tract and lands now of formerly of Raymond E., Jr. & Jane Baker (Block 5, Unit 30);

THENCE, leaving said point of beginning and continuing in and along the bed of Sumneytown Pike, North 51 degrees 42 minutes 10 seconds West, a distance of 162.15 feet, to a point in line of lands now or formerly of Charles B., Jr. & Sharon A. Budd (Block 5, Unit 12);

THENCE, continuing along said lands of Budd and crossing the northeasterly side of Sumneytown Pike, North 25 degrees 09 minutes 50 seconds East, a distance of 725.75 feet, to a pipe found;

THENCE, along said lands of Budd, North 49 degrees 16 minutes 10 seconds West, a distance of 79.00 feet, to a concrete monument found at the common corner of this tract, said lands of Budd and lands now or formerly of John P. & Linda K. Bonfiglio (Block 5, Unit 41);

THENCE, along said lands of Bonfiglio and lands now or formerly of Paul & Luann Catinella (Block 5, Unit 44), North 48 degrees 54 minutes 40 seconds West, a distance of 643.80 feet, to an iron pin found;

THENCE, continuing along said lands of Catinella, South 28 degrees 29 minutes 04 seconds West, a distance of 391.86 feet, to a point in line of lands now or formerly of Frederick & Stacy Frankel (Block 5, Unit 9);

THENCE, continuing along said lands of Frankel, the following two (2) courses and distances:

1. North 46 degrees 40 minutes 26 seconds West, a distance of 48.58 feet, to a point;
2. South 41 degrees 25 minutes 34 seconds West, a distance of 300.00 feet, to a point on the northeasterly existing legal right of way line of Sumneytown Pike, being of variable width at this point;

THENCE, along said northeasterly existing legal right of way line of Sumneytown Pike, the following seven (7) courses and distances:

1. North 46 degrees 40 minutes 26 seconds West, a distance of 999.68 feet, to a point;
2. North 40 degrees 43 minutes 55 seconds East, a distance of 3.86 feet, to a point;
3. North 47 degrees 45 minutes 15 seconds West, a distance of 132.09 feet, to a point;
4. North 51 degrees 25 minutes 26 seconds West, a distance of 226.39 feet, to a point;
5. North 14 degrees 37 minutes 39 seconds East, a distance of 5.00 feet, to a point;
6. North 19 degrees 01 minute 29 seconds West, a distance of 50.49 feet, to a point;
7. North 75 degrees 35 minutes 13 seconds West, a distance of 8.02 feet, to a point on the easterly required right of way line of DeKalb Pike, being S.R. 0202 and having a variable width at this point;

THENCE, along said easterly required right of way line of DeKalb Pike, S.R. 0202, the following five (5) courses and distances:

1. North 14 degrees 05 minutes 53 seconds East, a distance of 218.61 feet, to a point of curve;
2. Along an arc of a circle curving to the left, having a radius of 766.80 feet, an arc distance of 136.31 feet, being subtended by a chord bearing of North 9 degrees 00 minutes 20 seconds East and a chord distance of 136.13 feet, to a point of compound curve;
3. Along an arc of a circle curving to the left, having a radius of 2995.00 feet, an arc distance of 51.01 feet, being subtended by a chord bearing of North 7 degrees 47 minutes 35 seconds East and a chord distance of 51.01 feet, to a point;
4. South 82 degrees 41 minutes 42 seconds East, a distance of 5.00 feet, to a point;
5. Along an arc of a circle curving to the left, having a radius of 3000.00 feet, an arc distance of 193.13 feet, being subtended by a chord bearing of North 5 degrees 27 minutes 39 seconds East and a chord distance of 193.10 feet, to a point on the southeasterly existing legal right of way line of the former location of Meetinghouse Road;

THENCE, along said former location of Meetinghouse Road, the following four (4) courses and distance:

1. Along an arc of a circle curving to the right, having a radius of 245.00 feet, an arc distance of 84.73 feet, being subtended by a chord bearing of North 29 degrees 49 minutes 18 seconds East and a chord distance of 84.31 feet, to a point;
2. North 48 degrees 29 minutes 46 seconds West, a distance of 10.00 feet, to a point;
3. Along an arc of a circle curving to the right, having a radius of 255.00 feet, an arc distance of 58.69 feet, being subtended by a chord bearing of North 46 degrees 23 minutes 34 seconds East and a chord distance of 58.56 feet, to a point of tangent;
4. North 54 degrees 16 minutes 44 seconds East, a distance of 520.05 feet, to a point of curve on the southerly required right of way line of Meetinghouse Road, this portion is in the original location;

THENCE, along the southerly required right of way line of Meetinghouse Road in its original location and being widened to its required width, the following five (5) courses and distances:

1. Along an arc of a circle curving to the left, having a radius of 308.00 feet, an arc distance of 119.12 feet, being subtended by a chord bearing of North 65 degrees 04 minutes 08 seconds East and a chord distance of 118.38 feet, to a point of tangent;
2. North 53 degrees 59 minutes 20 seconds East, a distance of 55.51 feet, to a point;
3. North 36 degrees 00 minutes 40 seconds West, a distance of 10.00 feet, to a point;
4. North 53 degrees 59 minutes 20 seconds East, a distance of 65.00 feet, to a point;
5. North 36 degrees 00 minutes 40 seconds West, a distance of 11.55 feet, to a point on the southerly existing legal right of way line of Meetinghouse Road;

THENCE, along said southerly existing legal right of way line of Meetinghouse Road, the following four (4) courses and distances:

1. North 54 degrees 16 minutes 44 seconds East, a distance of 240.72 feet, to a point of curve;
2. Along an arc of a circle curving to the right, having a radius of 385.00 feet, an arc distance of 465.81 feet, being subtended by a chord bearing of North 88 degrees 56 minutes 24 seconds East and a chord distance of 437.91 feet, to a point of tangent;
3. South 56 degrees 23 minutes 56 seconds East, a distance of 1086.32 feet, to a point of curve;
4. Along an arc of a circle curving to the left, having a radius of 237.61 feet, an arc distance of 90.54 feet, being subtended by a chord bearing of South 67 degrees 18 minutes 52 seconds East and a chord distance of 89.99 feet, to a point in line of lands now or formerly of Edward G., III & Margaret P. Murphy (Block 5, Units 51 & 54);

THENCE, along said lands of Murphy, the following two (2) courses and distances:

1. South 81 degrees 10 minutes 24 seconds West, a distance of 11.30 feet, to a point;
2. South 70 degrees 35 minutes 30 seconds West, a distance of 346.63 feet, to a pin found;

THENCE, continuing along said lands of Murphy and partially along lands now or formerly of R. Bruce & Audrey M. Carnivale (Block 5, Unit 54), South 22 degrees 56 minutes 42 seconds East, a distance of 507.25 feet, to a point;

THENCE, continuing along said lands of Carnivale, lands now or formerly of Lower Gwynedd Township (Block 5A, Unit 19) and partially along lands now or formerly of Foulkeways at Gwynedd (Block 5, Unit 16), South 22 degrees 54 minutes 59 seconds East, a distance of 365.87 feet, to a pin found;

THENCE, continuing along said lands of Foulkeways at Gwynedd, the following two (2) courses and distances:

1. South 30 degrees 55 minutes 53 seconds East, a distance of 618.41 feet, to a point;
2. South 34 degrees 13 minutes 20 seconds West, a distance of 586.29 feet, to a stone found in line of lands of now or formerly of Peter & Tracy Spain (Block 5, Unit 70);

THENCE, along said lands of Spain, North 49 degrees 16 minutes 10 seconds West, a distance of 222.12 feet, to a pipe found;

THENCE, continuing along lands of Spain, lands now or formerly of Nand & Sashi Todi (Block 5, Unit 29) and said lands of Baker, South 38 degrees 35 minutes 50 seconds West, a distance of 692.72 feet, to a point, said point being the first mentioned point and PLACE OF BEGINNING.

Containing in area 4,259,814.71 Square Feet / 97.7919 Acres.

Being Tax Map Unit Numbers: Block 5, Units 10 & 22.

Block 5, Unit 43 - Gross Tract Area of the Beaumont Tract South

BEGINNING AT A POINT of intersection of the easterly required right of way line of DeKalb Pike, S.R. 0202, being of variable width at this point, with the northerly existing legal right of way line of Meetinghouse Road;

THENCE, leaving said point of beginning and continuing along the said easterly required right of way line of DeKalb Pike, S.R. 0202, along an arc of a circle curving to the left, having a radius of 3000.00 feet, an arc distance of 309.67 feet, being subtended by a chord bearing of North 1 degrees 03 minutes 53 seconds West and a chord distance of 309.53 feet, to a point of tangent;

THENCE, North 4 degrees 01 minutes 19 seconds West, a distance of 106.82 feet, to a point on the southerly required right of way line of Relocated Meetinghouse Road, being of variable width at this point;

THENCE, along said southerly required right of way line of Relocated Meetinghouse Road, the following five (5) courses and distances:

1. North 66 degrees 00 minutes 50 seconds East, a distance of 49.39 feet, to a point;
2. North 87 degrees 58 minutes 07 seconds East, a distance of 27.96 feet, to a point of curve;
3. Along an arc of a circle curving to the right, having a radius of 248.00 feet, an arc distance of 108.61 feet, being subtended by a chord bearing of South 79 degrees 29 minutes 05 seconds East and a chord distance of 107.75 feet, to a point of tangent;
4. South 66 degrees 56 minutes 18 seconds East, a distance of 150.51 feet, to a point of curve;
5. Along an arc of a circle curving to the left, having a radius of 298.00 feet, an arc distance of 145.27 feet, being subtended by a chord bearing of South 80 degrees 54 minutes 15 seconds East and a chord distance of 143.84 feet, to a point on the said northerly existing legal right of way line of Meetinghouse Road in its former location;

THENCE, along said northerly existing legal right of way line of the former location of Meetinghouse Road, the following two (2) courses and distance:

1. South 54 degrees 16 minutes 44 seconds West, a distance of 482.29 feet, to a point of curve;
2. Along an arc of a circle curving to the left, having a radius of 285.00 feet, an arc distance of 77.23 feet, being subtended by a chord bearing of South 45 degrees 17

minutes 37 seconds West and a chord distance of 76.99 feet, to a point, said point being the first mentioned point and PLACE OF BEGINNING.

Containing in area 96,913.14 Square Feet / 2.2248 Acres.

Being Tax Map Number: Block 5, Unit 43.

Block 5, Unit 47 - Gross Tract Area of the Beaumont Tract North

BEGINNING AT A POINT of intersection of the easterly required right of way line of DeKalb Pike, S.R. 0202, being of variable width at this point, with the northerly required right of way line of Relocated Meetinghouse Road, being of variable width at this point;

THENCE, leaving said point of beginning and continuing along the said easterly required right of way line of DeKalb Pike, S.R. 0202, the following two (2) courses and distances:

1. North 4 degrees 01 minutes 19 seconds West, a distance of 264.94 feet, to a point of curve;
2. Along an arc of a circle curving to the right, having a radius of 1520.00 feet, an arc distance of 238.75 feet, being subtended by a chord bearing of North 0 degrees 28 minutes 40 seconds East and a chord distance of 238.50 feet, to a point in line of lands now or formerly of Sebastiano Braccia (Block 7, Unit 73);

THENCE, along said lands of Braccia, lands now or formerly of James D. & Sheryl S. Samter (Block 7, Unit 127) and lands now or formerly of Ronald & Kathleen Deorzio (Block 7, Unit 115), South 48 degrees 35 minutes 56 seconds East, a distance of 864.04 feet, to a point on the said northerly required right of way line of Relocated Meetinghouse Road;

THENCE, along said northerly required right of way line of Relocated Meetinghouse Road, the following six (6) courses and distances:

1. South 53 degrees 59 minutes 20 seconds West, a distance of 47.66 feet, to a point of curve;
2. Along an arc of a circle curving to the right, having a radius of 248.00 feet, an arc distance of 255.69 feet, being subtended by a chord bearing of South 83 degrees 31 minutes 31 seconds West and a chord distance of 244.52 feet, to a point of tangent;
3. North 66 degrees 56 minutes 19 seconds West, a distance of 246.25 feet, to a point;
4. North 88 degrees 23 minutes 24 seconds West, a distance of 39.76 feet, to a point;
5. South 87 degrees 58 minutes 07 seconds West, a distance of 27.96 feet, to a point;
6. North 63 degrees 37 minutes 44 seconds West, a distance of 62.23 feet, to a point, said point being the first mentioned point and PLACE OF BEGINNING.

Containing in area 194,917.61 Square Feet / 4.4747 Acres.

Being Tax Map Number: Block 5, Unit 47.

The Consolidated Total Area of the Combined Parcels is 104.4914 Acres.

Parcel Numbers – Foulkeways at GwyneddBlock #, Unit #:Parcel #:Address:

Block 5, Unit 10	39-00-02671-00-8	1120 Meetinghouse Road
Block 5, Unit 22	39-00-03997-00-5	1529 Sumneytown Pike
Block 5, Unit 43	39-00-00886-00-2	1113 Meetinghouse Road
Block 5, Unit 47	39-00-02671-01-7	DeKalb Pike

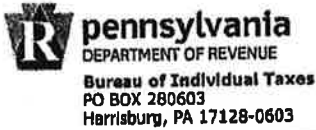
MONTGOMERY COUNTY COMMISSIONERS REGISTRY
39-00-02671-00-8 LOWER GWYNEDD TOWNSHIP
1120 MEETINGHOUSE RD
FOULKEWAYS AT GWYNEDD \$15.00
B 005 L *PART* U 010 5145 01/27/2017 TG

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
39-00-03997-00-5 LOWER GWYNEDD TOWNSHIP
1529 SUMNEYTOWN PIKE
FOULKEWAYS AT GWYNEDD \$15.00
B 005 L *PART* U 022 1101 01/27/2017 TG

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
39-00-00886-00-2 LOWER GWYNEDD TOWNSHIP
1113 MEETINGHOUSE RD
FOULKEWAYS AT GWYNEDD \$15.00
B 005 L *PART* U 043 5145 01/27/2017 TG

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
39-00-02671-01-7 LOWER GWYNEDD TOWNSHIP
DEKALB PIKE
FOULKEWAYS AT GWYNEDD \$15.00
B 005 L *PART* U 047 2208 01/27/2017 TG

REV-183 EX (2-15)



REALTY TRANSFER TAX STATEMENT OF VALUE

See reverse for instructions.

RECORDER'S USE ONLY

State Tax Paid	6032
Book Number	00600
Page Number	
Date Recorded	01/27/2017 02:49:35 PM

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) the deed is without consideration or by gift, or (3) a tax exemption is claimed. If more space is needed, please attach additional sheets. A Statement of Value (SOV) is not required if the transfer is wholly exempt from tax based on family relationship or public utility easement. However, it is recommended that a SOV accompany all documents filed for recording.

A. CORRESPONDENT - All inquiries may be directed to the following person:

Name	Christen G. Plonzio, Esq.	HAMBURG, RUBIN et al	Telephone Number:	(215) 661-0400
Mailing Address	375 Morris Road, P.O. Box 1479	City	Lansdale	State ZIP Code PA 19446

B. TRANSFER DATA

Date of Acceptance of Document	01/25/2017		
Grantor(s)/Lessor(s)	Foulkeways at Gwynedd	Telephone Number:	(215) 643-2200
Mailing Address	1120 Meetinghouse Road	Grantee(s)/Lessee(s)	Foulkeways at Gwynedd
City	Gwynedd	State	PA
ZIP Code	19436	Telephone Number:	(215) 643-2200
		Mailing Address	1120 Meetinghouse Road
		City	Gwynedd
		State	PA
		ZIP Code	19436

C. REAL ESTATE LOCATION

Street Address	see attached	City, Township, Borough	Lower Gwynedd Township
County	Montgomery	School District	Wissahickon
		Tax Parcel Number	see attached

D. VALUATION DATA

Was transaction part of an assignment or relocation? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N		
1. Actual Cash Consideration	2. Other Consideration	3. Total Consideration
1.00	+0.00	= 1.00
4. County Assessed Value	5. Common Level Ratio Factor	6. Computed Value
26,102,930.00	x 1.78	= 46,463,215.40

E. EXEMPTION DATA - Refer to instructions for exemption status.

1a. Amount of Exemption Claimed	1b. Percentage of Grantor's Interest in Real Estate	1c. Percentage of Grantor's Interest Conveyed
\$ 46,463,215.40	100.00 %	100.00 %

2. Check Appropriate Box Below for Exemption Claimed.

- ☐ Will or Intestate succession. _____ (Name of Decedent) _____ (Estate File Number)
- ☐ Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- ☐ Transfer from a trust. Date of transfer into the trust _____
If trust was amended attach a copy of original and amended trust.
- ☐ Transfer between principal and agent/straw party. (Attach complete copy of agency/straw party agreement.)
- ☐ Transfers to the commonwealth, the U.S. and instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- ☐ Transfer from mortgagor to a holder of a mortgage in default. (Attach copy of mortgage and note/assignment.)
- ☐ Corrective or confirmatory deed. (Attach complete copy of the deed to be corrected or confirmed.)
- ☐ Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- ☒ Other (Please explain exemption claimed.) Deed of Consolidation to merge parcels held in common ownership
(deeds for consolidated parcels attached).

Under penalties of law, I declare that I have examined this statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party	Date
<i>Christen G. Plonzio</i>	01/26/2017

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH REQUESTED DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.

ATTACHMENT TO
PENNSYLVANIA REALTY TRANSFER TAX STATEMENT OF VALUE
FOR
FOULKEWAYS AT GWYNEDD DEED OF CONSOLIDATION
UPPER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY

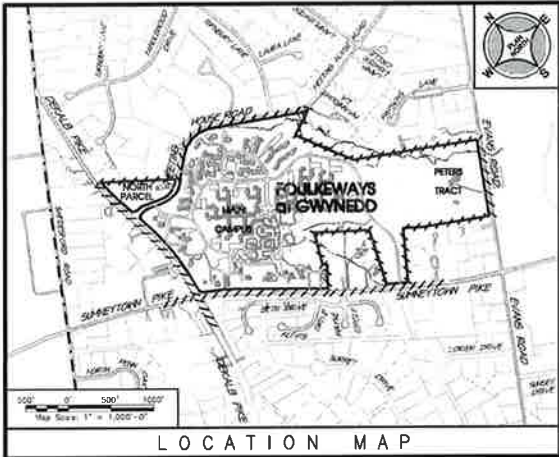
SECTION C. - REAL ESTATE LOCATION:

Street Address:

1120 Meetinghouse Road
1529 Sunnyside Pike
1113 Meetinghouse Road
DeKalb Pike

Tax Parcel Number:

39-00-02671-00-8
39-00-03997-00-5
39-00-00886-00-2
39-00-02671-01-7



CONSERVATION EASEMENT TABLE					
OWNER	BEARING	DISTANCE (FT)	SYMBOL	BEARING	DISTANCE (FT)
A1	S07°02'36"E	420.58	C1	N61°30'50"E	49.39
A2	N68°23'24"W	58.76	C2	N67°30'07"E	27.95
A3	S87°58'07"W	77.98	C3	N04°03'40"E	23.23
A4	N63°37'44"W	92.25	C4	S69°24'35"W	162.11
A5	N04°03'40"E	254.88	C5	S61°43'37"W	80.00
A6	N04°03'40"E	254.88	C6	N04°03'40"E	100.00
A7	S48°35'56"E	156.70	C7	N62°11'19"W	106.82
Area: 80,373.51 Sq. Ft. / 1.8680 Acres			Area: 14,874.08 Sq. Ft. / 0.3415 Acres		

PLAN LEGEND

- Project Boundary / Property Line
- Internal Parcel Lines
- Legal Right-of-Way Line
- Right-of-Way Centerline
- Township Zoning Boundary
- Mapred Wetlands Limit
- Mapred Wetlands Limit
- Existing Topographic Contour
- Existing Vegetation Limit
- Existing Storm Sewer Piping
- Existing Sanitary Sewer Piping
- Existing Gas Main
- Existing Water Main / Service
- Existing Overhead Utility Wires
- Existing Underground Telephone

PROJECT SOILS DATA					
Soil Type	Shades	Depth (ft)	Depth to Aqueous Table	Hydrologic Soil Group	
MA	Reddish-brown silty clay	0 to 3 percent	15-30" to Freignon	8 to 18"	C
ASV	Reddish-brown silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	D
BO	Stomachy-brown silty clay	0 to 3 percent	12-30" to Freignon	6 to 18"	D
CA	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CB	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CC	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CD	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CE	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CF	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CG	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CH	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CI	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CJ	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CK	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CL	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CM	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CN	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CO	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CP	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CQ	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CR	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CS	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CT	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CU	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CV	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CW	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CX	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CY	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
CZ	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DA	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DB	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DC	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DD	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DE	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DF	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DG	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DH	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DI	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DJ	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DK	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DL	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DM	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DN	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DO	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DP	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DQ	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DR	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DS	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DT	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DU	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DV	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DW	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DX	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DY	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C
DZ	Clayey silty clay	0 to 3 percent	15-30" to Freignon	6 to 18"	C

PARCEL OWNERSHIP SCHEDULE					
PARCEL ID	EXISTING ZONING	DEED AREA	AREA WITHIN ULY. R.O.W.	LOT AREA	RESTRICTED LANDS
MAIN CAMPUS					
Block 5, Unit 10:	WF-3A	97,7919 Ac.	1,4798 Ac.	96,3121 Ac.	3,8207 Ac.
(TP 39-00-02671-01-8)					
NORTH PARCEL					
Block 5, Unit 47:	WF-3A	4,4747 Ac.	N/A	4,4747 Ac.	0.0000 Ac.
(TP 39-00-02671-01-7)					
BEAUMONT PARCEL					
Block 5, Unit 43:	WF-3A	2,2248 Ac.	N/A	2,2248 Ac.	0.0000 Ac.
(TP 39-00-00046-00-2)					
PETERS PARCEL					
Block 5, Unit 16/75:	A	20,2597 Ac.	0.8419 Ac.	19,4178 Ac.	3,1972 Ac.
(TP 39-00-01177-00-8)					
FRANKEL PARCEL					
Block 5, Unit 9:	A	0.6923 Ac.	0.0453 Ac.	0.6470 Ac.	0.0000 Ac.
(TP 39-00-01177-00-2)					
BUDD PARCEL					
Block 5, Unit 12:	A	1,2315 Ac.	0.0285 Ac.	1,2030 Ac.	0.0000 Ac.
(TP 39-00-03978-00-8)					
MEETINGHOUSE ROAD BED					
(to the Vacated)	WF-3A	0.4284 Ac.	N/A	0.4284 Ac.	0.0000 Ac.
AREA TOTALS:		127,1033 Ac.	2,3955 Ac.	124,7078 Ac.	7,0179 Ac.

BREAKDOWN OF RESTRICTED LANDS:

UNIT 10: UNIT 16/75:

Programs: [1] 0.0000 Ac. 0.0000 Ac.

Zone A (the Study Area): 0.0000 Ac. 0.0000 Ac.

Watercourses: [2] 0.2912 Ac. 0.3145 Ac.

Waters of the Commonwealth: 0.0000 Ac. 0.3524 Ac.

Wetlands: [3] 3.7656 Ac. 0.2002 Ac.

Wetlands Buffers: [4] 2.6935 Ac. 2.3501 Ac.

Above-ground Utility: [5] 0.0000 Ac. 0.0000 Ac.

TOTAL: 3.8207 Ac. 3.1972 Ac.

COMMENTS:

[1] If identified from FEMA Flood 420953-0023-0 and 420953-0278-0 Zone A (the Study Area), dated March 3, 2016.

[2] The Watercourse areas are identified on the plans. All are generally owned by the Commonwealth.

[3] Stormwater Basin along entry drive from Sunnyside Drive is planted as a Naturalized Wetland Basin and is counted in the total area above the Wetlands.

[4] As required by Zoning Section 1208.7.



GENERAL PLAN NOTES

- EXISTING FEATURES and BASE SURVEY INFORMATION:
- The total project area depicted consists of 4 individual internal parcels under single ownership. To: Block 5, Units 10, 21, 43, and 47.
 - The Notes and Base Survey information in this plan were derived from a one field in the references below one field survey performed by Woodrow & Associates, Inc. This survey was performed without benefit of a title report and may be subject to rights of others.
 - Right-of-Way area from Sunnyside Drive (County Road), Dekalb Pike (S.R. 0202) and Meetinghouse Road (County Road) was taken in dedication by the Pennsylvania Department of Transportation in December 2008 as depicted on plans referenced in note 1 below.
 - The topography and peripheral existing features shown on these plans was derived from the following sources:
 - a. Aerial photography and additional vertical datum references provided by the PA Spatial Data Access system (PAASD). PAASD data is based on PA State Plane (NAD83) datum, NAD83 datum, NAD83 datum. Field data was collected on 03/09/2009, updated by DWRG 1/01/2010.
 - b. Existing features and proposed design data provided by PennDOT for the project area of Dekalb Pike (SR 0202) widening project.
 - c. Existing field survey work performed by Woodrow & Associates, Inc. for project areas surrounding Buildings 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 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601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1

Pennsylvania Department of Environmental Protection
Southeast Regional Office
Waterways and Wetlands Program



Pennsylvania
Department of
Environmental Protection

WAIVER OF PERMIT ACKNOWLEDGEMENT

Applicant:	<u>Phil DeBraun, C.E.O.</u>	DEP File No.:	<u>WV 4601224-004</u>
	<u>Foulkeways at Gwynedd</u>	Municipality:	<u>Lower Gwynedd Township</u>
	<u>1120 Meetinghosue Road, Gwynedd, PA 19436</u>	County:	<u>Montgomery</u>
Project Name:	<u>Foulkeways at Gwynedd</u>	Date:	<u>08/20/2024</u>

This is in reference to your request for a waiver of permit acknowledgement, received by this office on 7/27/2024.

In accordance with the provisions of Section 4 of the Dam Safety and Encroachments Act, the Act of November 26, 1978, P.L. 1375, No. 325 (as amended by Act 70), the proposed structures and/or activity is regulated by this Act.

- ☒ Please be advised that the requirements for a permit are waived for this type of structure or activity in accordance with Section 7(a) of the Dam Safety and Encroachments Act and the provisions of Section 105.12(a)(2) of Chapter 105 rules and regulations, Dam Safety and Waterway Management, as amended on February 16, 2013. Also be advised that your project is still subject to the pertinent subchapters of Chapter 105 regulations as per Section 105.12(c).
- ☒ Pursuant to Section 105.171, the owner is responsible for maintaining the structure(s) in good repair and assuring that the flood carrying capacity of the structure(s) is maintained at all times. This letter is your written approval to perform channel cleaning and to use mechanized equipment for this purpose, provided you meet the criteria and conditions set forth in the enclosed "Standards For Channel Cleaning At Bridges and Culverts" and the operation, maintenance or other requirements of Chapter 105.

The waiver of permit requirements does not give any property rights, either in real estate or material, nor any exclusive privileges, nor shall it be construed to grant or confer any right, title, easement, or interest, in, to, or over any land belonging to the Commonwealth of Pennsylvania; neither does it authorize any injury to private property or invasion of private rights.

Conditions of this Approval:

1. It is required that you secure all other approvals that may be necessary under other federal, state or local regulations and meet the construction, operation, maintenance or other requirements of Chapter 105. Streambank disturbances shall be minimized and stabilized with indigenous vegetation within ten (10) calendar days of final earthmoving to prevent erosion and provide cover, shading, and food source for aquatic life.
2. Proper erosion and sedimentation control measures are required during and after construction and the adequacy of these measures can be determined by contacting your local County Conservation District. The Conservation District can be contacted at (610) 489-4506.
3. It is recommended that you contact the Pennsylvania Fish & Boat Commission at 717-626-0228 prior to starting work and that the work be performed in such a manner to protect fish and other aquatic life. The permittee shall not perform any in-stream work in waters listed by the PAFBC as trout stocked streams and their tributaries between February 15 and June 1 without the prior written approval of the Pennsylvania Fish & Boat Commission's Division of Environmental Services, 450 Robinson Lane, Bellefonte, PA 16823-9620; telephone 814.359.5147.
4. Permittee shall monitor the stream and wetland plantings for at least five years. Reports shall be submitted to the respective DEP regional office in the spring and fall for the first two calendar years following construction and annually for three years thereafter. The monitoring reports shall contain information describing the success of the site at the time of inspection, an inventory of the surviving plant species and percent areal coverage, photographs of the replacement site with plans showing the location and orientation of each of the photographs, and a written plan to correct any deficiencies identified during the monitoring phase. Permittee shall ensure at least an 85 percent survival rate. Additional plantings and or reports may be required if an 85 percent survivability of planted species is not achieved.
5. The owner may be required to apply for a permit under this chapter if the Department, upon complaint or investigation, finds that a structure or activity which is eligible for a waiver, has a significant effect upon safety or the protection of life, health, property or the environment.
6. Upon discovery of significant changes that could compromise the integrity of the project, the permittee shall immediately notify Pennsylvania Department of Environmental Protection (DEP) Southeast Regional Office (SERO) at 484-250-5160.

Federal Approval: ☐ N/A

- ☒ Enclosed is your Clean Water Act Section 404 State Programmatic General Permit (SPGP) which provides federal authorization for the waived activity.
- ☐ Please be advised that you do not have federal authorization. You must contact the Corps of Engineers directly regarding federal authorization at 215-656-6728.

If you should have any questions concerning this matter, please contact Paul Suanlarm at 484.250.5168.

☒ Enclosure

Sincerely,



Digitally signed by Paul Suanlarm
Date: 2024.08.20 15:52:52 -04'00'

Chief, Dams and Waterways Section
Waterways and Wetlands Program
PA DEP - Southeast Regional Office

cc: PFBC - SERO
USACOE, ☒ Phila. District ☐ Balt. District
Chester CCD
Municipality: East Marlborough Township
Author: Paul Suanlarm

PASPGP-6 PERMIT COMPLIANCE, SELF-CERTIFICATION

PASPGP-6 General Condition 34 requires submittal of a signed certification documenting the completion of the authorized activity and implementation of any required compensatory mitigation. This certification should indicate if the success of any required permittee-responsible mitigation was completed in accordance with the permit conditions. If credits from a mitigation bank or in-lieu fee program are used to satisfy the compensatory mitigation requirements, the certification must include the documentation required by 33 CFR 332.3(l)(3) to confirm that the permittee secured the appropriate number and resource type of credits. The signature of the permittee is also required to certify the completion of the activity and mitigation. The completed certification document must be submitted to the district engineer within 30 days of completion of the authorized activity or the implementation of any required compensatory mitigation, whichever occurs later. Below are Corps District mailing and email addresses, and a list of the information to be included as part of the certification submittal.

Project Name: Foulkeways at Gwynedd

Applicant Name: Foulkeways at Gwynedd

PADEP Permit No: WV4601224-004

Date of Issuance: 8/20/2024

ACOE Permit No.:

Date of Issuance:

Waterway: UNT to Trewellyn Creek (TSF, MF)

County: Montgomery

Corps District:

☐ **Baltimore District**
U.S. Army Corps of Engineers State College Field Office
1631 South Atherton Street
Suite 101
State College, Pennsylvania 16801-6260
Email: NAB-Regulatory@usace.army.mil

☒ **Philadelphia District**
U.S. Army Corps of Engineers
Wanamaker Building
100 Penn Square East Regulatory Branch
Philadelphia, Pennsylvania 19107-3390
Email: PhiladelphiaDistrictRegulatory@usace.army.mil

☐ **Pittsburgh District**
U.S. Army Corps of Engineers, Regulatory Branch
William S. Moorhead Federal Building, 20th floor
1000 Liberty Avenue
Pittsburgh, Pennsylvania 15222-4186
Email: Regulatory.Permits@usace.army.mil

The following information is required by PASPGP-6 General Condition 34:

- ☐ Date authorized work commenced.
- ☐ Date authorized work completed.
- ☐ Was all work, including any required mitigation, completed in accordance with your PASPGP-6 authorization, explain any deviations?
- ☐ Was compensatory wetland/stream mitigation accomplished through an approved Mitigation Bank and/or In-Lieu fee program, if yes, attach proof of transaction, including resource type and number of credits purchased? Was permittee compensatory wetland and/or stream mitigation required, if yes, was the required compensatory mitigation completed in accordance with the permit and mitigation plan requirements?
- ☐ Sign and date certification.

July 1, 2021

PENNSYLVANIA STATE PROGRAMMATIC GENERAL PERMIT – 6

(PASPGP-6)

July 1, 2021

Please note: the full text of the PASPGP-6 may be viewed on the Baltimore District web site at <http://www.nab.usace.army.mil/Missions/Regulatory/PermitTypesandProcess.aspx> or by calling the Corps at 814-235-0570

Permittee: Foulkeways at Gwynedd
Date of PASPGP-6 Verification: 8/20/2024
State Authorization(s): WV4601224-004

Corps District:

☐ **Baltimore District**
U.S. Army Corps of Engineers State College Field Office
1631 South Atherton Street
Suite 101
State College, Pennsylvania 16801-6260
Email: NAB-Regulatory@usace.army.mil

☒ **Philadelphia District**
U.S. Army Corps of Engineers
Wanamaker Building
100 Penn Square East Regulatory Branch
Philadelphia, Pennsylvania 19107-3390
Email: PhiladelphiaDistrictRegulatory@usace.army.mil

☐ **Pittsburgh District**
U.S. Army Corps of Engineers, Regulatory Branch
William S. Moorhead Federal Building, 20th floor
1000 Liberty Avenue
Pittsburgh, Pennsylvania 15222-4186
Email: Regulatory.Permits@usace.army.mil

It has been determined that your proposed project, which includes the discharge of dredged and/or fill material and/or the placement of structures into waters of the United States, including wetlands, qualifies for federal authorization under the provisions of Section 404 of the Clean Water Act and /or Section 10 of the River and Harbor Act of 1899, under the terms and conditions of the PASPGP-6.

All activities authorized under PASPGP-6 must comply with all conditions of the authorization, including General, Procedural, and Special Conditions. Failure to comply with all the conditions of the authorization, including project special conditions, will constitute a permit violation and may be subject to criminal, civil, or administrative penalties, and /or restoration.

The authorized activity must be performed in compliance with the following General Conditions to be authorized under PASPGP-6:

General Conditions:

1. Permit Conditions: The permittee shall conduct all work and activities in waters of the United States, including jurisdictional wetlands, in strict compliance with the approved authorization/verification including all final maps, plans, profiles, and design specifications.
2. 401 State Water Quality Certification (SWQC) Conditions: The permittee shall comply with the following conditions unless a project specific SWQC is required as identified below:
 - a. Prior to beginning any activity authorized by the Corps under PASPGP-6, the applicant shall obtain from the Department all necessary environmental permits, authorizations or approvals, and submit to the Department environmental assessments and other information necessary to obtain the permits and approvals, as required under state law, including The Clean Streams Law (35 P.S. §§ 691.1—691.1001), the Dam Safety and Encroachments Act (32 P.S. §§ 693.1—693.27), the Surface Mining Conservation and Reclamation Act (52 P.S. §§ 1396.1—1396.19b), the Noncoal Surface Mining Conservation and Reclamation Act (52 P.S. §§ 3301—3326), the Bituminous Mine Subsidence and Land Conservation Act (52 P.S. §§ 1406.1—1406.21), the Coal Refuse Disposal Control Act (52 P.S. §§ 30.51—30.66), the Solid Waste Management Act (35 P.S. §§ 6018.101—6018.1003), the Hazardous Sites Cleanup Act (35 P.S. §§ 6020.101—6020.1305), the Land Recycling and Environmental Remediation Standards Act (35 P.S. §§ 6026.101—6026.908), 58 Pa.C.S. §§ 3201—3274 (related to development), the Air Pollution Control Act (35 P.S. §§ 4001—4015), the Storage Tank and Spill Prevention Act (35 P.S. §§ 6021.101—6021.2104) and the regulations promulgated thereunder, including 25 Pa. Code Chapters 16, 71, 77, 78, 78a, 86—91, 92a, 93, 95, 96, 102, 105, 106, 127, 245 and 260a—299.
 - b. Fill material may not contain any wastes as defined in the Solid Waste Management Act.
 - c. Applicants and projects eligible for the PASPGP-6 must obtain all state permits or approvals, or both, necessary to ensure that the project meets the state's applicable water quality standards, including a project-specific SWQC.

Note: As part of PADEP's issuance of 401 SWQC for PASPGP-6 on February 12, 2021, the following was included to clarify the meaning of this condition:

This 401 SWQC is only available for projects that do not require any federal authorization other than authorization from the Corps under Section 404 of the Act or Section 10 of the Rivers and Harbors Act of 1899. Applicants seeking authorization for activities not eligible for coverage under PASPGP-6, or for activities that require another federal authorization (such as an interstate natural gas pipeline, a gas storage field or a nuclear or hydroelectric project requiring authorization by another federal agency), must submit a request to the Department for a project-specific SWQC. The scope of the issuance of this SWQC is related only to the scope and applicability of the proposed PASPGP-6. Any activity or project requiring the Department to

issue 401 SWQC that is beyond the scope of the proposed PASPGP-6 or other programmatically issued SWQC (e.g. Nationwide Permits) will require the applicant to obtain a project-specific SWQC from the Department. This would include any activity or project requiring a SWQC associated with an authorization, permit or license issued by a federal agency, such as Federal Energy Regulatory Commission or Nuclear Regulatory Commission. Such activities or projects include, but are not limited to, an interstate natural gas pipeline, a gas storage field or a nuclear or hydroelectric project.

3. Terms and Conditions Related to Coastal Zone Management Act (CZMA) Certification: For those projects located within Pennsylvania's Coastal Zones, Non-Reporting Activities have General CZMA consistency determination and Reporting Activities must obtain individual CZMA consistency determination (see General Condition 30(b)).
4. Aquatic Life Movements: No activity may substantially disrupt the necessary life cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. All permanent and temporary crossings of waterbodies shall be suitably culverted, bridged, or otherwise designed and constructed to maintain low flows to sustain the movement of those aquatic species. If a bottomless crossing cannot be used, then culverts should be designed, constructed, and appropriately depressed, if possible, below the stream invert to minimize adverse effects to aquatic life movements.
5. Threatened and Endangered Species: By signing the Pennsylvania Natural Diversity Inventory (PNDI) receipt, the permittee has agreed to comply with all avoidance measures identified by the PNDI receipt. The applicant may also agree in writing to comply with all avoidance measures identified in U.S. Fish and Wildlife Service (USFWS) correspondence, including IPaC, as part of the application. To ensure compliance with the Endangered Species Act (ESA), those avoidance measures associated with federally listed, threatened, or endangered species are a condition of the PASPGP-6 verification, unless modified by the Corps.

If an activity is verified under the PASPGP-6, and a federally listed, threatened, or endangered species, or proposed species, is subsequently found to be present, all work must cease, and the Corps and USFWS (or National Marine Fisheries Service (NMFS)) must be notified by telephone immediately (contact information below). The PASPGP-6 verification is automatically suspended without additional notification to the permittee and will not be re-issued until consultation pursuant to Section 7 of the ESA is concluded and adverse effects to federally listed, threatened, endangered, and proposed species are avoided, or incidental take authorization issued.

Furthermore, persons have an independent responsibility under Section 9 of the ESA to avoid any activity that could result in the "take" of a federally listed species.

USFWS:

Pennsylvania Field Office

110 Radnor Rd; Suite 101

State College, PA 16801

office phone: 814 234-4090

fax: 814-234-0748 or 814 206-7452

NMFS:

Ms. Jennifer Anderson

Assistant Regional Administrator

Protected Resources Division NOAA Fisheries

55 Greater Republic Drive

Gloucester, Massachusetts 01930

6. Spawning Areas: The permittee shall comply with all time-of-year-restrictions (see below) associated with spawning areas as set forth by the Pennsylvania Fish and Boat Commission (PFBC) or other designated agency. Discharges or structures in spawning or nursery areas shall not occur during spawning seasons unless written approval is obtained from the PFBC or another designated agency. In addition, work in areas used for other time sensitive life span activities of fish and wildlife (such as hibernation or migration) may necessitate the use of seasonal restrictions for avoidance of adverse impacts to vulnerable species. Impacts to these areas shall be avoided or minimized to the maximum extent practicable during all other times of the year.

Wild Trout	October 1 - December 31
Class A Wild Trout	October 1 - April 1

List of Trout Streams found at:

<https://www.fishandboat.com/Fish/PennsylvaniaFishes/Trout/Pages/TroutWaterClassifications.aspx>.

7. Shellfish Production: No discharge of dredged and/or fill material and/or the placement of structures may occur in areas of concentrated shellfish production, unless the discharge is directly related to an authorized shellfish harvesting activity.
8. Adverse Effects From Impoundment: If the regulated activity creates an impoundment of water, the adverse effects on the aquatic system caused by the accelerated passage of water and/or the restriction of its flow, including impacts to wetlands, shall be minimized to the maximum extent practicable.
9. Management of High Flows: To the maximum extent practicable, the preconstruction course, condition, capacity, and location of open waters must be maintained for each activity, including stream channelization, storm water management activities, and temporary and permanent road crossings, except as provided below. The activity must be constructed to withstand expected high flows. The activity must not restrict or impede the passage of normal or high flows unless the primary purpose of the activity is to impound water or manage high flows. The activity may alter the pre-construction course, condition, capacity,

and location of open waters if it benefits the aquatic environment (e.g., stream restoration or relocation activities).

10. Erosion and Sediment Controls: Appropriate soil erosion and sediment controls, in accordance with state regulations, must be used and maintained in effective operating condition during construction, and all exposed soil and other fills, as well as any work below the ordinary high water mark or high tide line, must be permanently stabilized at the earliest practicable date. Permittees are encouraged to perform work within waters of the United States, including jurisdictional wetlands, during periods of low-flow or no-flow, or during low tides.
11. Suitable Material: No activities, including discharges of dredged and/or fill material or the placement of structures, may consist of unsuitable material (i.e., asphalt, trash, debris, car bodies, etc.). No material discharged shall contain toxic pollutants in amounts that would violate the effluent limitation standards of § 307 of the Clean Water Act (CWA).
12. Temporary Fill and Structures: Temporary fill (i.e., access roads and cofferdams) and structures in waters and/or wetlands authorized by PASPGP-6 shall be properly constructed and stabilized during use to prevent erosion and accretion. Temporary fill in wetlands shall be placed on geotextile fabric laid on existing wetland grade, unless such requirement is specifically waived by the Corps. Whenever possible, rubber or wooden mats should be used for equipment access through wetlands to the project area. Temporary fills and structures shall be removed, in their entirety, to an upland site, and suitably contained to prevent erosion and transport to a waterway or wetland. Temporarily impacted areas shall be restored to their preconstruction contours, elevations, and hydrology, and revegetated with a wetland seed mix that contains non-invasive, native species, to the maximum extent practicable. Unless approved by the Corps, the restoration work must be completed within 30 days of the date the temporary fill/structure is no longer needed.
13. Equipment Working in Wetlands: Heavy equipment working in wetlands or mudflats must be placed on mats, or other measures must be taken to minimize soil disturbance.
14. Installation and Maintenance: Any regulated structure or fill authorized by PASPGP-6 shall be properly installed and maintained to ensure public safety.
15. PASPGP-6 Authorization:
 - a. PASPGP-6 expires June 30, 2026, unless suspended or revoked.
 - b. Verifications of PASPGP-6 expire June 30, 2026, unless the PASPGP-6 permit is suspended, revoked, or the PADEP authorization expires, whichever date occurs sooner. Activities authorized under PASPGP-6 that have commenced construction or are under contract to commence construction will remain authorized provided the activity is completed within 12 month of the date of the PASPGP-6 expiration, modification, or revocation; or until the expiration date of the project specific verification, whichever is sooner.

16. One-Time Use: A PASPGP-6 verification is valid to construct the project, or perform the activity, one time only, except for PASPGP-6 verifications specifically issued for reoccurring maintenance activities.
17. Water Supply Intakes: No regulated activity may occur in the proximity of a public water supply intake and adversely impact the public water supply. In order to minimize the effects of intakes on anadromous fish eggs and larvae, and oyster larvae, intake structures should be equipped with screening (with mesh size no larger than 2 mm) of wedge wire or another material of equal or better performance. Where feasible, intakes should be located away from spawning or nursery grounds, or to minimize the impingement on, or entrainment of, eggs or larvae. In addition, intake velocities should not exceed 0.5 ft/sec.
18. Historic Properties: For all activities verified under a PASPGP-6, upon the unanticipated discovery of any previously unknown historic properties (historic or archeological), all work must cease immediately, and the permittee must notify the State Historic Preservation Officer (SHPO) and the Corps. The Corps will contact the tribes with whom they routinely consult, within 24 hours in accordance with each District's tribal consultation process. PASPGP-6 may be re-verified, and special conditions added if necessary, after an effect's determination on historic properties and/or tribal resources is made, in consultation with the SHPO, the tribes and other interested parties. The PASPGP-6 verification may be modified and/or rescinded for the specific activity if an adverse effect on the historic property cannot be avoided, minimized, or mitigated.
19. Tribal Rights: No activity or its operation may impair reserved tribal rights, including, but not limited to, reserved water rights and treaty fishing and hunting rights.
20. Corps Civil Works Projects: The PASPGP-6 does not authorize any work which will interfere with an existing or proposed Corps Civil Works project, or any Corps-owned or managed property or easement (i.e., flood control projects, dams, reservoirs, and navigation projects), unless specifically approved by the Corps in writing. Pursuant to 33 U.S.C 408, a review by, or permission from the Corps is required for activities that will alter or temporarily or permanently occupy or use a Corps federally authorized Civil Works project. Any activity that requires Section 408 permission and/or review is not authorized by PASPGP-6 until the appropriate Corps office issues the Section 408 permission or completes its review to alter, occupy, or use the Corps Civil Works project, and Corps issues a written PASPGP-6 verification.
21. Navigation: No activity verified under PASPGP-6 may cause more than minimal adverse effect on navigation. No attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to the activity authorized herein. In addition, activities that require temporary causeways that prohibit continued navigational use of a waterway (i.e., temporary causeways extending greater than $\frac{3}{4}$ the width across the waterway) shall be removed in their entirety upon completion of their use. Any safety lights and signals prescribed by the U.S. Coast Guard (USCG), through regulation or otherwise, must be installed and maintained at the permittee's expense on authorized facilities in navigable waters of the United States. The permittee understands and agrees that, if further operations by the United States require the removal, relocation, or other alteration, of the

structure or work herein authorized, or if, in the opinion of the Secretary of the Army or an authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

22. Inspections: The permittee shall allow a District Engineer or an authorized representative(s) to make periodic inspections at any time deemed necessary in order to ensure that the work is being performed in accordance with all the terms and conditions of PASPGP-6. The District Engineer may also require post-construction engineering drawings (as-built plans) for completed work.
23. Modifications of Prior Verifications: Any proposed modification of a previously verified Single and Complete project that results in a change in the verified impact to, or use of waters of the United States, including jurisdictional wetlands, must be approved by PADEP, or the Corps if applicable. Corps written approval is required if the prior verification was reviewed by the Corps, or if the proposed modification is a Reporting Activity under PASPGP-6. Project modifications that cause a Single and Complete Project to exceed 0.5 acre of loss of waters of the United States, including jurisdictional wetlands (except those identified in Part II A.2. a. and b.), or greater than 1,000 linear feet of permanent jurisdictional stream loss (except those identified in Part II A.2. a and b.), are not eligible for PASPGP-6 and will be forwarded to the Corps for review under an alternative permit review procedure.
24. Recorded Conservation Instruments: As per Part III.D.27 and Part III.E.8 of this permit, proposed Draft Conservation Instruments may be submitted by the applicant as part of the permit application package for review and approval. When such proposed Conservation Instruments are submitted by the applicant, proof of the recorded deed restriction, conservation easement, or deed restricted open space area shall be forwarded to the appropriate Corps District and appropriate PADEP offices, prior to the initiation of any permitted work, unless specifically waived by the Corps in writing. Conservation Instrument templates can be found at:
<http://www.nab.usace.army.mil/Missions/Regulatory/PermitTypesandProcess.aspx>
25. Property Rights: PASPGP-6 does not obviate the need to obtain other federal, state, or local authorizations required by law, nor does the permit grant any property rights or exclusive privileges or authorize any injury to the property or rights of others.
26. Navigable Waters of the United States (Section 10 Waters):

In addition to the other general conditions, the following conditions are applicable for activities in the eligible navigable waters of the United States identified in Appendix B:

- a. For aerial transmission lines, the following minimum clearances are required for aerial electric power transmission lines crossing navigable waters of the United States. These clearances are related to the clearances over the navigable channel provided by the

existing fixed bridges, or the clearances which would be required by the USCG for new fixed bridges, in the vicinity of the proposed aerial transmission line. These clearances are based on the low point of the line under conditions producing the greatest sag, taking into consideration temperature, load, wind, length of span, and type of supports as outlined in the National Electric Safety Code:

Nominal System Voltage (kV)	Minimum Additional Clearance (ft.) Above Clearance Required for Bridges
115 and below	20
138	22
161	24
230	26
350	30
500	35
700	42
750-765	45

- i. Clearances for communication lines, stream gauging cables, ferry cables, and other aerial crossings must be a minimum of ten feet above clearances required for bridges, unless specifically authorized otherwise by the District Engineer.
 - ii. Corps regulation ER 1110-2-4401 prescribes minimum vertical clearances for power communication lines over Corps lake projects. In instances where both regulation and ER 1110-2-4401 apply, the greater minimum clearance is required.
- b. Encasement: The top of any cable, encasement, or pipeline shall be located a minimum of three feet below the existing bottom elevation of the streambed and shall be backfilled with suitable heavy material to the preconstruction bottom elevation. Where the cable, encasement, or pipeline is placed in rock, a minimum depth of one foot from the lowest point in the natural contour of the streambed shall be maintained. When crossing a maintained navigation channel, the requirements are a minimum of eight feet between the top of the cable, encasement, or pipeline and the authorized depth of the navigation channel. For maintained navigational channels, where the utility line is placed in rock, a minimum depth of two feet from the authorized depth of the navigation channel shall be maintained.
- c. As-Built Drawings: Within 60 days of completing an activity that involves an aerial transmission line, submerged cable, or submerged pipeline across a navigable water of the United States (i.e., Section 10 waters), the permittee shall furnish the Corps and National Oceanic and Atmospheric Administration, Nautical Data Branch, N/CS26, Station 7317, 1315 East-West Highway, Silver Spring, Maryland, 20910 with professional, certified as-built drawings, to scale, with control (i.e., latitude/longitude, state plane coordinates), depicting the alignment and minimum clearance of the aerial wires above the mean high water line at the time of survey or depicting the elevations and alignment of the buried cable or pipeline across the navigable waterway.

d. Aids to Navigation: The permittee must prepare and provide for USCG approval, a Private Aids to Navigation Application (CG-2554). The application can be found at: https://media.defense.gov/2017/Nov/20/2001846135/-1/-1/0/CG_2554.pdf. The completed application must be sent to the appropriate USCG office as indicated below:

- i. Baltimore/Philadelphia Districts: Commander Fifth Coast Guard District, 431 Crawford Street, Room 100, Portsmouth, VA 23704-5504, Attn: Mr. Matthew Creelman; by email to Matthew.K.Creelman2@uscg.mil; or by FAX to (757) 398-6303.
- ii. Pittsburgh District: Eighth Coast Guard District, Sector Ohio Valley, USCGC Osage, 300 McKown Ln, Sewickley, PA 15143; phone (412) 741-1180

Within 30 days of the date of receipt of the USCG approval, the permittee must provide a copy to the appropriate Corps district office.

27. PADEP Waiver: If the Corps determines a specific activity, which is eligible for a PADEP Non-reporting Waiver, has a significant adverse impact on life, property or important aquatic resources, the Corps may require the owner to modify the activity to eliminate the adverse condition or to obtain a Corps Individual Permit. In accordance with 33 CFR 325.7(a), "The District Engineer may reevaluate the circumstances and conditions of any permit, including regional permits, either on his own motion, at the request of the permittee, or a third party, or as the result of periodic progress inspections, and initiate action to modify, suspend, or revoke a permit as may be made necessary by considerations of the public interest. In the case of regional permits, this reevaluation may cover individual activities, categories of activities, or geographic areas."
28. Corps Water Releases: For projects located downstream of a Corps dam, the permittee should contact the appropriate Corps, Area Engineer Office, to obtain information on potential water releases and to provide contact information for notification of unscheduled water releases. It is recommended that no in-water work be performed during periods of high-water flow velocities. Any work performed at the project site is at the permittee's own risk.
29. State Authorization: The activity must receive state authorization. For the purpose of this requirement, any one of the following is considered as a state authorization:
 - a. A PADEP Chapter 105 Water Obstruction and Encroachment Permit, including PADEP approved Environmental Assessment pursuant to 25 Pa. Code § 105.15; or
 - b. A PADEP GP issued pursuant to 25 Pa. Code § 105.441-105.449; or
 - c. A PADEP approved Environmental Assessment for activities not otherwise requiring a PADEP permit pursuant to 25 Pa. Code § 105.12; or
 - d. A PADEP Dam Permit, including maintenance or repairs of existing authorized dams, including maintenance dredging; or

- e. A PADEP Emergency Permit issued pursuant to 25 Pa. Code § 105.64; or
 - f. A PADEP permit for the construction of a bridge or culvert which allows for maintenance activities of bridges and culverts; or
 - g. A PADEP Chapter 105 Dam Safety and Encroachment Enforcement Action.
30. Other Authorizations: Additional federal, state, and/or local authorizations or approvals may be required and where applicable must be secured by the applicant, prior to initiating any discharge of dredged and/or fill material, and/or the placement of structures into waters of the United States, including jurisdictional wetlands. These approvals include, but are not limited to:
- a. A project specific 401 SWQC issued by PADEP or considered waived, consistent with Section 401 of the CWA.

PADEP has issued 401 SWQC for activities authorized by PASPGP-6 with conditions. See General Condition 2 for conditions and for identification when a project specific 401 SWQC or a waiver thereof is required. If the permittee cannot comply with all of the conditions of the 401 SWQC previously issued for PASPGP-6, then the permittee must obtain a project specific 401 SWQC or waiver for the proposed discharge in order for the activity to be authorized by PASPGP-6. The Corps or certifying authority may require additional water quality management measures to ensure that the authorized activity does not result in more than minimal degradation of water quality; and

- b. Reporting Activities located within the designated CZM Areas. Require a CZMA consistency determination issued by PADEP or a presumption of concurrence pursuant to Section 307 of the Federal Coastal Zone Management Act.

The District Engineer or PADEP may require additional measures to ensure that the authorized activity is consistent with state CAM requirements; and

- c. Fills within the 100-year floodplains. This activity must comply with applicable Federal Emergency Management Agency approved state or local floodplain management requirements.
31. Federal Liability: In issuing this permit and any subsequent activity verification, the federal government does not assume any liability, including but not limited to the following:
- a. Damages to permitted project or users, thereof, as a result of other permitted or unpermitted activities or from natural causes;
 - b. Damages to the permitted project or uses, thereof, as a result of current or future activities undertaken by or on behalf of the United States in the public interest;
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit;

- d. Design or construction deficiencies associated with the permitted work; and
- e. Damage claims associated with any future modification, suspension, or revocation of the PASPGP-6.

32. False and Incomplete Information: The Corps may modify or rescind a previously issued project specific verification, if it determines that the original verification was issued based on false, incomplete and/or inaccurate information; or other information becomes available whereby such action is necessary to ensure compliance with other federal laws and regulations.

33. Anadromous Fish Waters: To protect anadromous fish during their migration and spawning, no work can take place in the following anadromous fish waterways listed in the table below from March 15 to June 30 unless approved in writing by the Corps. Questions on the applicability of this condition should be directed to the Corps, Philadelphia District.

<u>Waterway</u>	<u>Downstream extent</u>	<u>Upstream extent</u>	<u>Upstream Latitude (N)</u>	<u>Upstream Longitude (E)</u>
<u>Delaware River in Pennsylvania (including W. Branch)</u>	<u>Rte. 220 Bridge</u>	<u>PA/NY Border</u>	<u>41.999448</u>	<u>-75.359573</u>
<u>Lehigh River and adjacent canals</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the Cementon Dam</u>	<u>40.690275</u>	<u>-75.503800</u>
<u>Little Lehigh Creek</u>	<u>confluence with Lehigh River</u>	<u>500 feet upstream of the lowermost dam</u>	<u>40.596318</u>	<u>-75.475570</u>
<u>Hokendauqua Creek</u>	<u>confluence with Lehigh River</u>	<u>State Route 4014 (West Scenic Drive)</u>	<u>40.793273</u>	<u>-75.439262</u>
<u>Bushkill Creek</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the lowermost dam</u>	<u>40.694859</u>	<u>-75.212406</u>
<u>Waterway</u>	<u>Downstream extent</u>	<u>Upstream extent</u>	<u>Upstream Latitude (N)</u>	<u>Upstream Longitude (E)</u>
<u>Brodhead Creek</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the Stroudsburg Water Co. Dam</u>	<u>41.018667</u>	<u>-75.201063</u>
<u>Bush Kill</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of Resica Falls</u>	<u>41.111235</u>	<u>-75.095824</u>
<u>Lackawaxen River</u>	<u>confluence with Delaware River</u>	<u>500 feet upstream of the Woolen Mill Dam</u>	<u>40.984304</u>	<u>-75.191569</u>
<u>Dyberry Creek</u>	<u>confluence with Lackawaxen River</u>	<u>Jadwin Dam</u>	<u>41.612088</u>	<u>-75.263391</u>
<u>Darby Creek</u>	<u>Confluence with Delaware River</u>	<u>500 feet upstream of the confluence of Cobbs Creek and Darby Creek</u>	<u>39.907278</u>	<u>-75.255432</u>

<u>Schuylkill River</u>	<u>Fairmount Dam</u>	<u>500 feet upstream of the Bingaman St. Bridge in Reading, Pennsylvania</u>	<u>40.326411</u>	<u>-75.934417</u>
<u>Neshaminy Creek</u>	<u>Confluence with Delaware River</u>	<u>500 feet upstream of the lowermost dam</u>	<u>40.143369</u>	<u>-74.915828</u>

34. Compliance Certification: Each permittee who receives a written PASPGP-6 verification letter from the Corps must provide a signed certification documenting completion of the authorized activity and implementation of any required compensatory mitigation. This certification should indicate if the success of any required permittee-responsible mitigation was completed in accordance with the permit conditions. If credits from a mitigation bank or in-lieu fee program are used to satisfy the compensatory mitigation requirements, the certification must include the documentation required by 33 CFR 332.3(l)(3) to confirm that the permittee secured the appropriate number and resource type of credits. The signature of the permittee is also required to certify the completion of the activity and mitigation. The completed certification document must be submitted to the District Engineer within 30 days of completion of the authorized activity or the implementation of any required compensatory mitigation, whichever occurs later.

35. Migratory Birds and Bald and Golden Eagles: The permittee is responsible for ensuring that an action authorized by PASPGP-6 complies with the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act. The permittee is responsible for contacting the appropriate local office of the USFWS to determine what measures, if any, are necessary or appropriate to reduce adverse effects to migratory birds or eagles, including whether "incidental take" permits are necessary and available under the Migratory Bird Treaty Act or Bald and Golden Eagle Protection Act for a particular activity. The permittee should contact the appropriate local office of the USFWS to determine if such authorizations are required for a particular activity. Information on the conservation of migratory birds and Bald and Golden Eagles can be found at the following USFWS web site:

<http://www.fws.gov/northeast/pafo/>

36. Migratory Bird Breeding Areas: Activities in waters of the United States, including jurisdictional wetlands, that serve as breeding areas for migratory birds must be avoided to the maximum extent practicable. Recommendations pertaining to the conservation of migratory birds can be found at the following USFWS web site:

<http://www.fws.gov/northeast/pafo/>


By Authority of the Secretary of the Army:

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Date: 2021.06.24 16:54:15 -04'00'

John T. Litz
Colonel, U.S. Army
Commander and District Engineer
Baltimore District

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David C. Park
Lieutenant Colonel, Corps of Engineers
District Commander
Philadelphia District



Andrew J. Short
Colonel, Corps of Engineers
District Engineer
Pittsburgh District



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

May 16, 2025

File No. 25-00572

Mimi Gleason, Township Manager
Lower Gwynedd Township
1130 N Bethlehem Pike
P.O. Box 625
Spring House, PA 19477

Reference: Foulkeways – Storm Pipe
TMP #39-00-02671-00-8
Conditional Use Application – Review 1

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the conditional use application for the above-referenced project. Upon review we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors:

I. Submission

A. Conditional Use Grading Plan, as prepared by Woodrow & Associates, Inc., dated June 18, 2024.

II. Project Description

The subject tracts (TMP #'s 39-00-03991-00-2, 39-00-02671-00-8, 39-00-03976-00-8, 39-00-01177-00-8, 39-00-00886-00-2 and 39-00-02671-01-7), known as Foulkeways at Gwynedd, are located in the MF-3A Multifamily Residential District. The property includes various residential units, paved access drives and parking areas throughout the 117-acre parcel. The site currently takes access from Sumneytown Pike and Meetinghouse Road.

The plans propose the installation of approximately 140 feet of storm pipe within an existing drainage channel in preparation for the construction of a future fitness center. Additional improvements include the installation of three storm manholes and an endwall.

III. Review Comments

A. Conditional Use

We note that the minimum riparian and wetland buffer shall be 25 feet. Any disturbance within a riparian and/or wetland buffer area shall be subject to conditional use approval from the Lower Gwynedd Township Board of Supervisors. As such, the Applicant has submitted the above referenced Conditional Use Application for review. Upon review, we note that the plans propose the installation of storm pipe within an existing drainage channel and floodway. We offer the following comments below related to the plans. The comments contained in this section should not be misconstrued as requirements, but rather discussion points for the Board's consideration when evaluating the conditional use.

1. The Applicant will be required to obtain the appropriate general permit from DEP for the proposed floodway disturbance.
2. The Applicant will be required to submit a grading permit for review and approval.

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462 | Phone: 610-489-4949 | Fax: 610-489-8447

If you have any questions regarding the above, please contact this office

Sincerely,

A handwritten signature in dark ink, appearing to read "Edward F. Brown III".

Edward Brown, P.E.
Project Manager
Gilmore & Associates, Inc.

EB/sl

cc: Jamie Worman Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
Neil Stein, Esq., Township Solicitor
Tim Woodrow, P.E., Woodrow & Associates, Inc.
Jim Hersh, P.E., Vice President, Gilmore & Associates, Inc.

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

May 15, 2025

Ms. Jamie Worman, Assistant Township Manager
Lower Gwynedd Township
1130 North Bethlehem Pike
Post Office Box 625
Spring House, Pennsylvania 19477

Re: MCPC #25-0093-001
Plan Name: Foulkeways Riparian Buffer Piping Conditional Use
Situate: Meetinghouse Road (cross street: Sumneytown Pike)
Lower Gwynedd Township

Dear Ms. Worman:

We have reviewed the above-referenced conditional use plan as you requested on May 5, 2025. We forward this letter as a report of our review.

BACKGROUND

The applicant, Foulkeways at Gwynedd, is proposing to pipe 160 linear feet of a tributary of the Trewellyn Creek. The tributary piping would impact the riparian corridor buffer, which the township's zoning permits by conditional use approval, provided that there are no reasonable engineering alternatives (per § 1298.17(c)). The property is located in the MF-3-A Multifamily Residential District.

COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with the county's comprehensive plan, *MONTCO 2040: A Shared Vision*, which shows the area located in the "Suburban Residential" future land use area. Suburban Residential areas consist primarily of single family homes and institutional uses. Development should match the character of the surrounding neighborhood and environmentally sensitive land should be preserved.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and township may wish to consider prior to conditional use approval. Our comments are as follows:



REVIEW COMMENTS

CONDITIONAL USE

The conditional use application includes a reference to the redevelopment of the fitness center building. It is our understanding that the applicant proposes to pipe the tributary in planning for the potential future expansion of the fitness center as part of the redevelopment. We defer to the township solicitor to determine if a building expansion would meet the criteria in Section 1298.17.

- A. Riparian Buffer Mitigation. If it is necessary to pipe the tributary for the redevelopment of the fitness center, the township requires in the zoning that wetlands, streams, and riparian buffers that are destroyed by development “shall be replaced elsewhere on the site... so that the total predevelopment area shall not be reduced” (§ 1298.17(c)). We recommend finding locations on the property to plant vegetation that is appropriate for wetland and riparian corridor habitats to support ecological health.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant’s proposal but we believe that our suggested revisions will better achieve Lower Gwynedd’s planning objectives for development in environmentally sensitive riparian corridors.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (MCPC # 25-0093-001) on any plans submitted for final recording.

Sincerely,



Claire Warner, Senior Community Planner
Claire.Warner@montgomerycountypa.gov – 610-278-3755

- c: Christen Pionzio, Applicant’s Representative
Woodrow & Associates, Applicant’s Representative
Mimi Gleason, Township Manager
Craig Melograno, Chairman, Planning Commission

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant’s Proposed Site Plan

ATTACHMENTS A & B



Foulkeways Riparian Buffer Piping
Conditional Use
MCPC#250093001

Montgomery
County
Planning
Commission
Montgomery County Courthouse - Planning Commission
PO Box 311, Norristown PA 19384-0311
(610) 278-3722 (F) 610-278-3941
www.montcopa.org/planning
Aerial photography provided by GeoEye

0 250 500 1,000 Feet





**LOWER GWYNEDD TOWNSHIP
PLANNING COMMISSION
Minutes of May 21, 2025**

Present: Rich Valiga, Vice-Chair
Maureen Nunn
Danielle Porreca
Michael Mrozinski
Craig Adams

Patty Furber, B&Z Administrator
Ed Brown, Gilmore & Associates

Absent: Craig Melograno, Chairman, Rusty Beardsley

Call to Order:

The meeting of the Lower Gwynedd Township Planning Commission was called to order at 7:00 PM.

Approval of Minutes: March 19, 2025

A motion was made by Ms. Porreca and seconded by Mr. Adams to approve the minutes of the Lower Gwynedd Township Planning Commission meeting of March 19, 2025. The motion carried unanimously.

Conditional Use Application:

**Gwynedd Mercy Academy High School
1345 Sumneytown Pike**

#25-03CU

Present for the conditional use application was Ms. Christen Pionzio from HRMM&L, Mr. Robert Jordan from Woodrow & Associates and Ms. Denise Marbach, President of Gwynedd Mercy Academy High School.

Ms. Pionzio stated that they are proposing to install a bridge over the watercourse to connect the building addition to the athletic field. Ms. Pionzio stated that they have received their DEP permit, review letters from Gilmore and the Montgomery County Planning Commission. Ms. Pionzio stated that they would comply with all the comments that were noted in Gilmore's review letter dated May 15, 2025, regarding providing a stormwater design along with a grading permit and ADA requirements.

Ms. Pionzio stated she wanted to note that there is a small stub reflected in the plan that shows a future trail leading to a grassy area, but they are unsure if this will be built. She stated if they decide to pursue building that trail, a grading permit would be submitted.

Ms. Pionzio stated that the Montgomery County Planning Commission requested in their review letter dated May 15, 2025, that they plant vegetation to replace what would be destroyed by the installation of the bridge. She stated they would comply.

Ms. Pionzio stated that this would be a pedestrian boardwalk style bridge with supports on each side. She stated that this is already permitted through DEP. Mr. Valiga wanted more of an explanation of what was being proposed. Mr. Jordan explained that with the new building addition, they would like to connect the existing school trail to a path that would link up the school facility with the athletic facility. He stated that they will be encroaching within the riparian area, very minimum, with no disturbance of the wetlands, but this is why conditional use is required.

Mr. Valiga stated that the site plan included with the submission lists waivers. He stated that he wanted to make sure that there would be no additional waivers or deferrals requested with this application. Ms. Pionzio stated that the site plan was included to show the approximate location of the proposed pedestrian bridge and there are no additional waivers requested.

Mr. Valiga wanted to know if they would have any issues with Gilmore's review letter, item number 1, regarding the stormwater design. Mr. Brown stated that he believed that there could be available storage within the existing stormwater facility that was completed for the parking area. Ms. Pionzio stated that would be confirmed through their grading permit submission.

A motion was made by Mr. Valiga and seconded by Ms. Porreca to recommend approval of the conditional use application to the BOS with the following recommendations:

1. The applicant agrees to provide the information that was requested in the Gilmore review letter dated May 15, 2025.

The motion passed with a 5-0 vote.

Conditional Use Application
Foulkeways
1120 Meetinghouse Rd.

#25-04CU

Present for the conditional use application was Ms. Christen Pionzio from HRMM&L, Mr. Robert Jordan from Woodrow & Associates and Mr. Bill Durbin from Foulkeways.

Ms. Pionzio stated that near the existing fitness center (located in the center of the campus) there is an existing stormwater endwall where water comes out that creates a drainage channel that feeds into the wetlands. She stated that they are proposing to take that channel, pipe it underground and move the outlet water to a different location. The underground pipe would still feed the wetland area. She stated a conditional use is required because it's a watercourse and buffers are involved in the riparian corridor.

Ms. Pionzio stated that they received Gilmore's review letter dated May 16, 2025. She stated they already have the DEP permit and would submit a grading permit. Ms. Pionzio stated that they would also comply with the Montgomery County Planning Commission's review letter dated May 15, 2025, that requests to replace the vegetation that is covered by the piping.

Mr. Valiga wanted to know about Montgomery County Planning Commission's review letter regarding their comment under "Conditional Use" regarding "we defer to the township solicitor to determine if a building expansion would meet the criteria in Section 1298.17." Ms. Pionzio stated that the "future building expansion" is the future fitness center which won't happen until after the watercourse is piped. She stated that you can't erect a building within any wetlands, creeks, watercourses, streams or waters of the commonwealth. She stated that they are piping the watercourse underground first, then the building expansion will come afterwards which will require a full land development application. Mr. Valiga wanted to know if that would change the nature of that area. Ms. Pionzio stated that they are just moving the watercourse so that it's not in an open ditch towards the wetlands. She stated that it will be enclosed in a pipe with dirt and grass. Ms. Pionzio stated that the purpose of this is to be able to build on top of that area to avoid building in a wetland or a riparian area; it will be all underground. Ms. Pionzio stated that there is no other place to build an addition for the fitness center. She stated that Foulkeways is trying to modernize, they need space for group activities and equipment space. Ms. Pionzio stated that the infrastructure within Foulkeways is 58 years old. She stated that they need to do the renovation to bring in revenue because the sewer system, kitchen and fitness center are all old. She stated for them to modernize they must put an addition on the fitness center.

Mr. Valiga stated that he wanted to make sure the township solicitor reviews the application so that this board is not endorsing something that the solicitor would have an issue with. Ms. Pionzio stated that her job is to make sure they meet all criteria, including the approval of the township solicitor during the Board of Supervisors hearing.

Ms. Porreca wanted to know if Foulkeways received any comments or push back about enclosing that area. Mr. Durbin stated that they looked at every possible option to expand the fitness center and this was the only viable option. He stated that their long-term plan is to try and improve that area to allow the residents to enjoy it.

A motion was made by Ms. Porreca and seconded by Mr. Adams to recommend approval of the conditional use application to the BOS with the following recommendations:

1. The P.C. supports the conditional use application with the intention that the proposed riparian buffer mitigation does not change or alter the existing municipal regulations pertaining to wetlands and streams.
2. The applicant agrees to the recommendations and comments listed in the Gilmore review letter dated May 16, 2025.

The motion passed with a 5-0 vote.



Update of the comprehensive plan:

Ms. Claire Warner from the Montgomery County Planning Commission was present to give an update on the comprehensive plan. Mr. Valiga stated that he wanted to give the board some background regarding the progression of the comprehensive plan. He stated that they have been working on the comprehensive plan for the past two and half years. He stated that a steering committee was created by the Board of Supervisors, which consists of residents, business owners and interested parties to provide Ms. Warner detailed comments to address each of the elements of the plan. He stated this process started in July of 2023 and included over 22 meetings and two public sessions.

Ms. Warner stated that Ms. Jamie Worman, Assistant Township Manager and Director of Building & Zoning, was present in front of the P.C. back in March to give an update and inform them regarding the process. Ms. Warner stated that she wanted to give an update on the comments they have received from the public meetings and Monday night's steering committee meeting. Ms. Warner stated that they had a few public meetings, surveys were put out, and updates were posted on Lower Gwynedd's website. Ms. Warner stated that they are now in the final phases to review the plan before the official public comment period begins.

Ms. Warner gave a brief overview of exactly what a comprehensive plan contains with various topics such as traffic, transportation, housing, environmental contexts, trails and

a focus area chapter on Bethlehem Pike. Ms. Warner stated that part of the main guidepost for the township to move forward is the future land use plan. She stated that they have received comments from the Planning Commission and Board of Supervisors, and those fall into general categories. Ms. Warner stated that they also received a lot of comments regarding the condition of Bethlehem Pike. She stated that the future land use map comments were related to the topic "town center/mixed use/future land use" category and how that relates to the different properties that fall under those categories. Ms. Warner stated that the future land use map contains several categories that are listed by residential low, medium, and high density. She explained that is reflected on the exhibit plan in fuchsia and is referred to as the "town center/mixed use." She stated that there was feedback on that term concerning using the word "town" sounded too traditional. She stated it would create a vision that wouldn't be appropriate around areas that would be considered mixed-use. She stated that the concern was the property on Norristown Road and the Pen Ambler sections near the Penllyn train station. She stated that those areas would not be appropriate for that same mixed-use category. She stated during the most recent steering committee meeting, they discussed having tiered categories for mixed-use such as high, medium or low depending on the context the properties are in. She stated that this is still being developed, but generally it would be based on site context, building design, uses, scale, dimensions and intensity of the location of the property.

Ms. Warner stated besides the color categories on the map, there are two circles around the two train stations. She just wanted to inform everyone that those areas are not considered land use designations, just acknowledging the train stations are located there. She also stated that area might be considered for gentle density increases. Ms. Porreca wanted to know what she meant by "gentle density increases." Ms. Warner explained she meant that smaller-scale projects would be more appropriate for that type of location than larger-scale projects.

Mr. Valiga stated that there was a lot of discussion regarding the proposed map, and this is just a draft or a footprint for future development. Mr. Valiga stated that this is a model that will give the township staff a general idea of where to go with a proposed project. Ms. Warner stated that they want to improve walkability and focus on streetscape, building design and create places where people want to go. Ms. Warner stated that they have been doing some design work to improve the streetscape and revitalize the corridor a little bit better. Mr. Mrozinski wanted to know if there was a specific location along the corridor that they are using as a model. Ms. Warner stated that they used the Fairland at Gwynedd project along Bethlehem Pike. She stated that they looked at the footprint of the building and they heard that the residents liked the appearance of the development with the townhouses behind retail with gentle density and a nice aesthetic feel.

Ms. Warner stated that the sidewalk and trails are generally in line with the specific recommendations of the trail and sidewalk plan. She stated that there would be a reference to the sidewalk/trail map in the comprehensive plan. Ms. Nunn wanted to know regarding the safety aspects of the trail and sidewalk plan. Ms. Warner stated that safety issues are always considered. She stated that traffic calming measures have been taken into consideration to improve safety. Ms. Nunn wanted to know if the trail and sidewalk plan would be an attachment to the comprehensive plan as discussed at the last P.C. meeting. Ms. Warner stated that they didn't want to have any conflicting information regarding the trail and sidewalk plan and that it will be referenced in the comp plan if anyone is interested in viewing that separately.

Ms. Warner stated that the next steps are to take additional feedback and work on a clean draft that will be reviewed internally. She is hoping to have this completed by the summer. She stated that once the township has a draft, there will be a 45-day comment period, and another public meeting will be scheduled. She stated she would return to the P.C. if anyone had further questions. Ms. Nunn wanted to know what the difference was between the high-level of the plan vs the 20-year-old comp plan. Ms. Warner stated there are a lot of similarities when it comes to the high-level difference, but there has been a lot of development since then due to the large increase in population. Mr. Valiga stated that there were discussions about the differences in the plans moving forward. He stated that sections were updated to reflect what we have today in Lower Gwynedd Township by using that as the base moving forward, we are focusing on what we are envisioning for various sectors within the township.

Ms. Warner stated that there is a large staff at the Montgomery County Planning Commission that helps to advise her with a team of design planners to help with the vision. Mr. Valiga stated that Ms. Warner has been a pleasure to work with. He stated that the whole focus of the future view is to try and preserve the unique character of Lower Gwynedd Township. He stated that we have a very unique country-style setting here that we are trying to maintain. Some of the P.C. members requested a copy of Ms. Warner's presentation to be emailed to them. Ms. Warner stated that she would email tonight's PowerPoint presentation to Ms. Furber to forward to the P.C. members. She stated that if anyone wants to share their comments, please email her or Ms. Jamie Worman.



ADJOURNMENT

There being no further business, the meeting was adjourned at 7:50 P.M.

Respectfully submitted,

Patty Furber, Secretary

Memo

To: Board of Supervisors
From: Mimi Gleason, Township Manager
Date: June 20, 2025
Re: Conservation easement public hearing



Recommended action: Motion to approve the second amendment to the Penllyn Woods conservation easement

In 1994, Lower Gwynedd purchased Penllyn Woods Park in part with grant funds from Montgomery County. The grant required that no “change of use” be made to the Park unless approved by the Montgomery County Commissioners. Over the course of several months at public meetings, Township officials explained that certain areas of the Township have limited or no cell coverage, and that the proposed tower will not affect the Park’s scenic or recreational uses. Following a recommendation from the Montgomery County Open Space Board, on April 17, 2025, the Montgomery County Commissioners approved the change of use, with conditions intended to achieve a net conservation benefit.

One of the conditions is to amend the Park’s conservation easement to add a provision requiring notice be provided to Wissahickon Trails about proposed future easement amendments. In addition to legal notice advertising the public hearing, required notices were be sent to nearby property owners. Wissahickon Trails has provided feedback on the wording of the amendment and revisions were subsequently made.

Prepared by &

Return to:

Neil Andrew Stein, Esquire
Kaplin, Stewart, Meloff, Reiter & Stein, PC
Union Meeting Corporate Center
910 Harvest Drive, Suite #200
Blue Bell, PA 19422

Property:

Montgomery County Tax Parcel #39-00-01570-00-2
Lower Gwynedd Township

SECOND AMENDMENT TO VOLUNTARY DECLARATION OF CONSERVATION EASEMENT

THIS SECOND AMENDMENT TO VOLUNTARY DECLARATION OF CONSERVATION EASEMENT is made effective this _____ day of June, 2025 by **LOWER GWYNEDD TOWNSHIP**, a Township of the second class, organized and existing under the laws of the Commonwealth of Pennsylvania ("**Township**").

BACKGROUND

A. The Township has signed and caused to be recorded in the Office for the Recording of Deeds in Montgomery County, Pennsylvania ("**Recorder's Office**") in Deed Book 5108, Page 6, a Voluntary Declaration of Conservation Easement dated September 19, 1994, and a First Amendment to Voluntary Declaration of Conservation Easement dated November 28, 2023 and recorded in the Recorder's Office in Deed Book 6347, Page 01171 (the "**First Amendment**") (collectively, the "**Declaration**"). A copy of the Declaration is attached as **Exhibit "A"** and is incorporated by reference.

B. The Declaration was signed and recorded as a part of the conservation of Penllyn Woods, consisting of seventy-seven (77) acres, designated as Montgomery County Tax Parcel #39-00-01570-00-2, as more particularly described in the Declaration ("**Penllyn Woods**").

C. The Declaration creates two zones of protection, referred to as (hereinafter referred to as "**Easement Area 1**" and "**Easement Area 2**" or collectively as the "**Easement Areas**"). The Township desires to amend certain terms and conditions of the Declaration relating to the Easement Areas set forth herein (the "**Proposed Amendment**").

D. The Township Board of Supervisors ("**Board**") has held a public hearing to address the Proposed Amendment, in accordance with the procedures set forth in the Declaration (the "**Public Hearing**").

NOW THEREFORE, in consideration of the foregoing Background and intending to be legally bound, Township declares and covenants, for the benefit of the citizens and landowners of Lower Gwynedd Township, as follows:

1. **INCORPORATION AND RATIFICATION.** The contents of the First Amendment are hereby reaffirmed, ratified, and incorporated herein by reference.

2. **AMENDMENT.** **Paragraph 11** of the Declaration is hereby amended to include a new subparagraph (e) as follows:

“(e) Notwithstanding any other provision of this Declaration, not less than thirty (30) days prior to the publication of any proposed amendment to the Declaration and not less than thirty (30) days prior to any public hearing to consider a proposed amendment to the Declaration, written notice shall be specifically provided to The Wissahickon Valley Watershed Association trading as Wissahickon Trails, a non-profit corporation and conservancy, with offices at 12 Morris Road, Ambler, PA 19002, or its successor organization (“**Trails**”), to such address as Trails shall provide in writing to the Township. Nothing in this paragraph shall be construed to grant Trails any rights as a “Holder” of the Easements contained in the Declaration and shall not imply that Trails has any right of approval or disapproval of any proposed amendment to the Declaration.”

3. **MISCELLANEOUS PROVISIONS.**

(a) This Amendment, and particularly the rights and restrictions granted herein, are intended for the benefit of the landowners and the citizens of Lower Gwynedd Township and are further intended to be enforceable by such persons and entities.

(b) This Amendment shall be recorded in the Office of the Recorder of Deeds in and for the Montgomery County, Pennsylvania.

(c) Except as otherwise set forth herein, the Declaration shall remain in full force and effect and unmodified.

(d) Notwithstanding the date of this Amendment or the date upon which it is signed, this Amendment shall not be effective until thirty (30) days have elapsed from the date of the Public Hearing at which this Amendment is approved.

IN WITNESS WHEREOF, the Township has executed this Second Amendment to Declaration of Conservation Easement the day and year first above written.

SIGNATURES COMMENCE ON THE FOLLOWING PAGE

ATTEST:

LOWER GWYNEDD TOWNSHIP

By: Its Board of Supervisors

MIMI GLEASON, TOWNSHIP SECRETARY

By:_____
DANIELLE A. DUCKETT, CHAIRPERSON

COMMONWEALTH OF PENNSYLVANIA :
: SS
COUNTY OF MONTGOMERY :

On this _____ day of _____, 202____, before the undersigned officer, personally appeared Danielle A. Duckett, known to me or satisfactorily proven to be the Chairperson of the Board of Supervisors of Lower Gwynedd Township, whose name is subscribed to the within instrument and acknowledge that she executed the same on behalf of the Board of Supervisors of Lower Gwynedd Township for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public
My Commission Expires:

EXHIBIT "A"
DECLARATION OF CONSERVATION EASEMENT AND FIRST AMENDMENT
ATTACHED

Prepared by &

Return to:

Neil Andrew Stein, Esquire
Kaplin, Stewart, Meloff, Reiter & Stein, PC
Union Meeting Corporate Center
910 Harvest Drive, Suite #200
Blue Bell, PA 19422

Property:

Montgomery County Tax Parcel #39-00-01570-00-2
Lower Gwynedd Township

FIRST AMENDMENT TO VOLUNTARY DECLARATION OF CONSERVATION EASEMENT

THIS FIRST AMENDMENT TO VOLUNTARY DECLARATION OF CONSERVATION EASEMENT is made effective this 28 of November, 2023 by LOWER GWYNEDD TOWNSHIP, a Township of the second class, organized and existing under the laws of the Commonwealth of Pennsylvania ("**Township**").

BACKGROUND

A. The Township has signed and caused to be recorded in the Office for the Recording of Deeds in Montgomery County, Pennsylvania ("**Recorder's Office**") in Deed Book 5108, Page 6, a Voluntary Declaration of Conservation Easement dated September 19, 1994 (the "**Declaration**"). A copy of the Declaration is attached as **Exhibit "A"** and is incorporated by reference.

B. The Declaration was signed and recorded as a part of the conservation of Penllyn Woods, consisting of seventy-seven (77) acres, designated as Montgomery County Tax Parcel #39-00-01570-00-2 ("**Penllyn Woods**"). Penllyn Woods is depicted in **Exhibit "B"** attached hereto.

C. The Declaration creates two zones of protection, referred to as (hereinafter referred to as "**Easement Area 1**" and "**Easement Area 2**" or collectively as the "**Easement Areas**"). The Township desires to amend certain terms and conditions of the Declaration relating to Easement Area 2 as set forth herein (the "**Proposed Amendment**").

D. The Township Board of Supervisors ("**Board**") has held a public hearing to address the Proposed Amendment, in accordance with the procedures set forth in the Declaration (the "**Public Hearing**").

E. Many residents and businesses within the Township have testified that certain parts of the Township suffer from a serious deficiency in cell phone coverage, which results in the disruption of or inability to make personal, business, and emergency service calls. Through a technical analysis provided by Rise Up Towers, a reputable cell tower developer, Penllyn Woods is a necessary location for a cell tower and no other suitable alternative in that area of the Township has been identified (the "**Proposed Tower**").

F. The Proposed Tower is intended to be located within Easement Area 2, in a parking area of Penllyn Woods, in an area presently used by the Township Public Works Department for the storage of materials (the "Proposed Location"). The Proposed Location is depicted in Exhibit "B" attached hereto. The Proposed location will consist of an area of approximately two thousand five hundred (2,500 sf.) within Penllyn Woods and will not result in the intrusion into or the destruction of any trees or other natural features.

F. The Declaration prohibits the construction of the Proposed Tower and therefore, an amendment to the Declaration is required. The Board believes that given the public safety considerations, and the very modest impact on Penllyn Woods, the Proposed Amendment is both necessary and appropriate to protect the public health, safety, and welfare of the Township's residents.

NOW THEREFORE, in consideration of the foregoing Background and intending to be legally bound, Township declares and covenants, for the benefit of the citizens and landowners of Lower Gwynedd Township as follows:

1. **AMENDMENT.** Paragraph 9 of the Declaration is hereby amended to include a new subparagraph (c) as follows:

"(c) The construction and operation of a single cell phone tower and appurtenant equipment, in the location adjacent to the parking area and formerly used as a material storage area for the Public Works Department, together with a right of way for ingress and egress over existing roads, in or about the location depicted in Exhibit "C" attached hereto."

2. **MISCELLANEOUS PROVISIONS.**

(a) This Amendment, and particularly the rights and restrictions granted herein, are intended for the benefit of the landowners and the citizens of Lower Gwynedd Township, and are further intended to be enforceable by such persons and entities.

(b) This Agreement shall be recorded in the Office of the Recorder of Deeds in and for the Montgomery County, Pennsylvania.

(c) Except as otherwise set forth herein, the Declaration shall remain in full force and effect and unmodified.

(d) Notwithstanding the date of this Amendment or the date upon which it is signed, this Amendment shall not be effective until thirty (30) days have elapsed from the date of the Public Hearing at which this Amendment is approved.

IN WITNESS WHEREOF, the Township has executed this First Amendment to Declaration of Conservation Easement the day and year first above written.

SIGNATURES COMMENCE ON THE FOLLOWING PAGE

ATTEST:



MIMI GLEASON, TOWNSHIP SECRETARY

LOWER GWYNEDD TOWNSHIP

By: Its Board of Supervisors

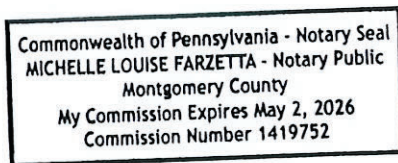
By: 

DANIELLE A. DUCKETT, CHAIRPERSON

COMMONWEALTH OF PENNSYLVANIA :
: SS
COUNTY OF MONTGOMERY :

On this 28 day of November, 2023, before the undersigned officer, personally appeared Danielle A. Duckett, known to me or satisfactorily proven to be the Chairperson of the Board of Supervisors of Lower Gwynedd Township, whose name is subscribed to the within instrument and acknowledge that she executed the same on behalf of the Board of Supervisors of Lower Gwynedd Township for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



Michelle Louise Farzetta
Notary Public
My Commission Expires: may 2, 2026

EXHIBIT "A"
DECLARATION OF CONSERVATION EASEMENT
ATTACHED

003900

RESOLUTION 94-27

VOLUNTARY DECLARATION OF CONSERVATION EASEMENT

THIS DECLARATION is made this 19th day of September, 1994 by LOWER GWYNEDD TOWNSHIP, a Township of the second class, organized and existing under the laws of the Commonwealth of Pennsylvania ("Township").

P R E A M B L E

REALTY TRANS TAX PAID	
STATE	
LOCAL	
PER	<u>MP</u>

A. In May, 1992, Township instituted a condemnation action with regard to tract of land situate in the Township containing approximately 77 acres and known generally as "Penllyn Woods". The property is Tax Parcel Number 39-00-01570-00-2 and is more particularly described by metes and bounds on Exhibit "A" attached hereto and expressly made a part hereof (hereinafter referred to as the "Property").

B. Condemnation of the Property was contested by the Condemnee. That litigation has now been settled and the Township has become the full legal owner of the Property entitled to possession.

C. Because the Property was condemned by the Township for park and recreation purposes and for the purpose of preserving substantial portions of the Property in its natural state as a continuing wild life refuge and habitat, the Township has received numerous offers of private donations of funds to assist the Township in the cost of acquiring the Property.

D. Consistent with the concerns and views expressed by many Township citizens, the Township wishes to assure private donors as well

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
39-00-01570-00-2 LOWER GWYNEDD
401 GWYNEDD AVE
LOWER GWYNEDD TWP
B 010 11 013 1

DB5108PG0469

95 MAR 21 PM 2:21

95 MAR 21 PM 2:21

as the public at large and particularly the citizens of Lower Gwynedd Township, that significant portions of the Property will be conserved in their natural state and will remain undisturbed in perpetuity (except as may be set forth herein) so that such areas will continue as acceptable habitat for wildlife and may be used by future generations for passive recreation as well as wildlife and environmental education programs.

D E C L A R A T I O N

NOW THEREFORE, in consideration of the foregoing Background and intending to be legally bound, Township declares and covenants, for the benefit of the citizens and landowners of Lower Gwynedd Township, the following restrictions on the use of those portions of the Property indicated as Easement Area 1 and Easement Area 2 on Exhibit "B" attached hereto and made a part hereof (hereinafter referred to as "Easement Area 1" or "Easement Area 2" or collectively as the "Easement Areas".)

Easement Area 1

1. Easement Area 1 may be utilized for the following purposes and only those other purposes that are clearly consistent with the goal of retaining Easement Area 1 in its natural state and as a continuing habitat for vegetation and wildlife:

- (a) The construction, improvement or maintenance of public walking, jogging, bicycle, horseback riding and environmental education trails ("The Trail Facilities").

informational or interpretative signs, and signs defining the permitted and prohibited uses within Easement Area 1.

2. No industrial, commercial or residential activity shall be conducted in Easement Area 1.

3. No earth moving, excavation or removal of rocks, minerals, gravel, sand, top soil, or other similar materials shall be conducted in Easement Area 1 except to the extent necessary for:

- (a) Any of the uses set forth in paragraph 1 above.
- (b) The application of sound forestry, and erosion control practices.

4. No cutting of lumber or removal of trees shall be permitted in the Easement Area 1 except for the following purposes:

- (a) the permitted uses set forth in paragraph 1 above;
- (b) to clear and restore forest cover that has been damaged or disturbed;
- (c) to prune and thin trees according to a good forest management practices;
- (d) to remove trees which are diseased or dangerous;

5. No depositing, dumping or abandoning of any solid or liquid waste, debris or junk shall be permitted within the Easement Area 1.

6. No construction of parking lots shall be permitted anywhere within Easement Area 1. No construction of buildings or structures shall be permitted in Easement Area 1 except those erected in connection with the permitted uses set forth in paragraph 1 above.

7. Except as provided in paragraph 1(b) above, no motorized vehicles shall be permitted in Easement Area 1 except for maintenance

and patrol vehicles of the Township or its assignee, and emergency vehicles.

Easement Area 2

8. The restrictions and reservations for Easement Area 1 set forth in paragraphs 2, 3, 4 and 5 above shall apply and be effective as to Easement Area 2 except to the same extent necessary to construct or permit any of the uses set forth in paragraph 9 below.

9. Easement Area 2 may be utilized for any and all of the purposes permitted in Easement Area 1 and additionally for the purposes of constructing:

- (a) playing fields, courts, "tot lots", pavilions, picnic areas, snack bars, comfort stations and active recreation areas of all types including back stops, fences, goals and all other structures normally associated with active recreation playing fields and parks in the municipalities of Montgomery County, Pennsylvania; and
- (b) spectator viewing areas for such playing fields.

Miscellaneous Provisions


10. This covenant, and particularly the rights and restrictions granted herein, are intended for the benefit of the landowners and the citizens of Lower Gwynedd Township and are further intended to be enforceable by such persons and entities.

11. The Preamble to this Declaration shall not be amended. The balance of this Declaration may be amended only after adherence to the following procedure:

- (a) A Public Hearing shall be held before the Board of Supervisors during which it shall be the responsibility of the Township to demonstrate that the proposed amendment will not have a material, negative impact upon the topography, vegetation, wildlife and conservation purposes set forth in the preamble of this document for Easement Area 1 nor a material, negative impact upon the recreational purposes intended for Easement Area 2.
- (b) Notice of the Public Hearing at which the Supervisors will consider the proposed amendment shall be published on at least two occasions in a newspaper of general circulation with the first notice to appear no more than sixty (60) days prior to the proposed Hearing and the second advertisement to appear no less than thirty (30) days prior to the date of the proposed Hearing. Notice shall also be provided by First Class Mail to all persons or entities owning property within 500 feet of any boundary of the Property.
- (c) The Supervisors shall render a decision on the proposed amendment at a Public Meeting and if the proposed amendment is adopted, it shall not be implemented for a period of thirty (30) days after the date the decision by the Board of Supervisors is rendered.
- (d) In the alternative, a Judicial procedure, not altering the substantive provisions of this Declaration, may be established by order of Montgomery County Court of Common Pleas, Orphans' Court Division.

12. This Agreement shall be recorded in the Office of the Recorder of Deeds in and for the County of Montgomery, located in Norristown, Pennsylvania.

IN WITNESS WHEREOF, the Township has executed this Declaration they day and year first above written.

 ATTEST: Edward R. Clifford,
Acting Secretary

LOWER GWYNEDD TOWNSHIP

BY: Catherine M. Harper
Catherine M. Harper, Chairman

COMMONWEALTH OF PENNSYLVANIA

: SS

COUNTY OF MONTGOMERY

On this 19th day of September, 1994, before the undersigned officer, personally appeared Catherine M. Harper known to me or satisfactorily proven to be the Chairman of the Board of Supervisors of Lower Gwynedd Township, whose name is subscribed to the within instrument and acknowledge that she executed the same on behalf of the Board of Supervisors of Lower Gwynedd Township for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



Donald G. Boehs
NOTARY

Notarial Seal
Donald G. Boehs, Notary Public
Lower Gwynedd Twp., Montgomery County
My Commission Expires May 30, 1998
Member, Pennsylvania Association of Notaries

JJG:lmg
071294

EXHIBIT "A"

This Indenture, Made the

day of _____ in the year of our Lord
one thousand nine hundred and _____

Between

GWYNEDD PROPERTIES, INC., a Pennsylvania Corporation

(hereinafter called the Grantor),

and

TOWNSHIP OF LOWER GWYNEDD

(hereinafter called the Grantee),

Witnesseth, That in consideration of the sum of One (\$1.00) Dollar and other good and valuable consideration, the receipt whereof is hereby acknowledged, the said Grantor does hereby grant and convey to the said Grantee

heirs and assigns,

ALL THAT CERTAIN tract of land Situate in the Township of Lower Gwynedd, County of Montgomery, Commonwealth of Pennsylvania, according to a Plan of Survey thereof dated November 7, 1974, prepared by TriState Engineers and Land Surveyors, Inc. 801 West Street Road, Feasterville, Pennsylvania, bounded and described as follows:

BEGINNING at a P.K. nail set for a corner of lands of the Philadelphia Electric Company in the centerline of Gwynedd Avenue (45.00 feet wide); thence from the said point of beginning and along the centerline of Gwynedd Avenue, South 46 degrees, 54 minutes, 00 seconds West 167.88 feet to a P.K. nail set for a corner of lands of the Wissahickon School District; thence along said lands, North 33 degrees, 06 minutes, 00 seconds West 505.24 feet to a point a corner; thence continuing along said lands, South 56 degrees, 54 minutes, 00 seconds West 307.59 feet to a point a corner in line of the Final Plan of Farm of John C. Richardson; thence along line of the said Final Plan, North 23 degrees, 53 minutes, 30 seconds West 295.57 feet to an iron pipe (found), a corner of lands of the North Wales Water Authority; thence along said lands, North 23 degrees, 51 minutes, 00 seconds West 168.51 feet to an iron pipe (found), a corner; thence continuing along said lands the five following courses and distances viz: (1) South 67 degrees, 10 minutes, 30 seconds West 381.34 feet to an iron pipe (found), a corner; thence (2) South 61 degrees, 45 minutes, 30 seconds West 52.38 feet to an iron pipe (found), a corner; thence (3) South 59 degrees, 18 minutes, 45 seconds West 210.00 feet to an iron pipe (found), a corner; thence (4) North 50 degrees, 50 minutes, 45 seconds West 1,197.89 feet to an iron pin (found), a corner; thence (5) North 14 degrees, 30 minutes, 45 seconds West 438.69 feet to an iron pipe (found), in the base of a thirty inch diameter tree, a corner of lands of the Township of Lower Gwynedd; thence along said lands and crossing a seventy-five foot wide Transcontinental Gas Pipeline Corporation Right of Way, North 43 degrees, 55 minutes, 55 seconds East 959.20 feet to a natural stone monument (found), a corner; thence continuing along said lands and along lands of Robert Hesse, Jr., North 44 degrees, 15 minutes, 00 seconds East 845.76 feet to a rail monument (found), a corner on the Westerly side of lands of the Bethlehem Branch of the North Pennsylvania Railroad; thence along the Westerly side thereof and recrossing the aforementioned seventy-five foot wide Transcontinental

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corner of lands of the Philadelphia Electric Company, aforesaid; thence along said lands, South 63 degrees, 27 minutes, 00 seconds West 150.02 feet to a concrete monument (found), a corner; thence continuing along said lands and passing over a concrete monument (found) 22.65 feet from the end of this line, South 26 degrees, 31 minutes, 00 seconds East 208.14 feet to the point and place of beginning. CONTAINING 77.4051 Acres of land, be the same, more or less.

BEING known as 401 Gwynedd Avenue.

BEING Parcel No. 39-00-01570-00-2 of the Montgomery County Commissioners Registry.

BEING, inter alia, the same premises, second described, which Provident National Bank and Charles E. Ingersoll, Executors of the estate of R. Sturgis Ingersoll, deceased, by Deed dated August 25, 1975, as recorded in the Office of the Recorder of Deeds of Montgomery County in Deed Book 4051 page 469 &c., granted and conveyed unto Gwynedd Properties, Inc., a Pennsylvania Corporation, in fee.

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And the said Grantor does hereby covenant and agree to and with the said Grantee that it the Grantor and for its successors all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against the said Grantor and against all and every person and persons whomsoever lawfully claiming or to claim the same as any part thereof, by, from or under it, then, each or any of them, shall and will subject in conditions of record specially WARRANT and forever DEFEND.

In the Event that there is more than one party named herein as Grantor or Grantee, the word "Grantor" or "Grantee" wherever occurring herein shall mean the plural. The masculine herein shall refer to and include the feminine as well as the masculine gender.

In Witness Whereof, said Grantor, has hereunto set its corporate hand and seal the day and year first above written.

Sealed with Bellows
IN THE PRESENCE OF

GWYNEDD PROPERTIES, INC., a Pennsylvania Corporation

By: _____

SEAL

Attest: _____

SEAL

Commonwealth of Pennsylvania

County of _____

} ss.

On the _____ day of _____, 19____, before me

the undersigned officer, personally appeared

known to me (or satisfactorily proven) to be the person whose name _____ subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein contained, and desired the same might be recorded as such.

In Witness Whereof, I hereunto set my hand and official seal.

The address of the within-named Grantee is
1130 N. Bethlehem Pike
Spring House, PA 19477

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Commonwealth of Pennsylvania

County of Montgomery

On this, the day of

19 , before me,

personally appeared Augustus J. Tornetta, who acknowledged himself (himself) to be the President of Gwynedd Properties, Inc., being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself (himself) as President.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

RECORDED

COMMONWEALTH OF PENNSYLVANIA

County of

Recorded on this day of

A.D. 19

, In the Recorder's Office of the said County, in

Deed Book

Vol.

Page

under my hand and the seal of the said office, the date above written.

Recorder

EXHIBIT "B"
DEPICTION OF PENLLYN WOODS
ATTACHED

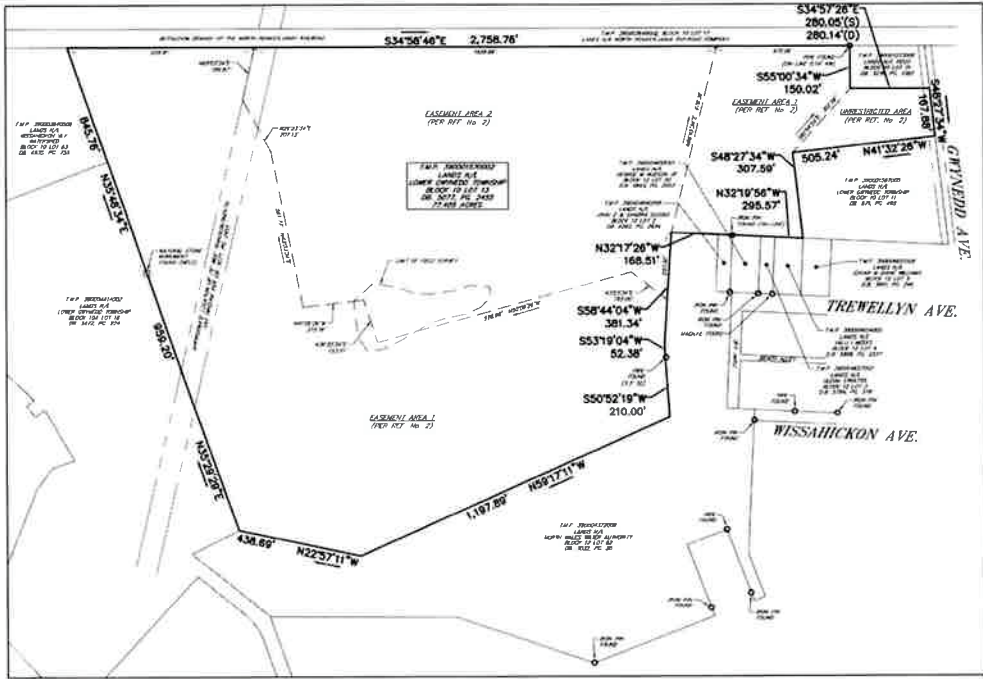
PENNSYLVANIA ONE CALL SYSTEM, INC.



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA, CALL 1-800-242-1778. PENNSYLVANIA'S ONE CALL SYSTEM IS THE ONLY WAY TO FIND OUT WHERE ALL THE UTILITIES ARE LOCATED BEFORE YOU DIG. CALL 811 OR 8-811.

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD SURVEYS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE, ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE VERTICAL DEPTHS FOR OTHER UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES, INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.A. 003, NO. 107, PASSED NOV. 1991, AS LAST AMENDED ON APRIL 26, 2018. PENNSYLVANIA ONE CALL SERIAL NUMBER FOR DESIGN PURPOSES.



OVERALL SITE BOUNDARY
SCALE: 1" = 200'



LOCATION MAP
SCALE: 1" = 2000'

GENERAL SURVEY NOTES:

1. PROPERTY BOUNDARIES AND EASEMENTS SHOWN ON THIS PLAN ARE BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MAY OF 2023 AND THE REFERENCE TO MONTEGOMERY COUNTY RECORDS IS FOR INFORMATION ONLY. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. CONTAINING 231.78 ACRES IN 11 400 ACRES, MORE OR LESS.
3. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MAY OF 2023 AND THE REFERENCE TO MONTEGOMERY COUNTY RECORDS IS FOR INFORMATION ONLY. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
4. SUBJECT TO ANY EASEMENTS, RIGHTS OR INTERESTS IN THE PROPERTY SHOWN ON THIS PLAN.
5. VERTICAL ELEVATIONS AND DATA ARE BASED ON THE NATIONAL DATUM 1983 (NAD 83) WITH THE EXCEPTION OF THE VERTICAL DATUM 1955 (VD 55) WHICH IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PACS) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE NAD 83 DATUM.

REFERENCES:

1. THE MAP FOR THE TOWNSHIP OF LOWER OYNEHO, COUNTY OF MONTGOMERY, PENNSYLVANIA.
2. PLAN ENTITLED "TREWELLYN WOODS" PREPARED FOR LOWER OYNEHO TOWNSHIP DATED DECEMBER 13, 1991, PREPARED BY ROBERT C. BILLY, LICENSED SURVEYOR # 12, 28, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 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1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 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1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 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1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 20

EXHIBIT "C"
PROPOSED CELL TOWER LOCATION
ATTACHED

RISEUP TOWERS

PENLLYN WOODS PARK TRAIL NEW TELECOMMUNICATION COMPOUND

1227 E TWP LINE ROAD
PENLLYN, PA 19422

MONOPOLE COORDINATES
LAT: 40.176409° N
LONG: -75.254003° W

**NETWORK
CONNEX**

6300 RITTER ROAD, SUITE 205
MECHANICSBURG, PENNSYLVANIA 17055
PHONE: (717) 910-1766
FAX: (717) 458-0801

www.networkconnex.com

**RISEUP
TOWERS**

SAC : ALYSON WARD
CONST : TOM LADIK
PM : ALYSON WARD
A&E : JAKE MINARDI

SCHEDULE OF REVISIONS

REV. NO.	DATE	DESCRIPTION OF CHANGES
1		
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8	08-09-2023	PRELIMINARY LE

DRAWN BY: MCA
CHECKED BY: MRL
SCALE: NOTED
JOB NO: 22E0029 001

DRAWING TITLE:

TITLE SHEET

DRAWING SHEET:

LE-1

PENLLYN WOODS PARK TRAIL

1227 E TWP LINE ROAD
PENLLYN, PA 19422

SHEET NO. 1 OF 6

JACOB MINARDI, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER
LICENSE # 0008155



AREA MAP

PENLLYN, PA

DIRECTIONS

FROM RISE UP TOWERS, LLC OFFICE: HEAD NORTHWEST ON PA-73 W WEST SHUPACK PIKE
TURN RIGHT ONTO PENLLYN BLUE BELL PIKE. TURN LEFT ONTO TOWNSHIP LINE RD.
CONTINUE ONTO PENLLYN WOODS PARK DR. AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT.
CONTINUE ONTO PENLLYN WOODS PK DR. ENTER PENLLYN WOODS PARK. FOLLOW
ROUNDABOUT. CONTINUE THRU PARKING LOT. VEER LEFT. SITE IS LOCATED BEHIND
BASEBALL FIELD.



OVERALL SITE PLAN
LE-2 SCALE: 1" = 330'-0"



(IN FEET)
1" = 330'-0"
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

**NETWORK
CONNEX**

5000 RITTER ROAD, SUITE 205
MECHANICSBURG, PENNSYLVANIA 17055
PHONE: (717) 810-1785
FAX: (717) 455-0801
www.networkconnex.com

**RISEUP
TOWERS**

SAC : ALYSON WARD
CONST : TOM LADIK
PM : ALYSON WARD
A/E : JAKE MINARDI

SCHEDULE OF REVISIONS

REV.	DATE	DESCRIPTION OF CHANGES
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DRAWN BY: MGA
CHECKED BY: MRL
SCALE: NOTED
JOB NO: 2350029.001

DRAWING TITLE:

**OVERALL
SITE PLAN**

DRAWING SHEET:

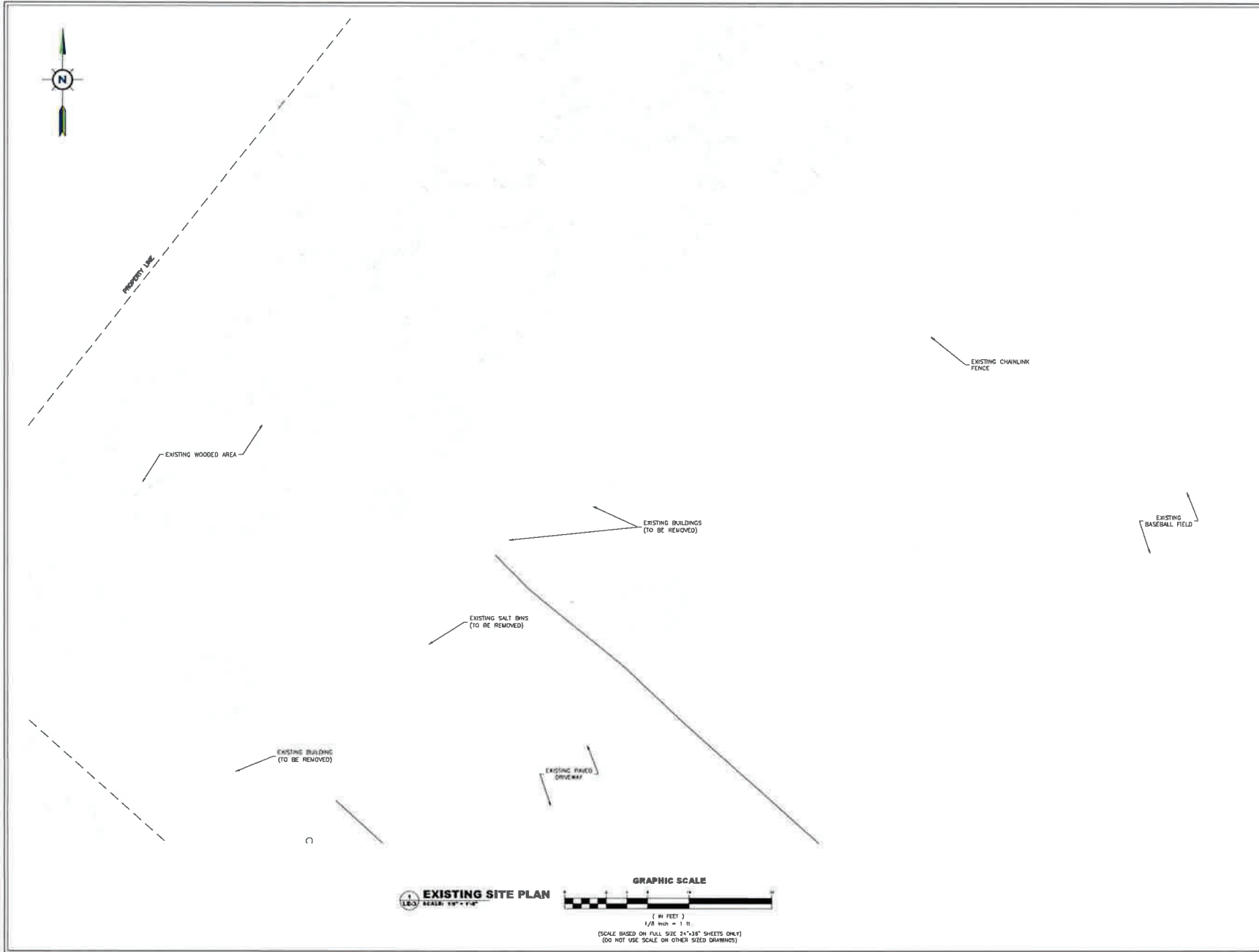
LE-2

PENLLYN WOODS PARK TRAIL

1227 E TWP LINE ROAD
PENLLYN, PA 19422

SHEET NO. 2 OF 6

JACOB REYNOLDS, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER
LICENSE # 100000000



**NETWORK
CONNEX**

5000 RITTER ROAD, SUITE 205
MECHANICSBURG, PENNSYLVANIA 17055
PHONE: (717) 815-1766
FAX: (717) 458-0801
www.networkconnex.com

**RISEUP
TOWERS**

SAC : ALYSON WARD
CONST : TOM LADIK
PM : ALYSON WARD
A/E : JAKE MINARDI

SCHEDULE OF REVISIONS

REV. NO.	DATE	DESCRIPTION OF CHANGES
1	08-08-2023	PRELIMINARY LE

DRAWN BY: MDA

CHECKED BY: MRL

SCALE: NOTED

JOB NO: 22010020.001

DRAWING TITLE

**EXISTING
SITE PLAN**

DRAWING SHEET

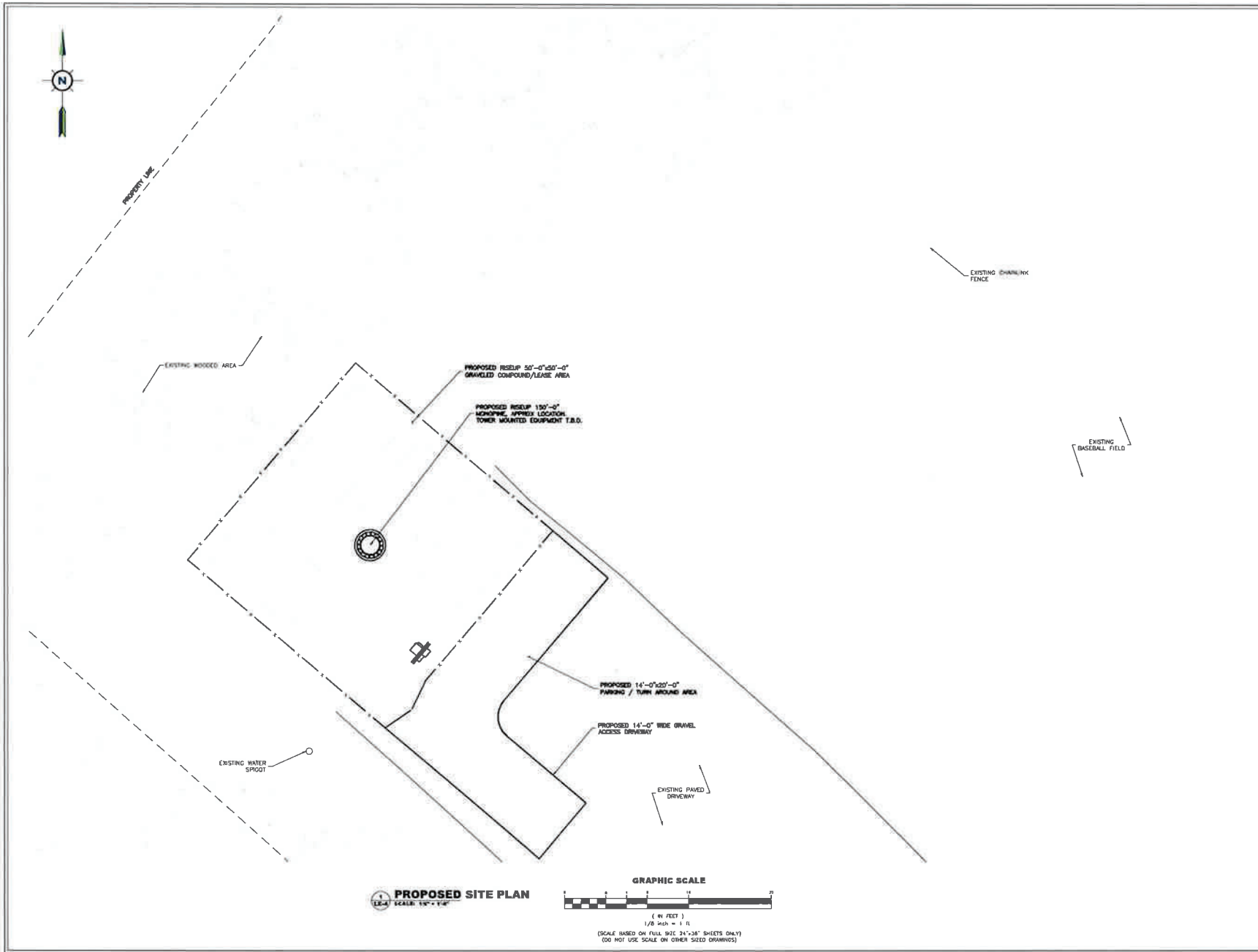
LE-3

PENLLYN WOODS PARK TRAIL

1227 E TWP LINE ROAD
PENLLYN, PA 19422

SHEET NO. 3 OF 6

JACOB MINARDI, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER
LICENSING & REGISTRATION



**NETWORK
CONNEX**

5300 RITTER ROAD, SUITE 206
MECHANICSBURG, PENNSYLVANIA 17055
PHONE: (717) 610-1766
FAX: (717) 458-0801

www.networkconnex.com

**RISEUP
TOWERS**

**SAC : ALYSON WARD
CONST : TOM LADIK
PM : ALYSON WARD
A&E : JAKE MINARDI**

SCHEDULE OF REVISIONS

REV.	DATE	DESCRIPTION OF CHANGES
1		
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4	05/06/2023	PRELIMINARY LE

DRAWN BY: MDA

CHECKED BY: MRL

SCALE: NOTED

JOB NO: 22E0028.001

DRAWING TITLE:

**PROPOSED
SITE PLAN**

DRAWING SHEET:

LE-4

PENLLYN WOODS PARK TRAIL

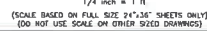
**1227 E TWP LINE ROAD
PENLLYN, PA 19422**

SHEET NO. 4 OF 6

JACOB MINARDI, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER
LICENSE # 00000000000000000000000000000000



COMPOUND PLAN



www.netwrix.com



DRAWN BY:	WOF
CHECKED BY:	MRL
SCALE:	NOTED
JOB NO:	2000000000

DRAWING TITLE:

COMPOUND PLAN

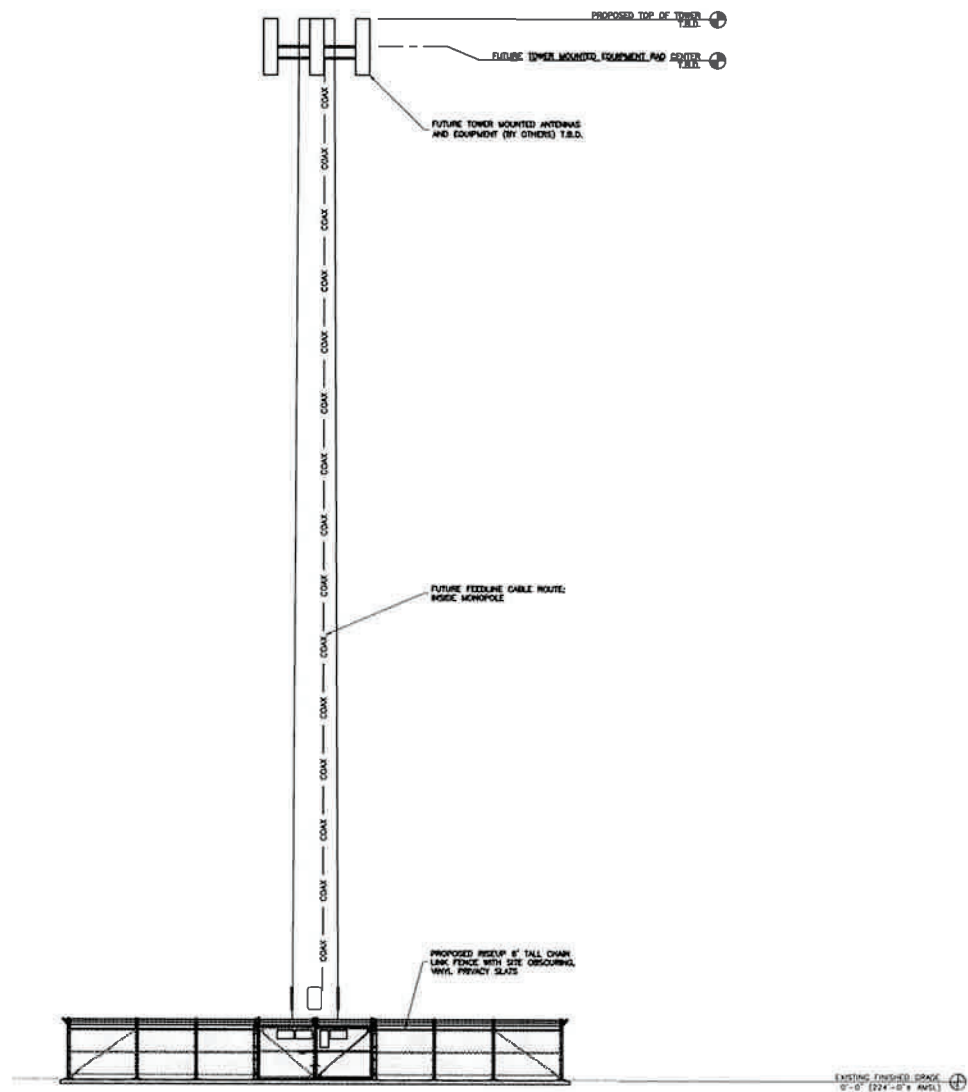
DRAWING SHEET:

LE-5**PENLLYN WOODS PARK TRAIL**

**1227 E TWP LINE ROAD
PENLLYN, PA 19422**

SHEET NO. 5 OF 6

JACOB MINARDI, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER
LICENSE # 000000000



ELEVATION
SCALE: 1/8" = 1'-0"



(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)

**NETWORK
CONNEX**

5000 RITTER ROAD, SUITE 205
MECHANICSBURG, PENNSYLVANIA 17055
PHONE: (717) 856-1785
FAX: (717) 458-0801

www.networkconnex.com

**RISEUP
TOWERS**

SAC : ALYSON WARD
CONST : TOM LADIK
PM : ALYSON WARD
A&E : JAKE MINARDI

SCHEDULE OF REVISIONS

REV.	DATE	DESCRIPTION OF CHANGES
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4	02-26-2023	PRELIMINARY
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DRAWING TITLE:

ELEVATION

DRAWING SHEET:

LE-6

PENLLYN WOODS PARK TRAIL

**1227 E TWP LINE ROAD
PENLLYN, PA 19422**

SHEET NO. 5 OF 6

JACOB MINARDI, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER
LICENSE # PE001155

Memo

To: Board of Supervisors
From: Fred Zollers, Public Works Director
Date: June 18, 2025
Re: Park Building Locks



We have received a revised quote from Minuteman Security and Life Safety for an access control system similar to the access control currently on the township building. It includes four doors and will allow remote control of the locks. It also meets all code requirements for panic bar hardware and emergency egress. Other residential style access systems do not meet these requirements, or allow for pre-programming of each door to be unlocked when needed without sharing codes that would compromise security. The cost is \$21,562.42 plus \$76 per month for software.

Please let me know how you would like to proceed.



We have prepared a quote for you

Park Card Access

Quote # 043882
Version 1

Prepared for:

Lower Gwynedd Township

Clint Snyder
csnyder@lowergwynedd.org

Thursday, June 12, 2025

Lower Gwynedd Township
Clint Snyder
General Delivery
1130 N Bethlehem Pike
Spring House, PA 19477
csnyder@lowergwynedd.org

Dear Clint ,

Minuteman is pleased to have the opportunity to submit our proposal for your review. The information provided herein is our response to your proposal for an S2 Elements Access Control System.

Please contact me if you have any questions regarding our proposal or any of the supporting documentation.

Costars: 040-E23-206

Steve Hood
Sales Engineer/CAD
PA-Warminster

Scope of Work

Scope

Minuteman Security and Life Safety will as part of this proposal will provide and install a Lenel S2 Elements access control system for Lower Gwynedd Township.

Doors included in this proposal:

Door #1 - Front Entrance #1

- LenelS2 Blue Diamond Reader
- Request to Exit Sensor
- (2)Door Contacts
- Electric Strike

Door #2 - Front Entrance #2

- LenelS2 Blue Diamond Reader
- Request to Exit Sensor
- (2)Door Contacts
- Electric Strike

Door #3 - Man Door (former roll up)

- LenelS2 Blue Diamond Reader
- Request to Exit Sensor
- (1)Door Contacts
- Electric Strike

Door #4 - Between Bathroom and Main

- LenelS2 Blue Diamond Reader
- Request to Exit Sensor
- (1)Door Contacts
- Electric Strike

General

- All work to be executed during normal business hours (Mon-Fri)
- Paint and Patch work is by the customer
- Cable pathway is provided by customer
- 120vac as required is by customer
- Confirm/provide an escort prior to job start date is by customer

Access Control

Scope of Work

- Network connectivity (PoE+) is provided by customer
- Network Programming information (IP, Gateway, Subnet, etc.) is by customer
- Fire Alarm relay as required for life safety is by customer
- Locking Hardware is by others
- Lock power supply is by others
- Door coring is to be done by others
- Interfacing with automatic door opening equipment is excluded

S2 Elements Access Control System

Qty	Manufacturer Name	Part Number	Product Description
1	LenelS2	LS2-ELEMENTS-4RS	ELEMENTS 4-READER KIT: GATEWAY KIT, LNL-X2220 CONTROLLER, L
2	Ultratech	IM-1272F1	UltraTech IM-1272F1 12 Volt 7.0 Ah Sealed Lead Acid Battery
4	Bosch	DS160	PIR EXIT SENSOR LIGHT GRAY
6	GRI	199-12WG-WHI	1" Recessed DPDT Contact - White
6	GRI	MC-180-W	MAGNET, DOOR CHANNEL MAG ONLY ,SINGLE
4	Locknetics	RS210-32D	Electric Rim Strike, Surface Mounted, Field Selectable (Saf

Subtotal: **\$21,562.42**

Park Card Access



Prepared by:

PA-Warminster

Steve Hood
shood@minutemanst.com

Prepared for:

Lower Gwynedd Township

General Delivery
1130 N Bethlehem Pike
Spring House, PA 19477
Clint Snyder

csnyder@lowergwynedd.org

Quote Information:

Quote #: 043882

Version: 1
Delivery Date: 06/12/2025
Expiration Date: 05/30/2025

Quote Summary

Description	Amount
S2 Elements Access Control System	\$21,562.42
Total: \$21,562.42	

Monthly Recurring Summary

Description	Amount
Elements Cloud Software	\$64.00
Mobile Credentials	\$12.00
Monthly Total: \$76.00	

*Optional Expenses

Description	One-Time
S2 Smart Cards DESFire EV3 - 2K byte - ISO smart card (printable) (packs of 100 priced each)	\$5.50
S2 Smart Cards DESFire EV3 - 2K byte - Smart Key Fob (packs of 100 priced each)	\$7.00
Optional Subtotal: \$12.50	

Payment Terms: - 40% Deposit, and balance Net 30 days.

All applicable taxes are in addition to the above prices.

Minuteman Security & Life Safety

Lower Gwynedd Township

Signature: _____

Name: Steve Hood

Title: Sales Engineer/CAD

Date: 06/12/2025

Signature: _____

Name: _____

Date: _____

Sales Agreement T&C's

Owner Provided Items

The customer will be responsible for providing the following before and during installation of the system(s) by Minuteman.:

Power: At our designated locations, regulated, clean 110VAC power and an isolated ground connected to the cold water building entry or equivalent.

Equipment Installation: Provision of space for mounting our electronic equipment. The space must have an operating environment suitable for the specified equipment.

Governmental Fees and Taxes: Sales and user taxes, permits and fees to the appropriate governmental authority.

Documentation: As-Built drawings, and other detailed engineering. These can be provided as an above contract item.

Lightning Protection: Although our equipment includes the original manufacturer's standard lightning and power protection, there is no guarantee provided against damage due to either of these sources. Additional protection is available and may be desirable.

Parking Area: Parking must be provided for 2 full size vans during the time of installation. If parking can not be provided it will be billed as an additional cost for the project.

Equipment Storage Area: Provide a secure location in which all equipment for the job can be stored while the installation is in progress.

LAN Connections or Telephone Jacks: Provide the appropriate number of jacks at specified locations for connection of devices to the Local Area Network or telephone system.

Data Entry: Owner is responsible for all data entry required to complete system operation. This includes but is not limited to setting up of user records, photo ID's, and basic system controls. This service can be provided by Access Security Corp. at an additional cost to the system price, but is not included in the base price.

De-installation and Relocation of Equipment: Patching and/or repair/painting of holes exposed after the removal of existing equipment

Standard

OPERATION: Customer shall be responsible for: (i) properly testing and setting the system on every closing and to properly turn off the system on each opening (if applicable); (ii) testing any detection device, or other electronic equipment designated in the Proposal prior to setting the System for closed periods; (iii) notifying Minuteman promptly if such equipment fails to respond to the test; and (iv) using and operating the System and the equipment properly and in accordance with proper operating procedures (if customer requires Minuteman Security Technologies). Whenever Minuteman employees or authorized representatives are sent to the Covered Premises in response to a service call or alarm signal caused by the Customer improperly following operating instructions or failing to close or properly secure a protected point, Customer agrees to pay an additional service charge at Minuteman's prevailing rate per occurrence.

DELAYS - INTERRUPTION OF SERVICE: Minuteman shall not be liable for any delays, however caused, or for interruptions of service caused by strikes, riots, floods, acts of God, loss of communication and or other signal transmission lines, or by any event beyond the control of Minuteman. Minuteman will not be required to furnish service to Customer while such interruption shall continue.

EXCLUSIONS: Services to be provided by Minuteman pursuant to this Agreement do not include:

- Repair of damage or increase in service time caused by failure to continually provide a suitable operating environment for the System as prescribed by Minuteman and/or the manufacturer of any equipment used in the System, including, but not limited to,

Sales Agreement T&C's

the failure to provide, or the failure of, adequate and regulated electrical power, air conditioning or humidity control; or such special requirements as contained in the Proposal hereto.

- Repair of damage or increase in service time caused by use of the equipment for other than the ordinary use for which the equipment was designed or purpose for which it was intended.
- Repair of damage, replacement parts (due to other than normal wear) or repetitive service calls caused by the use of unauthorized supplies or equipment.
- Repair of damage or increase in service time caused by: accident, disaster, which shall include, but not be limited to, fire, flood, water, wind and lightning; transportation, neglect or misuse, alterations, which shall include, but not be limited to, any deviation from Minuteman's physical, mechanical or electrical machine design; attachments, which are defined as the mechanical, electrical or electronic interconnecting to non-Minuteman equipment and devices not supplied by Minuteman.
- Electrical work external to the equipment or accessories furnished by Minuteman.

ADDITIONAL CHARGES: Unless otherwise specified in the Proposal, service charges for the system are based upon coverage during "normal business hours of operation." Service performed outside this window, or as a result of the failure of the Customer to adhere to the requirements as specified by either the manufacturer or outside the scope of the Agreement, shall be chargeable at Minuteman's prevailing rates. Customer shall not tamper with, adjust, alter, move, remove, or otherwise interfere with equipment without Minuteman's specific permission, nor permit the same by other contractors. Any work performed by Minuteman to correct Customer's breach of the foregoing obligation shall be corrected and paid for by Customer at Minuteman's prevailing rates. Remedial maintenance due to Acts of God or events beyond the control of Minuteman shall be corrected by Minuteman and paid for by Customer in accordance with Minuteman's prevailing rates.

Minuteman shall have the right to increase or decrease the periodic service charge provided above at any time or times after the expiration of one year from the date service is operative under this Agreement, upon giving Customer written notice thirty (30) days in advance of the effective date of such increase or decrease.

LIQUIDATED DAMAGES - MINUTEMAN'S LIMITS OF LIABILITY: Customer understands that Minuteman is not an insurer; that Customer is responsible for obtaining insurance for such reasons or purposes, including theft and vandalism, and in such amounts, as Customer shall determine. Customer further understands and agrees that the sums payable hereunder to Minuteman are based upon the value of services offered and equipment value provided and such sums are not related to the value of property belonging to Customer or to others located on the Covered Premises. Customer does not and shall not seek indemnity under this Agreement from Minuteman, and specifically waives any rights for indemnity for any damages or losses caused by hazards to customers, invitees, guests, or property of customer or third parties. Customer understands and agrees that the System and the services to be supplied hereunder are designed to detect security breaches, and that MINUTEMAN MAKES NO WARRANTY, EXPRESS OR IMPLIED, THAT THE SYSTEM OR THE SERVICES IT FURNISHES WILL AVERT OR PREVENT OCCURRENCES, OR THE CONSEQUENCES THEREFROM. Customer agrees that Minuteman shall not be liable to Customer, its employees, agents or guests, or to any third party, for any losses or damages, irrespective of origin, to person or property, whether directly or indirectly caused by performance or non-performance of obligations imposed upon Minuteman under this Agreement or by negligent acts or omissions of Minuteman, its agents or employees. In all events, it is further agreed that if Minuteman should become liable for any losses or damages for any reason having to do with this Agreement, Minuteman's total liability to Customer shall be limited \$250., which sum the Customer agrees is reasonable. The payment of this amount shall be Minuteman's sole and exclusive liability regardless of the amount of loss or damage incurred by the Customer.

INDEMNIFICATION: Each party shall indemnify and hold harmless the other, their trustees, officers, professional staff, employees and agents from and against any loss, damage, claim or liability, including reasonable attorneys' fees (collectively "liabilities"), arising out of the performance of this Agreement to the extent that such liabilities arise from the acts or omissions, negligence, gross or reckless misconduct, or intentional wrongdoing of the indemnifying party, its trustees, officers, professional staff, employees or agents.

Sales Agreement T&C's

WARRANTY: Minuteman Security Technologies, Inc. Full One Year Limited Warranty:

- **What is Covered:** This warranty covers any defects in materials or workmanship, including installation, with the exceptions stated below.
- **How Long Coverage Lasts:** This warranty runs for one year from the date your system was installed and accepted.
- **What Is Not Covered:** This warranty does not cover intentional or un-intentional misuse or of any of the system components or software. The warranty does not cover damage as a result of acts of god (lighting, floods, storms, etc...) or electric surge.
- **What Minuteman Will Do:** Minuteman will repair any part of the system that is proved to be defective in materials or workmanship. In the event repair is not possible on certain system components, Minuteman will replace said component with similar specification and price.
- **How To Get Service:** Contact our service department at your nearest service center. A service representative will review your system and take any necessary action to correct problems covered by this warranty.
- **How State Law Applies:** This warranty gives you specific legal rights, and you may also have other rights which vary from state to state.

RESTOCKING FEE: Any order or part of an order that is cancelled by the customer is subject to a 50% restocking fee, of the total amount cancelled.

TARIFF & DUTY ADJUSTMENT CLAUSE: Prices are based on current tariffs and duties. Any increases due to changes in tariffs, duties, or government fees will be the Buyer's responsibility. The Seller reserves the right to adjust pricing and will provide notice before order fulfillment.

Turnkey Installation

THIS QUOTE INCLUDE: Only the items and quantities of devices listed on this quotation. The design is pending approval of authorities having jurisdiction where approval is required. Pre-installation rough-in followed by one site visit for final connection of head-end w/ training if needed and all required testing to be performed during the same visit. Acceptance and testing documentation (when applicable). For alarm systems with a key lock box, if shown on plans the least expensive lock box will be provided unless specified otherwise. Work is to be performed during the hours of 8:00 AM and 4:30 PM. We may choose to make a network connection in the building to facilitate commissioning and service remotely.

THIS QUOTE DOES NOT INCLUDE: Multiple site visits for phased projects unless it was specifically advised of the phasing schedule prior to providing this quote. Permits, licenses, sales tax, or shipping costs to the customer unless each is specifically listed. Third party approvals or third-party testing or inspections unless specifically listed. Return visits if other trades could not be coordinated to be present during our original site visit. Labeling of devices, controls or any required signs unless specifically listed on the quote. Unforeseen existing conditions that were not brought to our attention prior to the quote.

IT IS THE CUSTOMER'S RESPONSIBILITY TO: Provide a revised equipment count if the quantities shown are incorrect. Provide a minimum of FIVE business days to schedule. Provide a clean and safe working environment that complies with all OSHA rules and standards. Provide a safe and secure, climate-controlled storage area for tools and the equipment being installed. Provide labeling and any required signs. Provide trash receptacles and pay for all trash removal unless trash removal is specifically listed. Cutting, patching, and painting of any areas affected by the installation unless each of these functions are specifically listed on the quote. If there is a custom annunciator/map or custom control panel, etc. then AutoCAD files must be provided to work from. To pay additional travel and labor costs for any additional unplanned site-visits.

Sales Agreement T&C's

TC-Hosted Services/Access Control

TC-Hosted Services/Access Control

1. SERVICE PROVIDED

1. Client agrees to buy, and MST agrees to sell, provide hosted cloud-based Access Control software for the **S2 Elements** system with access for **4** access-controlled doors.
- 1.2 These products, described hereinafter referred to as "The System", in accordance with the terms and condition hereinafter set forth. The system, provided by the MST shall consist of the following components listed within this Proposal.

2. PRICE AND PAYMENT

- 2.1 Hosted services access for the access control system that will include an **S2 Elements** account for **4** doors.
- 2.2 Service/storage charges are based per device. Adding additional device will change the annual cost.
- 2.3 Client agrees to pay MST for alarm monitoring services, the sum of **\$76.00**, payable as follows: **Seventy-six Dollars and Zero Cents (\$76.00)** monthly, for an agreed period of 36 months.
- 2.4 Billing is also available for quarterly or annual invoicing upon customers request.
- 2.5 This agreement will automatically renew after each 12-month term unless the "Buyer" notifies "Seller" in writing 60 day prior to the expiration date of the current term.

3. LIABILITY OF MST

- 3.1 MST does not represent or warrant: that the cloud-based software may not be compromised or circumvented; or that The System will prevent any loss by burglary, hold-up, fire or otherwise; or that The System will in all cases provide the protection for which it is installed or intended. Client acknowledges and agrees: that MST is not an insurer; that Client assumes all risk of loss or damage to Client's premises or to the contents thereof, and that Client has read and understands all of this agreement, particularly paragraph 7.1 which sets forth MST's maximum liability in the event of any loss or damage to Client or anyone else.

4. TITLE; RISK OF LOSS; DEFAULT

- 4.1 Until the software agreement is paid in full, Client shall bear the entire risk of loss thereof.

5. DEFAULT

- 5.1 In the event of default by Client in the performance of any of the terms or conditions of this agreement, MST may pursue any one or more of the following remedies, which are cumulative and non-exclusive:
 - 5.1.1. Recover from Client the total unpaid balance of the sum provided for in paragraph 2.1 and any other sum provided For herein;
 - 5.1.2. Immediately cease further access/service of the System;
 - 5.1.3. Terminate the contract by giving thirty (30) days written notice to Client; provided Client has not paid past due amounts within such thirty-day period.
 - 5.1.4. Pursue any other remedy at law now or hereafter existing.
- 5.2 In the event that Client shall be delinquent in the payment of a progress payment or any other installation charge, the Client hereby agrees to pay MST interest at the rate of 1.5% per month from the date of delinquency on the amount of the progress payment then due.

6. MST IS NOT AN INSURER; DISCLAIMER OF WARRANTIES; LIQUIDATED DAMAGES

- 6.1 It is understood and agreed that MST is not an insurer; that insurance, if any shall be obtained by Client; that payments provided herein are based solely upon the value of The System and are unrelated to the value of Client's property or the property of others located in Client's premises; that MST makes no guarantee or warranty, including any implied warranty of merchantability or fitness that The System supplied will avert or prevent occurrences or the consequences therefrom which The System is designed to detect or avert. Client acknowledges that it

Sales Agreement T&C's

is impractical and extremely difficult to fix the actual damages, if any, which may proximately result from a failure to perform any of the obligations herein, or the failure of The System to properly, operate with resulting loss to Client because of, among other things:

- (a) The uncertain amount or value of Client's property of others kept on the premises which may be lost or stolen, destroyed, damaged or otherwise affected by occurrences which The System is designed to detect or avert;
- (b) The uncertainty of the response time of any police or fire department should the police or fire department be dispatched as a results of a signal being received or audible device sounding.
- (c) The inability to ascertain what portion, if any, of any loss would be proximately caused by MST's failure to perform or its equipment to operate;

6.2 Client understands and agrees that if MST should be found liable for loss or damage due to the failure of The System in any respect whatsoever, MST's liability shall be limited to a sum of \$250.00 as liquidated damages and not as a penalty and his liability shall be exclusive, and that provisions of this section shall apply if loss or damage, irrespective of cause or origin, results directly or indirectly to persons or property, from performance or nonperformance of the obligations imposed by this contract, or from negligence, active or otherwise, of MST, its agents, assigns or employees.

7. ENTIRE INTEGRATED AGREEMENT: MODIFICATIONS; ALTERATIONS; WAIVER

7.1 This writing is intended by the parties as a final expression of their agreement and as a complete and exclusive statement of the terms thereof, in particular paragraph 6.2 which sets forth MST's maximum liability in the event of loss or damage to Client. This agreement supersedes all prior representations, understandings or agreements of the parties, and the parties rely only upon the contents of this agreement in executing it. This agreement can only be modified by a writing signed by the parties or their duly authorized agent. No waiver of a breach of any term or condition of this agreement shall be construed to be a waiver of any succeeding breach.

Escalation Clause

TC-Escalation Clause

Due to recent market volatility and ongoing supply chain issues, Minuteman is incorporating the following clause into all proposals and maintenance contracts:

Through no fault of Minuteman, In the event of a delay in product availability or price increase of materials procured by any manufacture and/or distributor, the contract sum, time of completion, or contract requirements shall be adjusted by a change order in accordance with the procedures of the Contract Documents. A change in price of any item of material from our manufactures or distributors will be considered between the date of this contract and the date of installation. Issuance of a purchase order or signed proposal constitutes acceptance of this clause.



MEMORANDUM

ATTN: Board of Supervisors

DATE: June 18, 2025

FROM: Jamie P. Worman, Assistant Township Manager

Jamie Worman

SUBJ: Waste Hauler Bid Award Recommendation

Recommended Motion: It is recommended that the BOS make a motion to award the Trash and Recycling Hauler contract to the low bidder for the service agreed upon.

The trash and recycling collection bid opening was held on June 17th, 2025. The Township had four haulers submit bid proposals including Republic Services, Waste Management, Whitetail Disposal, and JP Mascaro & Sons. The bid included two options for base service, a twice per week option consistent with our current service, and a second option for a once-per-week collection. The tabulation sheet of the proposed costs is attached to this memo for your reference. The apparent low bidders are as follows:

- Twice Per Week Collection- Republic Services 3-year Contract Price **-\$3,911,856.00**
 - **\$117.00 per quarter year 1**
 - **\$125.19 per quarter year 2**
 - **\$133.95 per quarter year 3**

- Once Per Week Collection- Whitetail Disposal 3-year Contract Price **-\$3,150,117.73**
 - **\$96.39 per quarter year 1**
 - **\$100.26 per quarter year 2**
 - **\$106.26 per quarter year 3**

Republic Services included a low volume option with their bid proposal and a senior citizen discount. Whitetail Disposal offered a senior citizen discount but did not offer a low volume option.

Items	Lowest	Unit of Measure	Quantity Required	BFI Waste Services of Pennsylvania,		J. P. Mascaro & Sons		WM		Whitetail Disposal,	
				Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
Base Bid Service Fee	\$ 39	Per Residential Unit Pe 1		\$ 39	\$ 39	\$ 81.42	\$ 81.42	\$ 46.12	\$ 46.12	\$ 57.84	\$ 57.84
Base Bid Weekly Standard Service Fee	\$ 32.13	Per Residential Unit Pe 1		\$ 34	\$ 34	\$ 72	\$ 72	\$ 35.97	\$ 35.97	\$ 32.13	\$ 32.13
Low Volume Option Service Fee	\$ 31	Per Residential Unit Pe 1		\$ 31	\$ 31	\$ 73.28	\$ 73.28	\$ 46.12	\$ 46.12	\$ 32.13	\$ 32.13
Extra Bulk Items and White Goods in Excess of One (1) Per Month	\$ 25	Per Item In Excess of O 1		\$ 75	\$ 75	\$ 70	\$ 70	\$ 60	\$ 60	\$ 25	\$ 25
Grass Clippings in Excess of Four (4) Bags Per Pickup	\$ 3	Per Bag	1	\$ 5	\$ 5	\$ 5	\$ 5	\$ 5	\$ 5	\$ 3	\$ 3
Leaf Waste in Excess of Twelve (12) Bags Per Pickup or per Bag	\$ 3	Per Bag	1	\$ 5	\$ 5	\$ 5	\$ 5	\$ 5	\$ 5	\$ 3	\$ 3
Alternative Senior Citizen Service Fee	\$ 28.92	Per Residential Unit Pe 1		\$ 31	\$ 31	\$ 73.28	\$ 73.28	\$ 46.12	\$ 46.12	\$ 28.92	\$ 28.92
Base Bid Service Fee	\$ 41.73	Per Residential Unit Pe 1		\$ 41.73	\$ 41.73	\$ 82.45	\$ 82.45	\$ 48.2	\$ 48.2	\$ 60.15	\$ 60.15
Base Bid Weekly Standard Service Fee	\$ 33.42	Per Residential Unit Pe 1		\$ 36.38	\$ 36.38	\$ 72.87	\$ 72.87	\$ 37.59	\$ 37.59	\$ 33.42	\$ 33.42
Low Volume Option Service Fee	\$ 33.17	Per Residential Unit Pe 1		\$ 33.17	\$ 33.17	\$ 74.2	\$ 74.2	\$ 48.2	\$ 48.2	\$ 33.42	\$ 33.42
Extra Bulk Items and White Goods in Excess of One (1) Per Month	\$ 25	Per Item In Excess of O 1		\$ 75	\$ 75	\$ 73.5	\$ 73.5	\$ 60	\$ 60	\$ 25	\$ 25
Grass Clippings in Excess of Four (4) Bags Per Pickup	\$ 3	Per Bag	1	\$ 5	\$ 5	\$ 5.5	\$ 5.5	\$ 5	\$ 5	\$ 3	\$ 3
Leaf Waste in Excess of Twelve (12) Bags Per Pickup or per Bag	\$ 3	Per Bag	1	\$ 5	\$ 5	\$ 5.5	\$ 5.5	\$ 5	\$ 5	\$ 3	\$ 3
Alternative Senior Citizen Service Fee	\$ 30.08	Per Residential Unit Pe 1		\$ 33.17	\$ 33.17	\$ 74.2	\$ 74.2	\$ 48.2	\$ 48.2	\$ 30.08	\$ 30.08
Base Bid Service Fee	\$ 44.65	Per Residential Unit Pe 1		\$ 44.65	\$ 44.65	\$ 84.74	\$ 84.74	\$ 50.37	\$ 50.37	\$ 63.76	\$ 63.76
Base Bid Weekly Standard Service Fee	\$ 35.42	Per Residential Unit Pe 1		\$ 38.93	\$ 38.93	\$ 74.91	\$ 74.91	\$ 39.28	\$ 39.28	\$ 35.42	\$ 35.42
Low Volume Option Service Fee	\$ 35.42	Per Residential Unit Pe 1		\$ 35.49	\$ 35.49	\$ 76.27	\$ 76.27	\$ 50.37	\$ 50.37	\$ 35.42	\$ 35.42
Extra Bulk Items and White Goods in Excess of One (1) Per Month	\$ 25	Per Item In Excess of O 1		\$ 75	\$ 75	\$ 77.25	\$ 77.25	\$ 60	\$ 60	\$ 25	\$ 25
Grass Clippings in Excess of Four (4) Bags Per Pickup	\$ 3	Per Bag	1	\$ 5	\$ 5	\$ 6	\$ 6	\$ 5	\$ 5	\$ 3	\$ 3
Leaf Waste in Excess of Twelve (12) Bags Per Pickup or per Bag	\$ 3	Per Bag	1	\$ 5	\$ 5	\$ 6	\$ 6	\$ 5	\$ 5	\$ 3	\$ 3
Alternative Senior Citizen Service Fee	\$ 31.88	Per Residential Unit Pe 1		\$ 35.49	\$ 35.49	\$ 76.27	\$ 76.27	\$ 50.37	\$ 50.37	\$ 31.88	\$ 31.88

3 year contract Tabulation-LGT Low Bidder

Twice per week service-BFI Waste Services- \$3,911,856.00

Once per week service-Whitetail Disposal- \$3,150,117.73

Memo

To: Board of Supervisors
From: Mimi Gleason, Township Manager
Date: June 18, 2025
Re: EAC Initiative for Single-Use Plastics



The Lower Gwynedd Township Environmental Advisory Council has been researching and discussing the value of a ban on certain single-use plastics by businesses in the Township. To obtain public feedback, they held an open house on April 9th and conducted a survey. They weighed pros and cons of impacting local businesses and striving for environmental benefits.

At their May 14th meeting, the EAC decided at this time not to recommend that the Board of Supervisors consider an ordinance banning single-use plastics and the complications that come with that (such as enforcement). Instead, they agreed that a good first step would be for members of the EAC to talk to Giant, Wawa, and CVS – the biggest remaining dispensers of plastic shopping bags in Lower Gwynedd – to discuss whether they would consider voluntarily eliminating use of those bags, as Whole Foods already has done. The EAC also will work with staff on a proactive public education campaign, including the importance of not putting plastic bags in recycling as they jam up equipment used to sort recycled materials.



MEMORANDUM

ATTN: Board of Supervisors
DATE: Friday, June 20, 2025
FROM: Michelle Farzetta, Office Manager
SUBJ: New IT Company

Recommended action: Approve the proposal from Navitend for IT Services for a three-year term.

In April staff put out an RFP for IT services. After both virtual and on-site interviews, we are recommending that our current consultant – Konica Minolta (formerly All Covered) – be replaced by Navitend. Navitend's cost is slightly less than what we currently pay Konica, and the rate is locked in for 3 years. They have private sector clients in New Jersey and Pennsylvania, and municipal clients in New Jersey. Lower Gwynedd would be their first municipality in Pennsylvania. Staff checked their references who had excellent things to say about them. Navitend's proposal and the RFP are included. We are asking for BOS approval so that we can give Konica the required 30-day notice before the expiration of their contract on Aug 1.



Friday, 30 May, 2025

Lower Gwynedd Township
Michelle Farzetta
1130 North Bethlehem Pike
Spring House, PA 19477
mfarzetta@lowergwynedd.org

Dear Michelle,

We thank you for the opportunity in considering a partnership with navitend. navitend has a track record of equipping businesses and teams with a secure and efficiently supported environment which we intend on delivering for the members of Lower Gwynedd Township. In our experience, part of delivering that experience involves the rollout of certain hardware/software to help establish a secure, uniform, and fully supported environment.

This updated proposal includes a breakdown of monthly support costs for both workstations and users. We've also included a budget for potential workstation replacements anticipated over the coming year. Additionally, your existing Microsoft licenses are itemized with a quantity of one each to show the monthly cost per license. This allows you to reference the per-license pricing and calculate your monthly budget based on the quantities you expect to need as we plan to transition the township's Microsoft licenses from annual commitments to a monthly model.

Our onboarding process is intentional and tailored to your specific needs. In the first few weeks, our primary focus will be monitoring and managing your network with minimal disruptive changes. We will move at a pace that aligns with your workflow and current IT environment, introducing new technologies and standardizing systems in a way that ensures long-term success.

navitend is a full-service Managed IT Services Provider headquartered in Sussex County, New Jersey. With over two decades of experience in delivering professional, secure, and reliable IT solutions, we specialize in working with local governments and small-to-midsize businesses. Our services include 24/7 help desk support, cybersecurity, network infrastructure management, data backup and disaster recovery, email and cloud solutions, and more.

While our main office is located in New Jersey, our team supports clients across New Jersey and Pennsylvania, including the greater Philadelphia area. In the event that on-site service is absolutely necessary, navitend will coordinate directly with the designated point of contact at the Township. Requests may be initiated via phone, email, or through our ticketing system. These requests are monitored and are immediately escalated to our dedicated dispatch, who will then schedule a technician for on-site resolution. While our goal is to resolve most issues remotely for efficiency and speed, we are fully equipped to provide in-person support when the situation warrants it.

Our team includes professionals with expertise in cybersecurity, Microsoft 365 administration, network security, cloud infrastructure, and municipal compliance. We work proactively to reduce downtime, ensure data security, and help organizations meet regulatory requirements.

Relevant Municipal and Comparable Experience navitend currently provides IT services for several municipalities in New Jersey, including:

Byram Township & Police Department, NJ
Netcong Borough & Police Department NJ
Green Township, NJ
Lafayette Township & Department of Public Works, NJ
Franklin Borough Board of Education, NJ
Sussex County Educational Services, NJ



Our work with these municipal governments involves managing day-to-day IT needs, ensuring CJIS compliance, overseeing secure network environments, managing endpoint security, and providing technical support to administrative staff and police departments. We understand the unique operational, compliance, and budgetary considerations that come with serving a local government.

While we do not currently serve Pennsylvania municipalities, we have active clients in the Philadelphia area and are familiar with the regional needs and expectations. Please see relevant clients in the area listed below.

- Christ's Home – IT Infrastructure & Security, Software, Consulting
- Friends Life Care (Plymouth Meeting) – IT Infrastructure & Security Support, Web Hosting & Support, Software Development
- Bradley Graphics (Bensalem) – IT Infrastructure & Security
- TAI (Newtown) – IT Infrastructure, Software, Consulting
- PrintMail (Newtown) – Consulting, Software
- Alphacare (Downtown Philadelphia) – IT Infrastructure
- Epilepsy Foundation of Eastern Pennsylvania (Downtown Philadelphia) – IT Infrastructure
- Columbia Point – IT Infrastructure
- Kemp Harvest – IT Infrastructure, Consulting
- Farm Art Produce – Software Development
- Albert C. Phy & Son – IT Infrastructure & Security
- Ralston Center – IT Infrastructure & Security
- Van Pelt Wealth Advisors – IT Infrastructure & Security
- Skilled Nursing Inc – IT Infrastructure & Security
- PMC Pharmacy – IT Infrastructure & Security, Consulting
- VigR Health – IT Infrastructure, Software, Consulting

Our experience with municipalities and similar-sized public sector entities positions us well to deliver the same high level of service, attention to detail, and security-focused support for Lower Gwynedd Township.

Team members and roles (For full list of team members and roles, please visit [navitend team](#))

Vincent: MSP Manager
Jesse: Service Manager
Stuart: Account Manager
De'Ana: Assistant Business Manager

Jeffery Pasmino
Business Development
navitend

Benefits	Description	Included in Monthly Service	Project	Add On
Productivity	Help desk to assist with application, internet, printing support, etc	Y		
Productivity	Remote support	Y		
Productivity	OnSite support	Y		
Productivity	Vendor Management	Y		
Productivity	Microsoft 365 Administration	Y		
Productivity	Domain Name Management	Y		
Productivity	Hardware Procurement/Sales	Y		
Productivity	Software Procurement/Sales	Y		
Productivity	MS Office Suite Online Training	Y		
Productivity	AI Awareness Training	Y		
Productivity	New PC Installation Labor when equipment purchased from navitend	Y		
Productivity	New PC Installation Labor when equipment NOT purchased from navitend		Y	
Productivity	Secure Remote desktop access			Y
Productivity	WiFi Audit and Installation		Y	
Productivity	Multi-site WiFi Management			Y
Productivity	Email Migration		Y	
Productivity	Corporate email signature management		Y	
Productivity	Microsoft Teams Voice Migration		Y	
Productivity	Microsoft Teams Voice Plans			Y
Productivity	VOIP Phone Implementation (non MS Teams)		Y	
Productivity	VOIP Phone Plans (non MS Teams)			Y
Productivity	Cloud Server Management			Y
Productivity	Cloud Printing Management			Y
Productivity	Microsoft CoPilot Licensing & Training		Y	
Productivity	Depot Service	Y		
Security	End User Annual Training	Y		
Security	End User email-delivered micro training	Y		
Security	Managed Simulated Phishing Campaigns	Y		
Security	HIPAA Training			Y
Security	Advanced Endpoint Protection (EDR) Security	Y		
Security	Advanced Data Collection (XDR) Security	Y		
Security	Managed Detection and Response (MDR) via Sophos Security			Y
Security	Managed Detection and Response (MDR) via Huntress	Y		
Security	Managed and Secure DNS Filtering	Y		

Security	Web Content filtering - Organization Wide	Y		
Security	Web Content filtering on a per User basis			Y
Security	MultiFactor Authentication	Y		
Security	Single Sign On	Y		
Security	Managed Operating System Patching	Y		
Security	Managed Major Third Party Application Patching	Y		
Security	Managed Password Manager	Y		
Security	Microsoft Security Score Monitoring	Y		
Security	M365 SaaS Backup - Exchange, OneDrive, SharePoint, Teams	Y		
Security	Onboarding and Offboarding of Users	Y		
Security	Managed Hard drive encryption	Y		
Security	Advanced Email Security & Filtering			Y
Security	Email Encryption		Y	
Security	Prescriptive application installation policy			Y
Security	Secure Password Reset Self Service			Y
Security	DRBC Appliance for Server procurement and installation		Y	
Security	DRBC Appliance for Server on- and off-site storage			Y
Security	DRBC Appliance for Server offsite virtualization in secure data center			Y
Security	Non DRBC Server and Workstation Backup			Y
Security	Daily backup checks to confirm backups are occurring as expected	Y		
Security	Firewall Management	Y		
Security	Firewall procurement & installation		Y	
Security	Managed Firewall as a Service with NBD replacement			Y
Security	Managed Switches	Y		
Security	Switch procurement and installation		Y	
Security	Managed Switches as a Service with NBD replacement			Y
Security	Managed WiFi Access Points	Y		
Security	WiFi Access points procurement and installation		Y	
Security	Managed WiFi Access Points as a Service with NBD replacement			Y
Security	Mobile Device Management			Y
Security	Security Policy Implementation & monitoring via policy manager - Intune		Y	
Security	Security Policy Implementation & monitoring via policy manager - Domain Controller		Y	
Security	Lock down of corporate access to corporate machines only		Y	

Security	Responsible Equipment Recycling			Y
Security	Dark Web Email Scans	Y		
Security	Weekly External IP Scans	Y		
Consulting	Scheduled Strategy Sessions to review priorities and service feedback	Y		
Consulting	Microsoft Licensing Audit	Y		
Consulting	Data Classification Audits		Y	
Consulting	Insurance Application Assistance	Y		
Consulting	Software selection		Y	
Consulting	Line of business application upgrades		Y	
Consulting	Compliance assistance such as ISO, CMMC, HIPAA, NIST			Y
Consulting	Tabletop Exercise		Y	
Consulting	GoDaddy M365 Defederation		Y	
Consulting	Website Hosting			Y
Consulting	Website and Ecommerce Management & Programming			Y
Consulting	Microsoft SharePoint Integration		Y	
Consulting	Custom Application Development		Y	
Consulting	Microsoft Dynamics Integration		Y	
Consulting	Microsoft Business Central Customization & Integration		Y	
Consulting	QuickBooks Enterprise Integration		Y	
Consulting	QuickBooks Online Integration		Y	
Consulting	Stripe Payment Integration		Y	



navitend

We have prepared a quote for you

Managed Services

Quote # 002644
Version 1




Prepared for:

Lower Gwynedd Township

Mimi Gleason
mgleason@lowergwynedd.org








Monthly Services

Description		Recurring	Qty	Ext. Recurring
navitend Workstation Support		\$50.00	40	\$2,000.00
<ul style="list-style-type: none"> As detailed in services above 	navitend			
navitend Service Agreement		\$1,500.00	1	\$1,500.00
<ul style="list-style-type: none"> As detailed in services above 	navitend			
navitend Additional Site Management		\$100.00	1	\$100.00
<ul style="list-style-type: none"> Monitoring of firewall Vendor management with ISP WiFi access point management, as applicable 	navitend			

Monthly Subtotal: **\$3,600.00**


Monthly Microsoft Licenses

Description		Recurring	Qty	Ext. Recurring
Entra ID P1		\$7.20	1	\$7.20
Microsoft 365 Business Premium Recurring		\$26.40	1	\$26.40
Microsoft 365 G3 GCC		\$43.20	1	\$43.20
Exchange Online Plan 2		\$9.60	1	\$9.60
SharePoint Plan 1		\$6.00	1	\$6.00

Monthly Subtotal: **\$92.40**





One Time - Service

Description		Price	Qty	Ext. Price
Onboarding <ul style="list-style-type: none"> Establishing our administrator access including password rotation automation Installation of security and management systems onto workstations and servers and configuration of respective cloud management platforms. "Welcome to navitend" orientation session Define inter-organizational rules of engagement, communication, emergency notification, etc. Documentation of network and vendor information User training on security and password tender featurer Scheduling of strategic meetings and roadmap planning 		\$3,000.00	1	\$3,000.00

Subtotal: **\$3,000.00**

Hardware Budgeting

Description		Price	Qty	Ext. Price
Laptop Bundle <ul style="list-style-type: none"> Dell Laptop (3 Year next day onsite warranty) Docking station Monitor 		\$2,160.00	3	\$6,480.00
Desktop Bundle <ul style="list-style-type: none"> Dell Desktop (3 Year next day onsite warranty) Monitor 		\$1,531.00	4	\$6,124.00

Subtotal: **\$12,604.00**



Managed Services

Prepared by:

navitend
Jeffery Pasmino
(973) 448-0070
jpasmino@navitend.com

Prepared for:

Lower Gwynedd Township
1130 North Bethlehem Pike
Spring House, PA 19477
Mimi Gleason
(215) 646-5302
mgleason@lowergwynedd.org

Quote Information:

Quote #: 002644
Version: 1
Delivery Date: 11/06/2025
Expiration Date: 14/07/2025

Quote Summary

Description	Amount
One Time - Service	\$3,000.00
Hardware Budgeting	\$12,604.00
Total:	
	\$15,604.00

Monthly Recurring Summary

Description	Amount
Monthly Services	\$3,600.00
Monthly Microsoft Licenses	\$92.40
Monthly Total:	
	\$3,692.40

Please see Terms & Conditions on the last page of this quote.
Please do not reference this quote number for payment. An invoice will be sent to you shortly; please reference that invoice number.

navitend

Lower Gwynedd Township

Signature: _____
Name: Jeffrey Pasmino
Title: Business Development
Date: 11/06/2025

Signature: _____
Name: Mimi Gleason
Date: _____



Future Projects

Projects

- Phones project
- Switch cable management
- Access Point/wifi coverage
- Workstation/Windows 10 replacement

Terms and Conditions

Managed Services: Services commence and navitend assumes responsibility for the network on the first day of onboarding. navitend does not assume responsibility of Customer's network prior to onboarding. 100% payment due for onboarding before onboarding services commence. 100% payment due for 1st month of service before onboarding services commence. Customer will provide adequate internet service at all contracted locations. navitend has no responsibility for damages or liability arising from Customer's internet provider. The first invoice will be prorated based on the service start date. Services are invoiced monthly. Services are invoiced on the 20th day of the month prior to the month the invoice is due. All active servers and workstations are required to be covered by the contract at all times. If servers or devices are added or removed, then the monthly licensing amount will be adjusted. If assets are removed/retired from the network, it is Customer's responsibility to notify navitend by the 15th of the month to update the contract. Notices to remove assets from the contract received after the 15th of the current month will not be reflected on the next month's invoice, but will be reflected after the next month's invoice.

Managed Services - Covered Services:

- Remote support of problems that arise with:
 - Supported Server Operating Systems, features, and roles
 - Supported network security appliances, switches, WiFi access points, UPS devices, and printers
 - Microsoft 365
- Remote end-user support of problems that arise with:
 - Supported Workstation Operating Systems
 - Supported office productivity applications
 - Supported third-party vendor applications (navitend will work with vendor to resolve, valid support contract required)
 - Supported peripheral devices including printers, scanners, docks, and monitors
- Remote user-level moves, adds, and changes (MAC) for
 - Active directory and local computers
 - Cloud and private cloud infrastructure
 - Microsoft 365 and/or Google Workspaces
- Setting up corporate email on a user's personal cell phone
- On-site resolution provided for covered services if remote resolution not possible

Managed Services - Not Covered Services:

Unless otherwise included in a contract, the following services are not covered and are either billed at the customer's hourly rate or may be available as a fixed-fee project.

- Remediation of security incidents including, but not limited to:
 - Ransomware infections
 - Data breaches
 - Note: The costs associated with services such as these can often be covered by a typical cyber-insurance policy.
- Consulting projects
- Adding software or hardware to the network.
- Decommissioning or retiring hardware or software from the network
- Upgrades of existing hardware or software
- Changes to the network configuration. For example, creating a separate VLAN for VoIP traffic.
- Training or teaching users (security training add-on available)

Managed Services - Supported Item List:



- Workstations running supported version of Windows desktop OS
- Servers running supported version of Windows Server OS, with a valid warranty
- VMWare hypervisor
- Hyper-V hypervisor
- Microsoft Azure
- Microsoft 365
- Sophos XG-series Security Appliances
- WiFi: Sophos Access Points. Enterprise grade UniFi Access Points. Controller required if more than one Access Point deployed. Guest Network required if guests are to access Internet from Customer Office.
- Switches: Sophos. Enterprise-grade UniFi Managed Switches with VLAN capability. One switch brand across entire company.
- Datto SIRIS and ALTO appliances
- Synology NAS devices
- APC UPS devices or equivalent
- Network printers, scanners, and MFPs

Contract Terms: This agreement is a 36-month contract. For cause, client may terminate the contract with a 60-day notice. The workstation support fee in this managed services contract can be changed at any time, provided a 60-day notice is provided to Customer prior to the fee change effective date. Fees may be changed due to substantial changes in network complexity or workload.

Additional Services: Consulting, special projects, and new/replacement hardware purchases are not included in this agreement. See Hourly Rates for the standard rate for consulting, projects, or any other billable work outside of the scope of the Managed Services contract.

Hourly rates: If in an existing managed services contract, \$140/hr. If in an existing Managed Services contract, and a non-profit, \$125/hr. If no existing contract, \$180/hr.

Payment Terms: Payment is due the 1st of the month. If payment is not received by the 10th of the month, interest shall accrue at the rate of 1.5% per month. If payment is not received after 30 days, Customer will be put on credit hold, and service will not be provided until Customer's account is current. navitend's total liability shall not exceed the collected fees from the prior month's service. This also includes the actions or omissions of third parties.

Sales Tax: navitend will charge sales tax on applicable items and services for the states of New Jersey and Wisconsin.

General: navitend will neither purchase nor support pirated or illegal software in any way, even if it is already part of Customer's network. navitend will not cover the cost of software or data that is not available to us during our recovery effort or that was lost prior to the recovery effort. Customer is responsible to provide license information for software Customer has purchased. If license information cannot be provided, Customer is responsible to pay for a new license.

Non-service Products and Offerings (Hardware, Software, Warranties, etc.): 100% payment is due before order will be placed.

Service Products (Installations, projects, etc.): Services will be invoiced upon completion. Quoted prices are based on Services being delivered during our regular business hours of Monday-Friday, 8:00am-5:00pm. A 35% premium will apply for any Services delivered outside of navitend regular business hours.

Backup: navitend is not liable for possible data loss if there is no valid backup before implementation of the backup solution. 100% payment due before backup hardware will be ordered. Due to the need to preserve existing backup data until the new backup system is fully implemented, it is possible there will be overlap in the billing of the new backup system, and the prior backup system. Usage will vary depending on backup set size and retention policies. Notice to cancel any backup contract is required by the 10th of the month to avoid being billed for the following month.

Business Continuity and Disaster Recovery Basic (datto Alto): Navitend owns the backup appliance. 12-month term contract with automatic renewal. Notice to cancel any backup contract is required by the 15th of the month to avoid being billed for the following month. To cancel the contract, buyout of remaining payments may be required.

techsoup.org: Any items listed from techsoup.org are only applicable to non-profits approved for techsoup.org pricing through the specific vendor(s) being purchased from. Products will be bought directly through techsoup.org. Any techsoup.org items shown on this quote are for budgetary purposes only, and are not to be paid to navitend.

navitend IT Support Overview

Contact Our Team



Technical Issues:

Call for Service
(973) 448-0070, Option 1
or email service@navitend.com



Everything Else: Call

for Account Management
(973) 448-0070, Option 2 or email
amteam@navitend.com



Our Office Hours

Monday-Friday 8am-5pm
Eastern time



Emergency After-Hours Help

Call (973) 448-0070, Option 1
* Please note: to receive service
after-hours, you must contact us by
phone. Follow prompts for service.

The Support Process

To facilitate the best support experience, please provide the following information when contacting navitend support, whether by phone, voicemail, or email:

- Your full name
- Organization name / location
- Best phone number to reach you
- Your email address
- Best / worst times to reach you
- Summary of request / issue
- Number of users impacted

Next Steps:

You will receive an email confirming that your request has been received. A technician will be scheduled to reach out to you.

About navitend

Our Mission is to provide our partners with a Predictably Awesome IT Experience.

We have a cool sheep as our logo. Meet Sherman. Next time you talk to a navitend team member, ask for some sweet Shermie merch!

Based in Northern New Jersey, our organization serves clients in the broader NJ / NY / CT / PA area, as well as fully remote organizations. Our knowledgeable and friendly team is looking forward to serving you.

Your feedback is a gift to us. We greatly welcome any feedback you may have for us, positive or negative. Please provide all feedback to our Account Management team.



navitend Scope of Services

Service Included in navitend Contract



Technical Support

Return-to-operability



Our Office Hours

Monday-Friday 8am-5pm Eastern time

Support Contact Guidelines

To facilitate the best support experience, please provide the following information when contacting navitend support, whether by phone, voicemail, or email:



Everything Else: Call for Account Management

(973) 448-0070, Option 2 or email amteam@navitend.com



Emergency After-Hours Help

Call (973) 448-0070, Option 1

* Please note: to receive service after-hours, you must contact us by phone. Follow prompts for service.

We greatly appreciate business referrals..... Incentives program.

Please note, this is a basic summary of the Terms & Conditions of your navitend service contract. For more details, please refer to your original signed proposal.



navitend Team



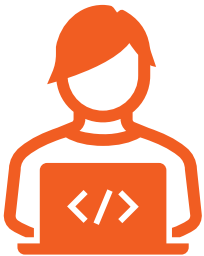
24 Total Staff



**10 Technical
Support Staff**



**6 Account
Management
Staff**



**5 Software
Development
Staff**



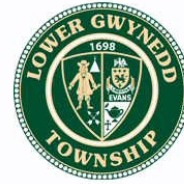
**2 Accounting
Staff**



**Dedicated
Security &
Automation
Manager**



LOWER GWYNEDD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA



2025 REQUEST FOR PROPOSALS FOR COMPUTER AND IT SERVICES

General Information

Lower Gwynedd Township (“the Township”) is governed by an elected five-member Board of Supervisors and has a population of 12,000 residents. The Township’s 9.4 square miles include premier employers, top-rated schools and a beautiful locale, making Lower Gwynedd highly desired as a place to live and work. Residents and employers in the Township expect, and receive, high quality services from their local government.

The Township invites companies to submit proposals for Computer/IT Services. The Township is seeking proposals from companies that can provide services on site and remotely, and therefore the selected company must have a local presence.

Lower Gwynedd’s 60 (+/-) employees are divided among the Police, Public Works, Building and Zoning, and Administration Departments, which all routinely use technology. The police department provides full-time 24/7 coverage. The other departments generally operate during standard business hours but also must be able to rely on technology during emergencies and frequent evening meetings. All departments use Microsoft applications and a common range of software, such as records management, accounting general ledger, and GIS programs. The Township is completing a full transition to the cloud, which has increased employees’ use of Microsoft SharePoint in particular, but also overall shifting the balance of IT needs from hardware and network assistance to assistance with software setup and structure, as well as system reliability and security.

As described in more detail below, the proposal is to include evidence of the company’s experience providing IT services for clients with comparable needs to the Township’s.

Submit proposals to Michelle Farzetta, Office Manager, at mfarzetta@lowergwynedd.org. The submittal deadline is Friday, May 2, 2025, at 4:00 p.m.

Scope of Work

The Township seeks a third-party full-service IT consultant to provide both proactive and preventative management of our computers, network and entire technology infrastructure, while also providing user support, backup, systems monitoring, troubleshooting, licensing, and planning services. The successful proposal will provide a comprehensive, multi-faceted management strategy that sets forth remote and on-site services for the Township's IT infrastructure. Planned features, at a minimum, will include the following:

- Designated account manager who is assigned to Lower Gwynedd Township and is the point-person for the Township Management Team
- 24/7 remote monitoring of all network elements
- Unlimited remote support/help desk assistance with prompt response to user issues for quick resolution
- Capable and user-friendly end-user computer support (connectivity, virus malware protection, updates, patches, etc.)
- Microsoft 365 support
- Knowledge in SharePoint and all of its components
- Managed backup for Microsoft 365
- Management of all annual licensing
- Management of Cisco switches
- Monthly on-site visit
- Ongoing management of the network, cloud computing services, computers, and technology infrastructure
- Assistance managing and, as needed providing direct support and interaction with other technology vendors and software providers
- Regular backup of all data
- Managed security services and disaster recovery
- Management of cyber security including firewalls
- Management of all Guest and Employee access points
- 24/7/365 remote support for the police station
- Purchase and set up of new computers as needed on a replacement schedule
- Knowledge of Criminal Justice Information Services (CJIS) a plus

COMPUTER/IT INVENTORY

COMPUTERS

- Desktop Computers: 19
- Laptops: 21
- Email users: 64

Network Devices:

- Network Devices: Firewall and Cisco Switches

PROPOSAL SUBMISSION

Proposals must include the following information:

Company Experience and Qualifications:

- Provide an overview of the company and its qualifications. Include the company's location in the area and a description of the locations where company representatives work from who are likely to provide services to the Township.
- Describe the company's experience with municipal clients in Pennsylvania consistent with the scope of services above. If the company does not have municipal clients, describe the company's experience with clients of similar size or similar type of work to the Township.
- List the company's current or recent clients, if any, that are municipalities.
- Provide a list of references with contact information and a description of the services provided by the company.

IT Team:

- Specify who will serve as the primary point of contact if the company is selected.
- Describe the experience, credentials, and other qualifications of the primary point of contact and any other key staff who may do work for the Township, including the specific roles that each person would be expected to play.
- Describe the team's approach to service delivery and explain how tasks and projects are managed to ensure timely response and completion.
- Provide information about the company's ability to perform on short notice and in a timely manner, if a significant issue arises impacting the Township's ability to provide services. Provide an explanation of how your help desk process works and how tickets are prioritized.
- Include any other information about the company or IT team that could be relevant.

Fee Proposal:

- Provide a detailed fee proposal for the proposed services; identify clearly what work is included in the base cost and what work would necessitate a separate proposal.
- List fees associated with annual software renewal or annual equipment purchases separately
- List any anticipated reimbursable expenses, and the rate charged for each.
- Describe the company's liability insurance coverage applicable to the scope of services above; include insurance certificates summarizing such insurance coverage.

The Township reserves the right to:

- Select a proposal in its entirety or some portions thereof.
- Reject any and all proposals, in whole or in part.
- Waive irregularities.
- Share the answers to questions asked by the company about the RFP that would help to clarify the RFP for other candidates.
- Research and confirm the qualifications of any and all companies submitting proposals.

ACCOUNT ACCESS/ PASSWORDS/DOCUMENTATION

At the termination of services, the company shall promptly provide to the Township access to and information about all accounts, equipment, and documentation related to the Township's computers, network and any other IT-related services or infrastructure, at no cost to the Township.

SELECTION PROCESS

Township staff will review and evaluate proposals based on their overall merits in an effort to select the company that is most qualified and most likely to serve the best interests of the Township. The Township will consider cost, quality and overall value and shall not be required to select the lowest cost proposal. The resulting Contract will include this RFP, any clarifications or addenda thereto, the selected company's proposal, and any changes negotiated by the parties. The compensation of the selected company shall be fixed by Contract.

The Township staff, at their discretion, will conduct interviews with some or all of the submitting companies. Initial interviews will take place virtually during the week of May 12, 2025. Second interviews for selected companies will take place during the week of May 26, 2025, at the Township Building and include an opportunity to survey the existing inventory of computer hardware/software and associated devices. Appointments will be scheduled in one-hour increments, as available, up to and including Friday, May 30, 2025.

The staff will make a recommendation to the Township Board of Supervisors who will appoint the selected IT Consultant at a public meeting.

**LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS
COUNTY OF MONTGOMERY,
COMMONWEALTH OF PENNSYLVANIA**

RESOLUTION # 2025-11

A RESOLUTION IN SUPPORT OF SEPTA FUNDING

WHEREAS, the ability of the Southeastern Pennsylvania Transportation Authority (SEPTA) to operate safe, frequent, reliable transit service is invaluable for Lower Gwynedd's local economy and as a regional transportation option for Lower Gwynedd's residents; and

WHEREAS, funding for SEPTA and other transit agencies in Pennsylvania has stagnated while costs have escalated, a situation that threatens to impose service cuts of up to 45 percent and fare increases of over 20 percent on SEPTA riders; and

WHEREAS, these cuts would fundamentally alter the everyday lives of countless Lower Gwynedd residents, workers, and business owners who rely on the Lansdale/Doylestown regional rail line and/or bus service; and

WHEREAS, these cuts would also impact drivers who will encounter a significant increase in traffic on local roads;

NOW, THEREFORE, BE IT RESOLVED that the Lower Gwynedd Township Board of Supervisors strongly encourages regional and state officials to work together to address SEPTA's immediate funding crisis and to establish permanent, dedicated, and sustainable funding sufficient to ensure service for the entire SEPTA network and provide a convenient, safe and reliable system for all riders.

Resolved and enacted by the Lower Gwynedd Township Board of Supervisors this 24th day of June, 2025.

Attest: _____
Mimi Gleason
Secretary

By: _____
Danielle Duckett, Chair
Board of Supervisors

MEMORANDUM

TO: Mimi Gleason, Township Manager
Lower Gwynedd Township

FROM: Helen Lam, P.E.
Chad Dixon, AICP

DATE: June 17, 2025

**RE: PennDOT ARLE Grant Application
Bethlehem Pike and Tennis Avenue**

Based on recent traffic signal inspection reports and a review of the intersection with township staff, we recommend the Township pursue funding with the 2025 round of the PennDOT Automated Red Light Enforcement (ARLE) program. Based on our review, we have identified the following upgrades for the scope of work in the grant application:

- Replace all mast arms
- Replace existing loop detection system with advance radar dilemma zone and stop bar video detection systems
- Replace pedestrian push buttons with APS
- New traffic signal heads with retroreflective back plates
- Flashing yellow arrow signal heads for Bethlehem Pike approaches

The traffic signal controller assembly, pedestrian countdown signals, stub poles, and ADA ramps that were installed in 2018, will be maintained for the intersection.

The preliminary estimated total cost for the traffic signal upgrades is \$364,182.00. The recommended grant request amount is \$291,345.00 with a local match commitment of \$72,837.00. The current round of the ARLE program opened on June 1, 2025, with applications due June 30, 2025. Based on prior years for the ARLE program, grant awards can be expected late 2025/early 2026. If the Township's application is selected, we currently estimate the project schedule may involve approximately a minimum of 10 months for design/permitting/bidding and 8 months for construction.



WORK ORDER

Date: 5/30/2025

Bowman Consulting Group Ltd.

1515 Market Street
Philadelphia, PA 19102

Phone: 215-433-1660

Lower Gwynedd Township

1130 N. Bethlehem Pike
Spring House, PA 19477

Phone: 215-646-5302

Project Name: Bethlehem Pk & Penllyn Pk Pole Replacement

Classification: TRANSPORTATION: Traffic Operations

SCOPE OF SERVICES AND FEES

As requested, the following is a summary of the services from Bowman for the replacement of the two (2) mast arms for the Penllyn Pike and driveway approaches at the intersection with Bethlehem Pike, along with its associated signal wiring.

Task 1: Construction Document and Bid Preparation

Bowman will prepare a construction and bid document package for advertisement of the project and to be utilized by the contractor in completing this project. It will illustrate information, including existing equipment to be removed, proposed signal equipment, available utility information within the immediate vicinity of the intersection, and electrical distribution system.

Bowman will prepare technical specification and contract documents for Lower Gwynedd Township's review and approval. Once approved by the Township the project will be advertised. Bowman anticipates the use of PennBID for the advertisement of the project. All bid documents will be prepared for use with PennBID.

Task 2: Services During Construction

Bowman will represent the Township during the course of construction to observe the construction for the two traffic signal supports replacement at the intersection referenced above. These services include construction coordination meeting, shop drawing review, response to RFI's, payment review, pole spot meeting, and final inspection meeting. Because the extent of the assistances is unknown at this time, the services will be provided on a time-and-material basis according to our approved *Lower Gwynedd Township Rate Schedule and Terms and Conditions* in effect at the time the work is performed.

Note: The scope of services assumes the revisions to the Traffic Signal Permit Plan will not be required by PennDOT. If revisions are required for the permit plan, Bowman will provide an addendum to this work authorization for review and approval by the Township.

FEE: **Task 1 - \$6,000 (Lump Sum)**
 Task 2 - \$5,500 (Hourly Estimate)

EXPENSE: **\$500 (Estimate)**

Conditions

All Invoices not paid within 30 days are subject to 1.5% monthly interest charge, and all projects with overdue balances exceeding 60 days will be subject to a stoppage of all work. Any changes in the specific work program described above will result in an adjustment of the condition and fees. The fee quoted above is valid for a period of 60 days from the date of this proposal. If the term of this contract, as contained herein, are agreeable to you, please execute the agreement below in the space provided and return the signed copy to our office.

The individual signing this Work Order form states that he or she has the authority to sign on behalf of the Client. Execution of this Work Order by an authorized representative of the Client constitutes authorization to proceed.

Bowman Consulting Group Ltd.

By: _____

Name: _____

Title: _____

Date: _____

Lower Gwynedd Township

By: _____

Name: _____

Title: _____

Date: _____

Rev. June 17, 2025

March 19, 2025

Jim Hersh
Ingersoll Ball Park- Concession building
905 Wister Ave,
Penllyn, PA 19422

Re: TIPS Contract # 241001

Dear Jim:

Gorski Engineering, Inc. is pleased to submit this Design/Build budget proposal for design and construction for a new 1,195-square-foot 2- story building, installation of new force main, and related sitework. The budget is per drawings A1.1, A1.2, A1.3, A1.4, A2.0, A2.0 Alt. and Conceptual sketch plan dated 02-21-25 prepared by Gorski Engineering, Inc. and as outlined below, as well as Site Improvement Plans including the Cover Page, and sheets 1 thru 11, created by Gilmore & Associates, Inc., dated 5/9/25.

It should be noted that the pricing in this proposal is only preliminary and intended for planning purposes. The building's cost is determined by the schematic plans and outline specifications listed below. The plans must be engineered and approved before final pricing can take place.

Design and Engineering:

We provide the following:

- **Design code: International Building Code 2018**
- The township is responsible for the township grading permit and the county conservation district letter of adequacy.
- Gorski will provide the water connection permit and the electric service connection permit
- Prepare building floor plan including dimensions, layout, and any specific features or requirements.
- Prepare building cross sections.
- Prepare interior door and window schedules.
- Preparing project specifications - detailing the requirements, materials, methods, and standards for construction project
- Prepare permit application documents for a construction project involves compiling a comprehensive set of drawings, plans, specifications, and other documentation required by the local building authority to obtain permits for construction
- Preparing construction plans - creating detailed drawings and documents that communicate the design, layout, and specifications for a construction project

- Maintain construction plans throughout the project.
- Preparing as-built drawings - documenting the final, built condition of a construction project, capturing any changes or deviations from the original design plans

General Conditions:

We provide the following:

- Full-time, on-site project supervision throughout the duration of the project to oversee and manage various aspects of the construction process.
- Project management
- Safety meetings - held on a regular weekly basis
- Temporary water, electrical service for construction, electric costs paid by the owner
- Construction office and storage
- Temporary toilet placed in convenient locations within the construction site.
- Weather protection
- Tool and equipment rentals
- Construction testing services to ensure that construction materials, components, and structures meet specified standards and requirements.
- Daily Site and building clean-up during construction and maintaining a safe and organized work environment.
- Dumpster rental and debris removal
- Construction sign
- Post-construction cleaning

Existing Conditions:

- Work includes demolition of existing concessions building's slab and footers.
- The Owner shall be responsible for demolition and removal of existing structures and utilities.
- Any remaining underground utilities or structures not removed shall be properly capped, marked, or documented.

Site Work:

We provide the following:

- Erosion control
- Site work – Prepare Building Pad
- Nitterhouse or equal Masonry Concrete Splash Blocks
- 10 feet 4" PVC sanitary sewer lateral with cleanout
- 40 feet connection to the water main (30 feet on site + 10 feet offsite - under the road)
- 6-feet wide, 4" thick concrete sidewalk along the concession windows, base of the stairs and at the exit doors
- Installation and connections for 1 ¼" HDPE sanitary piping for force main.
- Sanitary grinder pump.

- Directional boring of approximately 225 LF of sanitary piping to limit excavation disturbance of existing areas.
- Excavation and backfill for sanitary piping installation where necessary.
- Roadway restoration where necessary for sanitary piping installation.
- Flagging for work in roadway.
- Landscaping including shade trees as noted.

Concrete:

We provide the following:

- Excavation and backfilling for building footings and foundations.
- Reinforced concrete piers and footings for the building's structural foundations have a 4,000 psi capacity after 28 days.
- 4" thick 4,000 psi (at 28 days) concrete slab on grade with 6" stone base, welded wire fabric reinforcement and vapor barrier.
- Lower-Level Floor—Apply L&M DRESS & SEAL WB 25 curing/sealing agent

Masonry:

We provide the following:

- The building perimeter has 8" thick standard foundation blocks along its exterior walls.
- 8" thick standard CMU masonry walls flush joints on all walls of the building as shown.
- Loose Lintel for openings

Carpentry and Millwork:

We provide the following:

- The wood framing shall be constructed using kiln-dried SPF dimensional lumber, including load-bearing floor joists, subflooring, and necessary beams or supports. The second-floor framing will consist of 2x12 joists at 16" O.C. with 3/4" tongue-and-groove decking. The roof framing will use 2x8 joists at 16" O.C. with 5/8" sheathing.
- Exterior wood stair to a second floor, minimum width 44 inches, Landings top and bottom, Guardrail height 42 inches, Live load capacity: 100 psf, pressure-treated
- Canopy over the concession areas, and stairwell and landing areas. Roof decking for canopies to be corrugated aluminum. Canopy to project out 36" from wall at concession area.
- Support Frame: Steel and/or aluminum framing members (channels, angles, or square tubes) to support the canopy. The frame will be designed to bear the expected loads from snow, wind, and other environmental factors.
- One (1) 72" x 24" base cabinet and Plam countertop, and one (1) 54" x 24" base cabinet and Plam countertop in concession area (room 102)

Thermal and Moisture Protection:

We provide the following:

- Caulking of exterior window and door frames as well as masonry control joints.
- 2" thick extruded polystyrene perimeter foundation insulation extending 2' below the grade on all exterior foundation walls.

Roofing:

- Double Layering Wood Shingles & Shakes
- 30# Felt
- Install trims and flashings
- Install 6-inch seamless K-style gutters and 4-inch downspouts
- R13 Butt insulation

Windows, Doors, Frames & Hardware

We provide the following:

- Four (4) 3/0 x 7/0 Expidoor Heavy Duty (500 Series) with Hager 4701 Exit Device, closer Falcon SC71 Heavy Duty, standard color
- One (1) 6/0 x 7/0 Expidoor Heavy Duty (500 Series) with Hager 4701 Exit Device, closer Falcon SC71 Heavy Duty, standard color
- One (1) 3/0 x 7/0 Wood Doors – Rotary Cut solid core birch – Prefinished Standard Color. Hollow Metal Frames 18 gage primed cold rolled steel, polystyrene core. Hardware – Finish – Brushed Chrome / Sprayed Aluminum Sargent 6500 series levers
- Keying all doors by the owner.
- Installation of doors, frames, and hardware

Windows

- Two (2) 4/0 x 4/0 Simonton 5500 Reflection Picture ProSolar Low E
- Four (4) 6/0 x 4/0 Simonton 5500 Reflection Picture ProSolar Low E
- Three (3) 6/0 x 4/0 Simonton Slider Window

Metal Studs, walls, Drywall and Ceilings:

We provide the following:

- The interior walls are framed with 3-5/8" wide metal stud framing. Each side of the metal stud wall is covered with a single layer of 5/8" thick drywall. Level 4 finish
- Exterior walls are exposed CMU (No drywall)
- Fire rated 5/8" Gypsum Board ceiling 1st and 2nd floor

Flooring:

We provide the following:

- Upper-Level Floor – Armstrong standard Excelon or equal, Size: 12" x 12" Vinyl composition Tile
- 1st floor and bathrooms- Polish concrete

Paint:

We provide the following:

- All surfaces not painted will be protected with drop cloths, plastic and tape.
- All surfaces painted will be cleaned, sanded, caulked, wood filled and spackled.
- All GWB walls will receive 1st coat: SW ProMar 200 Primer. 2nd coat: SW ProMar 200. All CMU standard walls (from interior side) will receive 1st coat SW PrepRite Block Filler. 2nd coat: SW ProMar 200.
- All concession area walls will have 6" high epoxy paint

- All restroom walls receive epoxy paint
- Exterior Concrete Masonry Units (CMU) Paint with Sherwin-Williams Duration Exterior Acrylic Latex

Accessories:

We provide the following:

Restrooms

- Two (2) Set of Grab Bars - Each bathroom will be equipped with grab bars for support and stability. The grab bars will be securely mounted to the walls and provide assistance for individuals with mobility impairments.
- Two (2) toilet paper holder, fixture installed in bathrooms for holding and dispensing toilet paper. Stainless steel, chrome, or brushed nickel.
- Two (2) 18" x 36" Stainless Framed Mirror
- Two (2) Vertical, Surface Mount Soap Dispenser

Fire Extinguishers

- Two (2) Amerex MP-10 10 lb ABC extinguisher (Inspection Tag included)

Plumbing: (Utilize the existing services)

We provide the following:

- Two (2) Kohler tank or American Standard style, pressure-assist tank type, floor mounted
- Two (2) floor mounted Lavatory sinks, vitreous china, Kohler or equal
- One (1) 24" x 24" commercial utility basin with faucet
- One (1) Outdoor Rated, Vandal Resistant Bi-Level Versacooler II, Non-Refrigerated
- Four (4) recessed floor drains (FD-101-M) at restrooms, storage room/future restroom, and concession's area sink.
- Provide plumbing rough-in for possible future restroom in storage room 101 (per scenario indicated on drawing A1.2).

HVAC:

We provide the following:

- 1st floor electric heating units capacity should be approximately 43 BTUs per square foot
- 2nd floor thru-wall PTAC (Packaged Terminal Air Conditioner), Cooling and Heating Load 13,000BTUs minimum

Electrical:

We provide the following:

1. Provide and install new 200amp 1 phase 120/240v PECO Service.
 - Provide and install 2 ½" PVC Sch 40 approx 100' from concession building to PECO pole with transformer.
 - Install required conductors from PECO pole to meterbase location on new building.
 - Provide and install 200amp PECO underground meterbase.
 - Terminate and energize. (Price includes coordination with PECO)
 - Provide required service grounding.

- Install 2 ½" conduit from meterbase to panel P1 location in Chase room.
- Provide and install 200amp 1 phase 120/240v panel.
- Provide/install emergency lighting/exit signs
- Provide feeder circuits to HVAC/Plumbing Equipment

The total preliminary budget for the work as described above is: Nine Hundred Ninety-One Thousand Six Hundred Twenty Four dollars -----\$991,624.00

General contractor	\$826,424.00
Plumbing	\$44,300.00
Electrical	\$120,900.00

DIVISION	DESCRIPTION	AMOUNT
Division 1	General Requirements	
	General Conditions	\$113,400
	Design & Ancillary Services	\$37,000
	Performance & Payment Bond	\$12,600
Division 2	Existing Conditions - NA	
Division 3	Concrete	\$32,700
Division 4	Masonry	\$103,600
Division 5	Metals - NA	
Division 6	Wood & Plastics	\$60,200
Division 7	Thermal & Moisture Protection	\$29,500
Division 8	Openings	\$55,400
Division 9	Finishes	\$54,400
Division 10	Specialties	\$2,620
Division 11	Equipment - NA	
Division 12	Furnishings - NA	
Division 13	Butler Bldg PEMB	
Division 21	Fire Suppression - NA	
Division 22	Plumbing	\$44,300
Division 23	HVAC - NA	
Division 26	Electrical	\$120,900
Division 31, 32, 33	Earthwork, Exterior Improvements, Utilities	\$325,004
Total		\$991,624



Assumptions, Qualifications and Exclusions:

- This proposal and the scope of work above is a product produced by Gorski Engineering, Inc. for the sole purpose of a design/build project by Gorski Engineering, Inc. No other use is implied or intended. **Should any party use this product in any other manner, penalties may apply.**
- **The budget is not final and may be subject to revision due to the ongoing approvals process**
- No land development or building permit fees are included in this proposal unless noticed otherwise.
- We include no utility relocations or extensions unless specifically noted
- No local utility costs or fees, local authority costs or fees or utility connection fees included.
- No variances to municipal zoning included.
- No security, data or telephone wiring or systems included unless noted otherwise.
- No fire alarm system included unless noted otherwise.
- No temporary electric is included.
- No soil testing and remediation, groundwater testing and treatment, contamination investigation and site remediation included.
- No furniture is included
- No liquidated damages are anticipated or included in this budget
- Any/all Utility Power and Communication charges are excluded
- The material prices as of the above date are the basis for this Work Scope and Pricing Update.

Conditions:

This Work Scope and Pricing is based on material prices and prevailing wages labor as of the above date. Due to the volatility in the pricing of construction materials, the timing of construction will affect final pricing. The work will be executed during normal working hours. The permitting and review by governmental agencies along with all the related fees are to be assumed by the Owner. No identification, handling, removal or disposal of hazardous materials is included. No relocation of utilities or extension of utility lines is included unless specifically mentioned.

Invoicing will be monthly on a percent-complete basis with payment due within ten (10) days of receipt, no retainage. Butler steel will be invoiced, and payment is due upon delivery to the site. Late payment will result in a late fee accrual at a rate of 1% per month of the outstanding balance owed.

Respectfully,



Jerry Gorski, P.E., President



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610-489-9131

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PROJECT

LOWER GWYNEDD TOWNSHIP

PARK BUILDING

INGERSOLL BALL PARK
905 WISTER AVE, PENLLYN, PA 19422

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SHEET TITLE

LOWER LEVEL FLOOR PLAN

PROJECT NO

8024

DRAWN BY

D.F.

SCALE

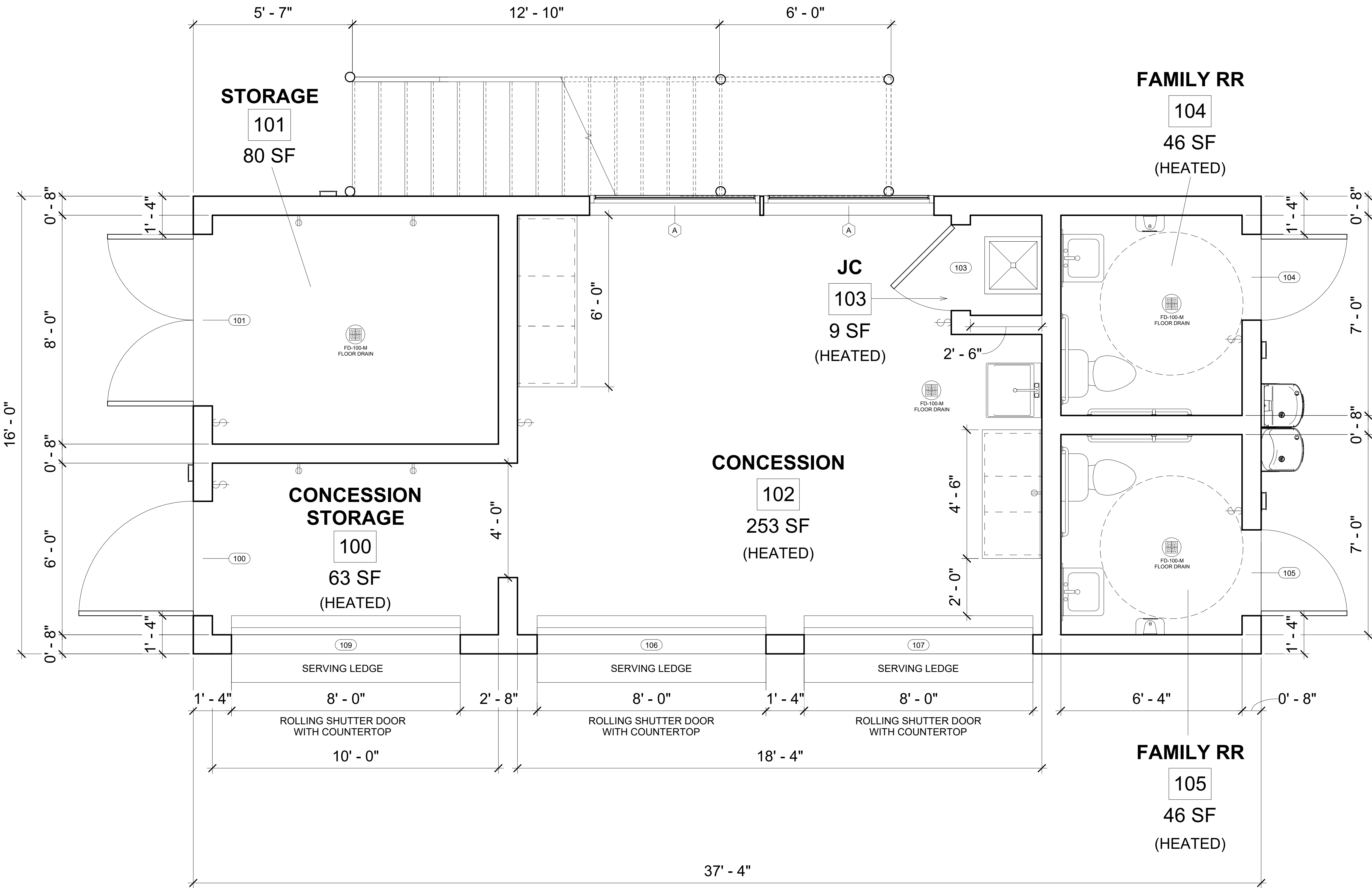
1/2" = 1'-0"

DATE

06/13/25

SHEET NUMBER

A1.1



LOWER LEVEL

1

A1.1 1/2" = 1'-0"

WINDOW SCHEDULE

Type Mark	Width	Height	Count	Manufacturer	Model	Comments
A	5' 11 1/2"	3' 11 1/2"	4	Simonton Windows	Profinish Master Series	FIXED UNIT - VINYL STOCK (4060)
B	3' 11 1/2"	4' 11 1/2"	2	Simonton Windows	Profinish Master Series	FIXED UNIT - VINYL STOCK (4050)
C	5' 11 1/2"	3' 11 1/2"	3	Simonton Windows	ProFinish Contractor Series	SINGLE SLIDER WINDOW (6040)

Door Schedule

Opening		Door				Frame	FR	Hardware			MANUFACTURER	MODEL	Comments
Mark	Count	Width	Height	Material	Core	Material		Handset	Closer	Panic			
100	1	4' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500	
101	1	6' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500	
103	1	3' - 0"	7' - 0"	BIRCH	SOLID	HM							PAINTED INTERIOR DOOR W/STEEL FRAME
104	1	3' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500	
105	1	3' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500	
106	1	8' - 0"	4' - 0"	STEEL	SOLID	HM							ROLLING SHUTTER DOOR WITH COUNTERTOP
107	1	8' - 0"	4' - 0"	STEEL	SOLID	HM							ROLLING SHUTTER DOOR WITH COUNTERTOP
109	1	8' - 0"	4' - 0"	STEEL	SOLID	HM							ROLLING SHUTTER DOOR WITH COUNTERTOP
200	1	3' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500	
201	1	7' - 0"	7' - 0"	BIRCH	SOLID	HM							

CONCEPTUAL PLAN - NOT TO BE USED FOR CONSTRUCTION



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PROJECT

LOWER GWYNEDD TOWNSHIP

PARK BUILDING

INGERSOLL BALL PARK
905 WISTER AVE, PENLLYN, PA 19422

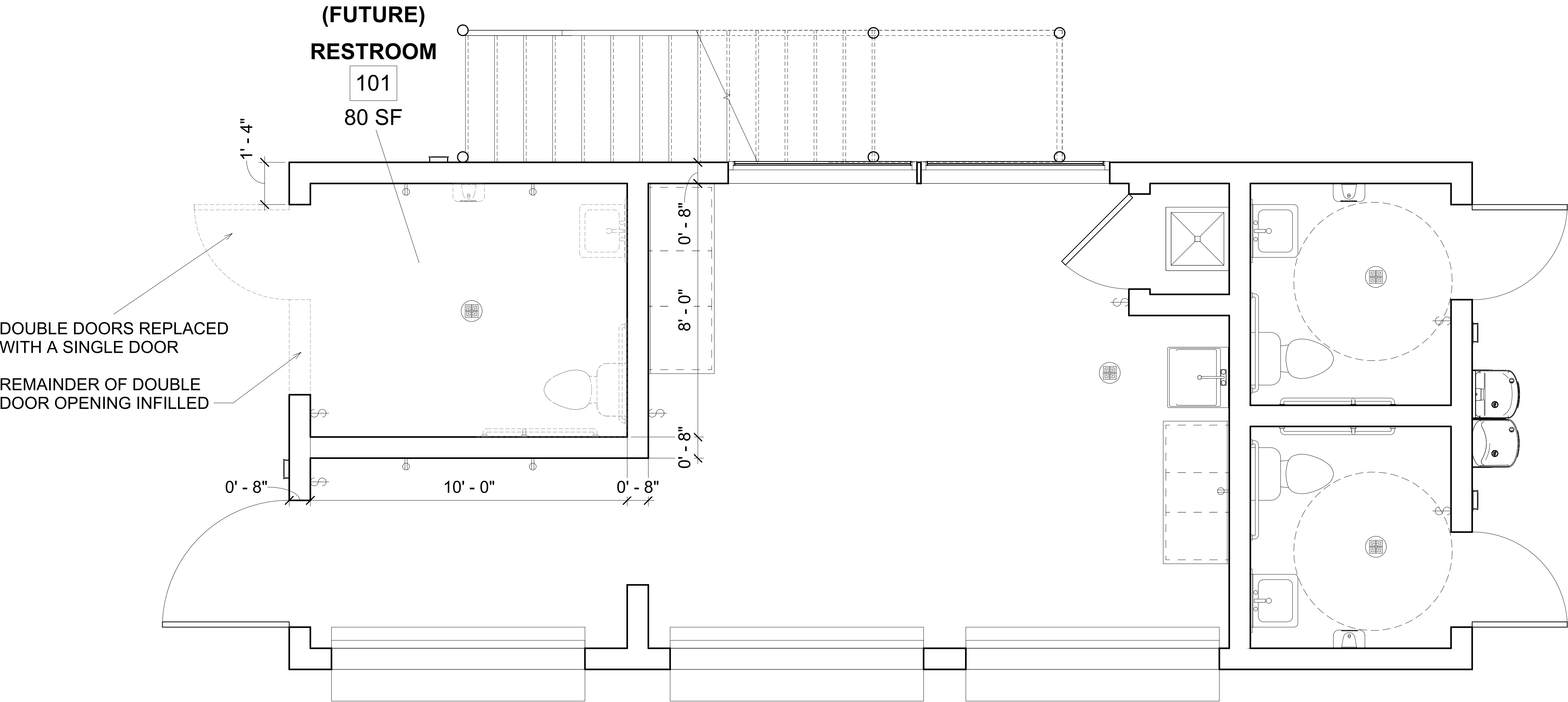
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SHEET TITLE
LOWER LEVEL - FUTURE FLOOR PLAN

PROJECT NO 8024	DRAWN BY D.F.
SCALE 1/2" = 1'-0"	DATE 06/13/25

SHEET NUMBER

A1.2



1
A1.2 LOWER LEVEL - FUTURE
1/2" = 1'-0"

CONCEPTUAL PLAN - NOT TO BE USED FOR CONSTRUCTION



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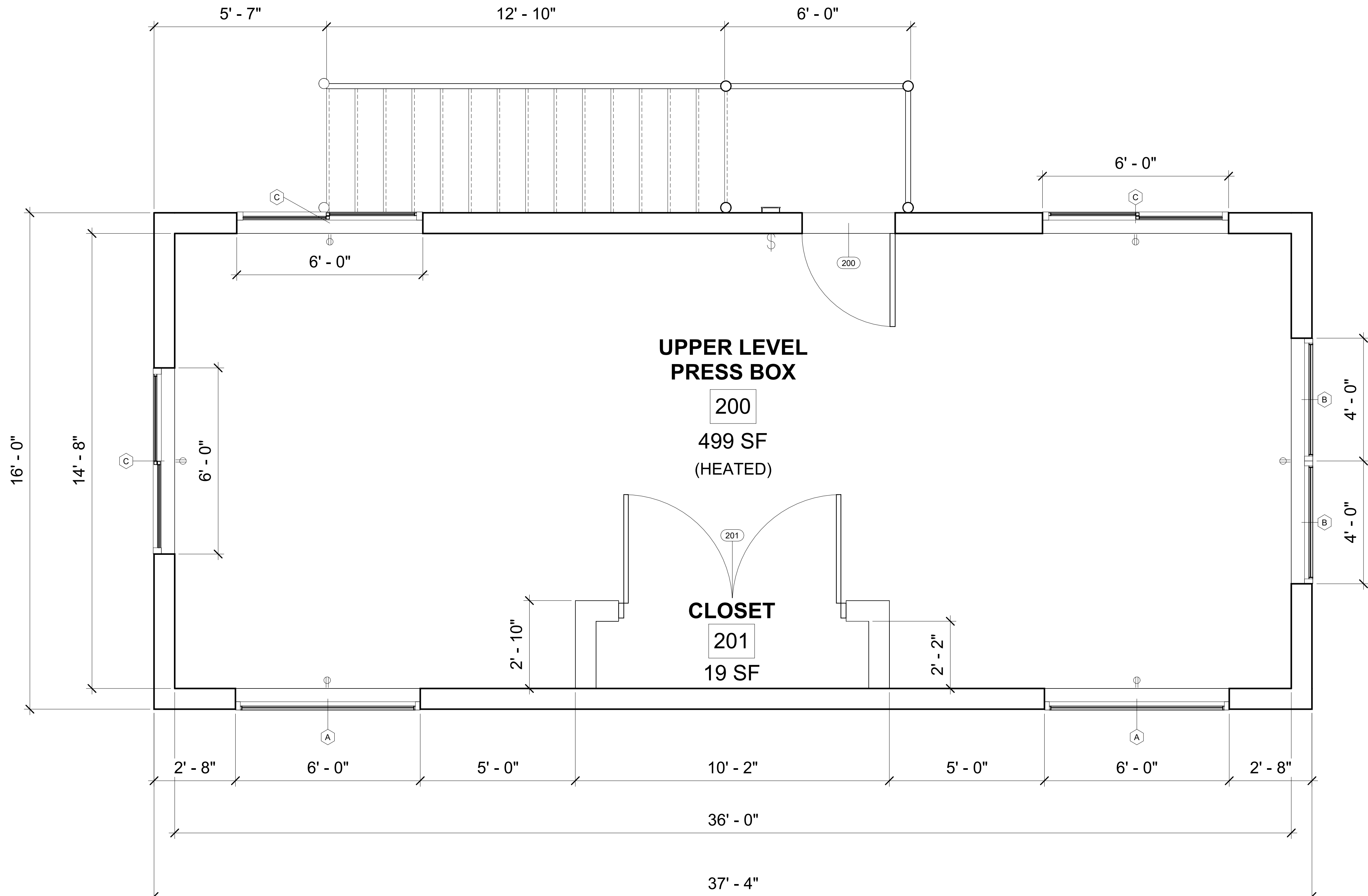
SHEET TITLE
UPPER LEVEL FLOOR PLAN

PROJECT NO 8024	DRAWN BY D.F.
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SCALE 1/2" = 1'-0"	DATE 06/13/25
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SHEET NUMBER

A1.3

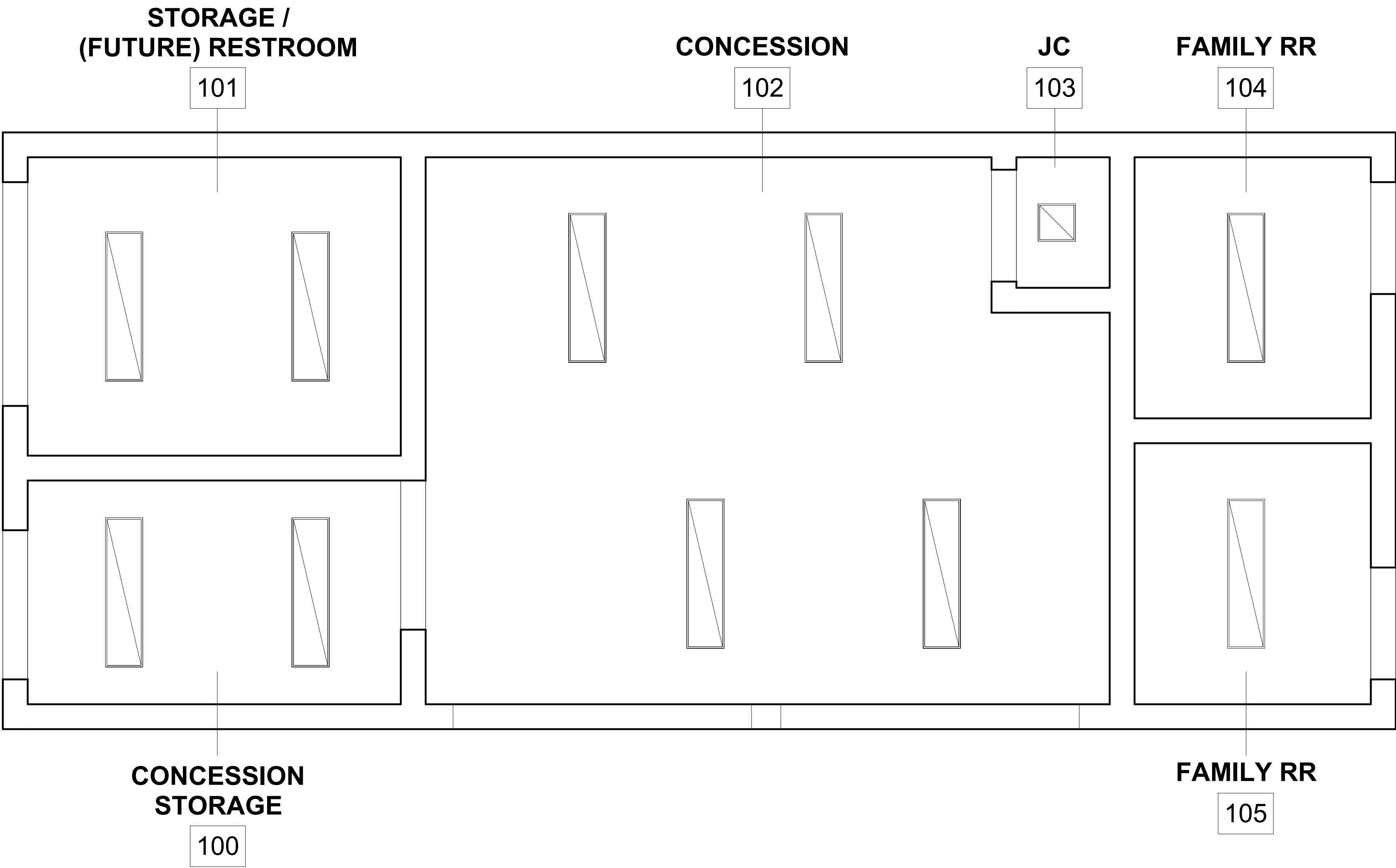


1
A1.3
UPPER LEVEL
1/2" = 1'-0"

WINDOW SCHEDULE						
Type Mark	Width	Height	Count	Manufacturer	Model	Comments
A	5' 11 1/2"	3' 11 1/2"	4	Simonton Windows	Profinish Master Series	FIXED UNIT - VINYL STOCK (4060)
B	3' 11 1/2"	4' 11 1/2"	2	Simonton Windows	Profinish Master Series	FIXED UNIT - VINYL STOCK (4050)
C	5' 11 1/2"	3' 11 1/2"	3	Simonton Windows	ProFinish Contractor Series	SINGLE SLIDER WINDOW (6040)



Door Schedule														
Opening		Door				Frame	FR	Hardware			MANUFACTURER	MODEL	Comments	
Mark	Count	Width	Height	Material	Core	Material		Handset	Closer	Panic				
100	1	4' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500		
101	1	6' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500		
103	1	3' - 0"	7' - 0"	BIRCH	SOLID	HM							PAINTED INTERIOR DOOR W/STEEL FRAME	
104	1	3' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500		
105	1	3' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500		
106	1	8' - 0"	4' - 0"	STEEL	SOLID	HM							ROLLING SHUTTER DOOR WITH COUNTERTOP	
107	1	8' - 0"	4' - 0"	STEEL	SOLID	HM							ROLLING SHUTTER DOOR WITH COUNTERTOP	
109	1	8' - 0"	4' - 0"	STEEL	SOLID	HM							ROLLING SHUTTER DOOR WITH COUNTERTOP	
200	1	3' - 0"	7' - 0"	STEEL	SOLID	HM	3/4 HR	KEYED ALIKE	X		EXPI-DOOR	SERIES 500		
201	1	7' - 0"	7' - 0"	BIRCH	SOLID	HM								

CONCEPTUAL PLAN - NOT TO BE USED FOR CONSTRUCTION



1
A1.4

LOWER LEVEL
1/2" = 1'-0"

LEGEND	
	BOX PANEL LIGHT
	LINEAR PANEL LIGHT

NOTE

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PROJECT

LOWER GWYNEDD TOWNSHIP

PARK BUILDING

INGERSOLL BALL PARK

905 WISTER AVE, PENLLYN, PA 19422

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SHEET TITLE

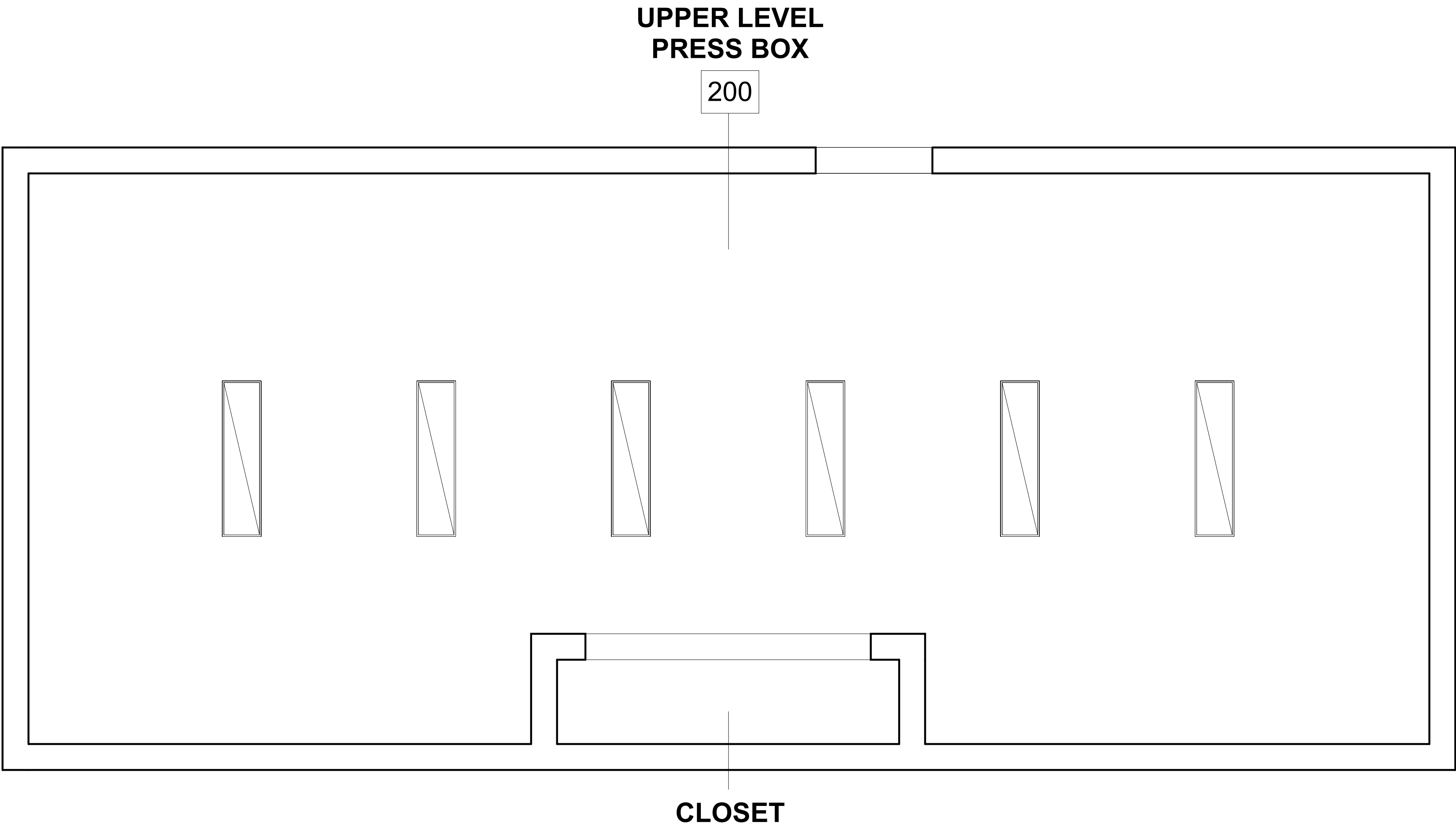
LOWER LEVEL RCP

PROJECT NO	DRAWN BY
8024	D.F.
SCALE	DATE
As indicated	06/13/25

SHEET NUMBER



CONCEPTUAL PLAN - NOT TO BE USED FOR CONSTRUCTION

A1.4



1
A1.5

UPPER LEVEL
1/2" = 1'-0"

LEGEND	
	BOX PANEL LIGHT
	LINEAR PANEL LIGHT

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PARK BUILDING
INGERSOLL BALL PARK
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SHEET TITLE
UPPER LEVEL RCP

PROJECT NO	DRAWN BY
8024	D.F.
SCALE	DATE
As indicated	06/13/25

SHEET NUMBER



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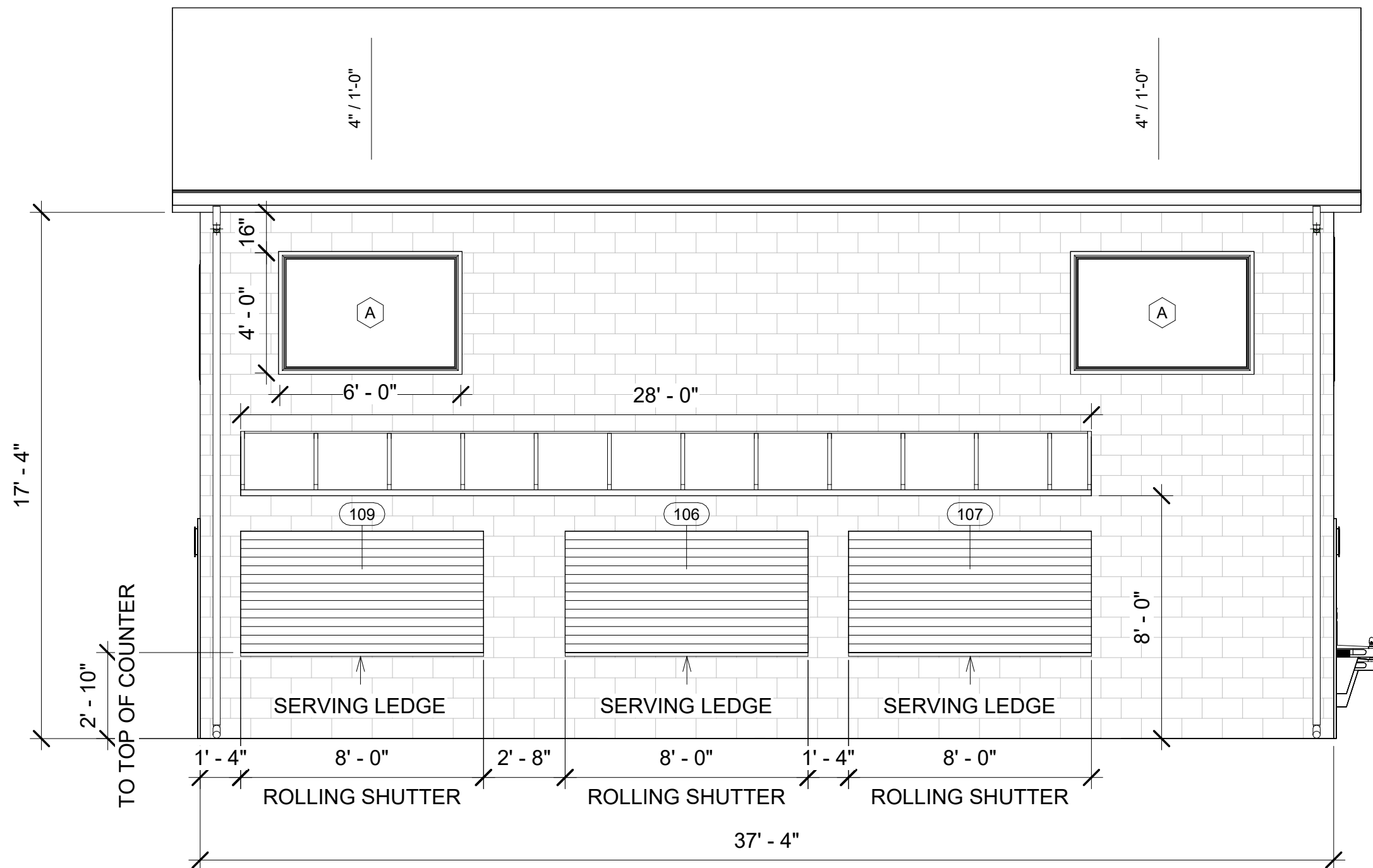
SHEET TITLE

EXTERIOR ELEVATIONS

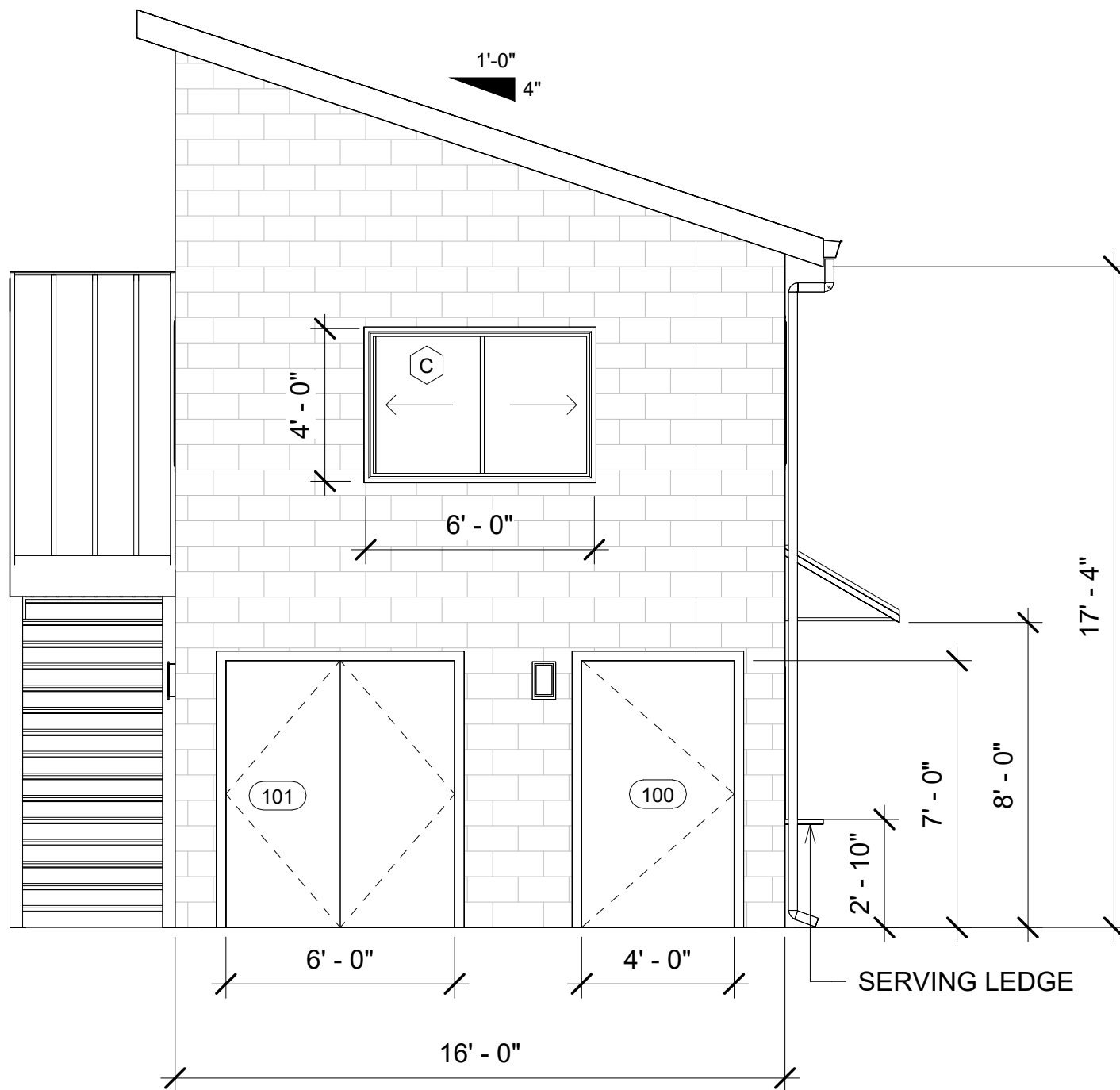
PROJECT NO	DRAWN BY
8024	D.F.
SCALE	DATE
1/4" = 1'-0"	06/13/25

SHEET NUMBER

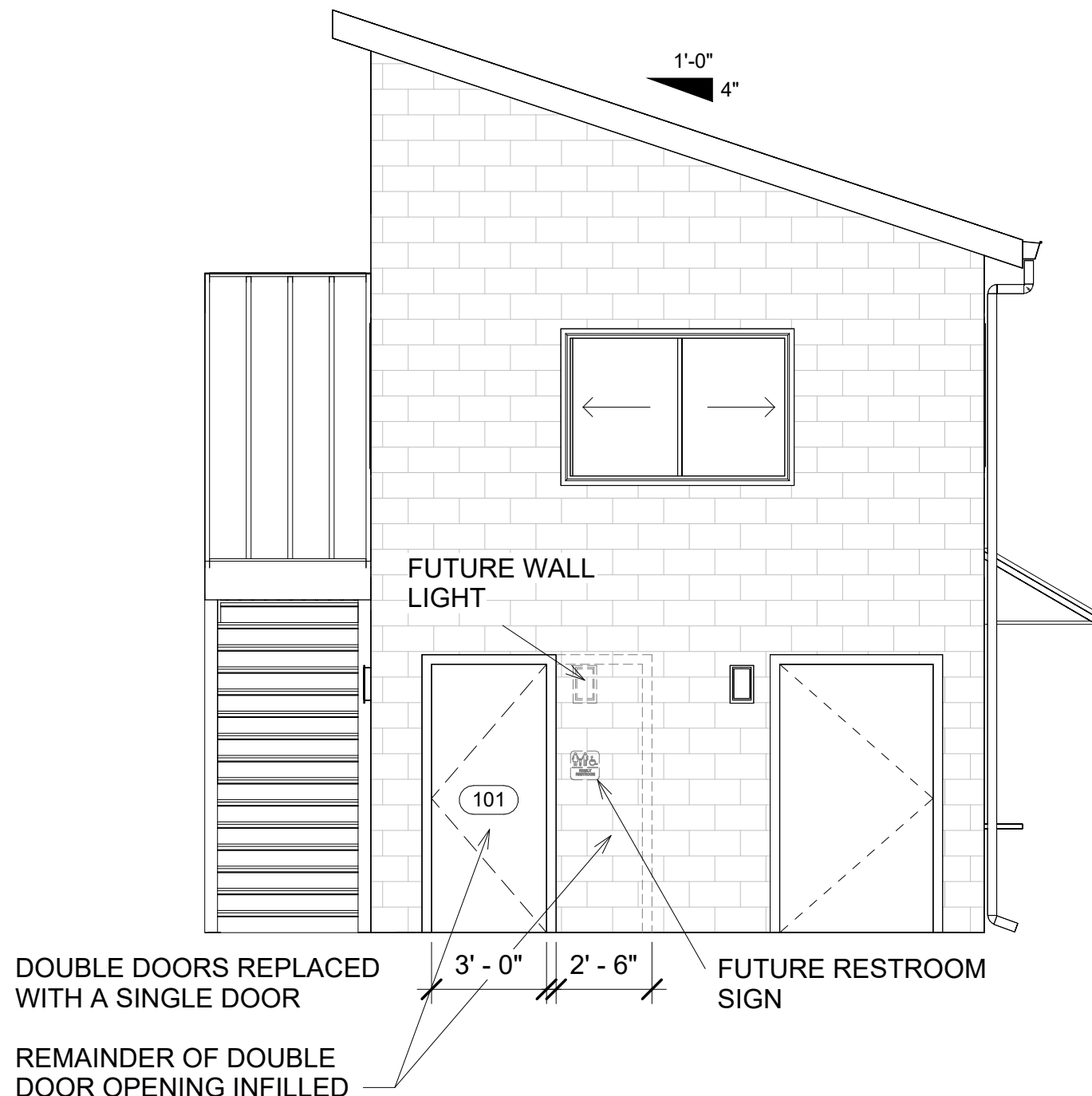
A2.0



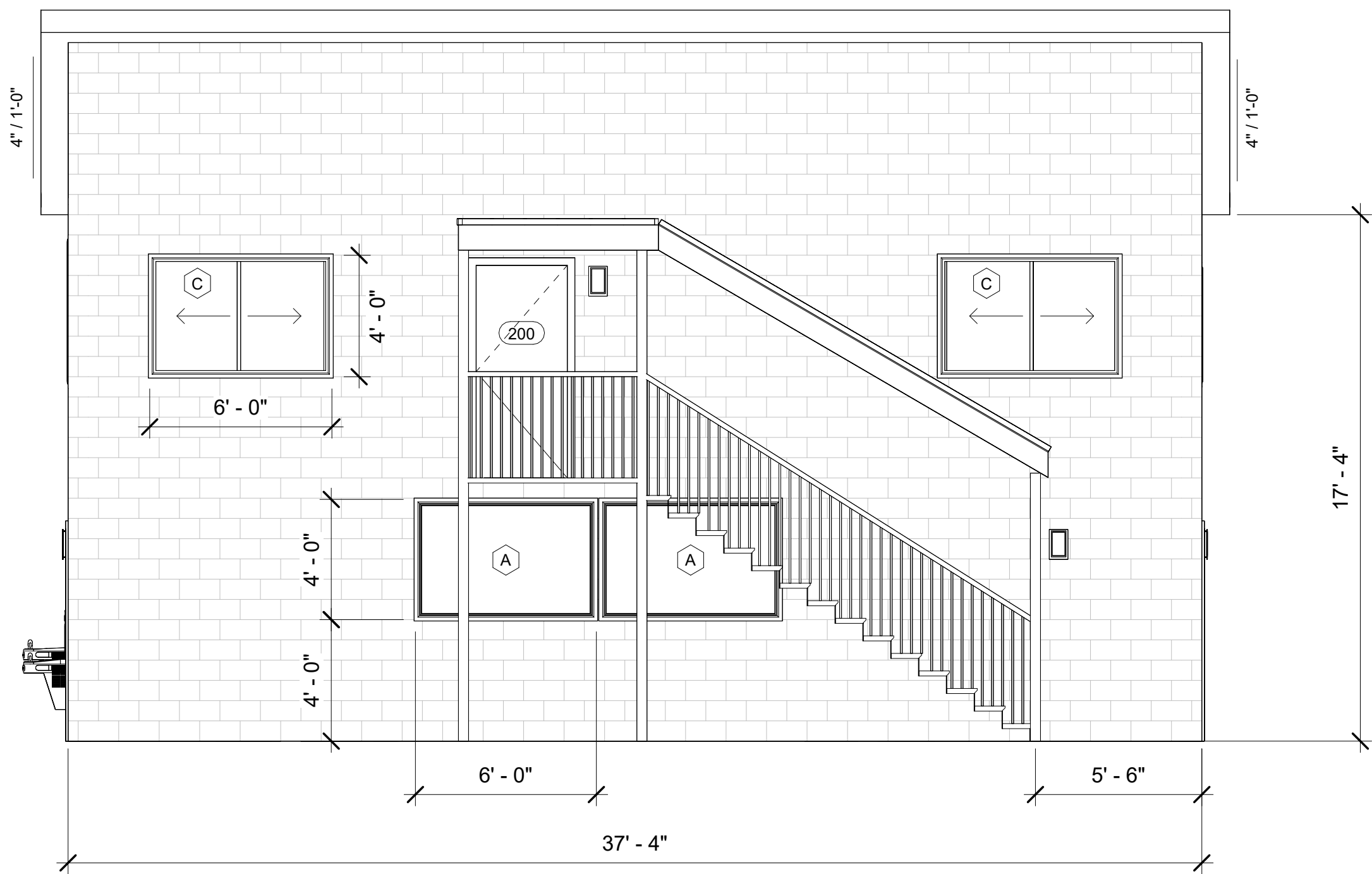
1 FRONT
A2.0 1/4" = 1'-0"



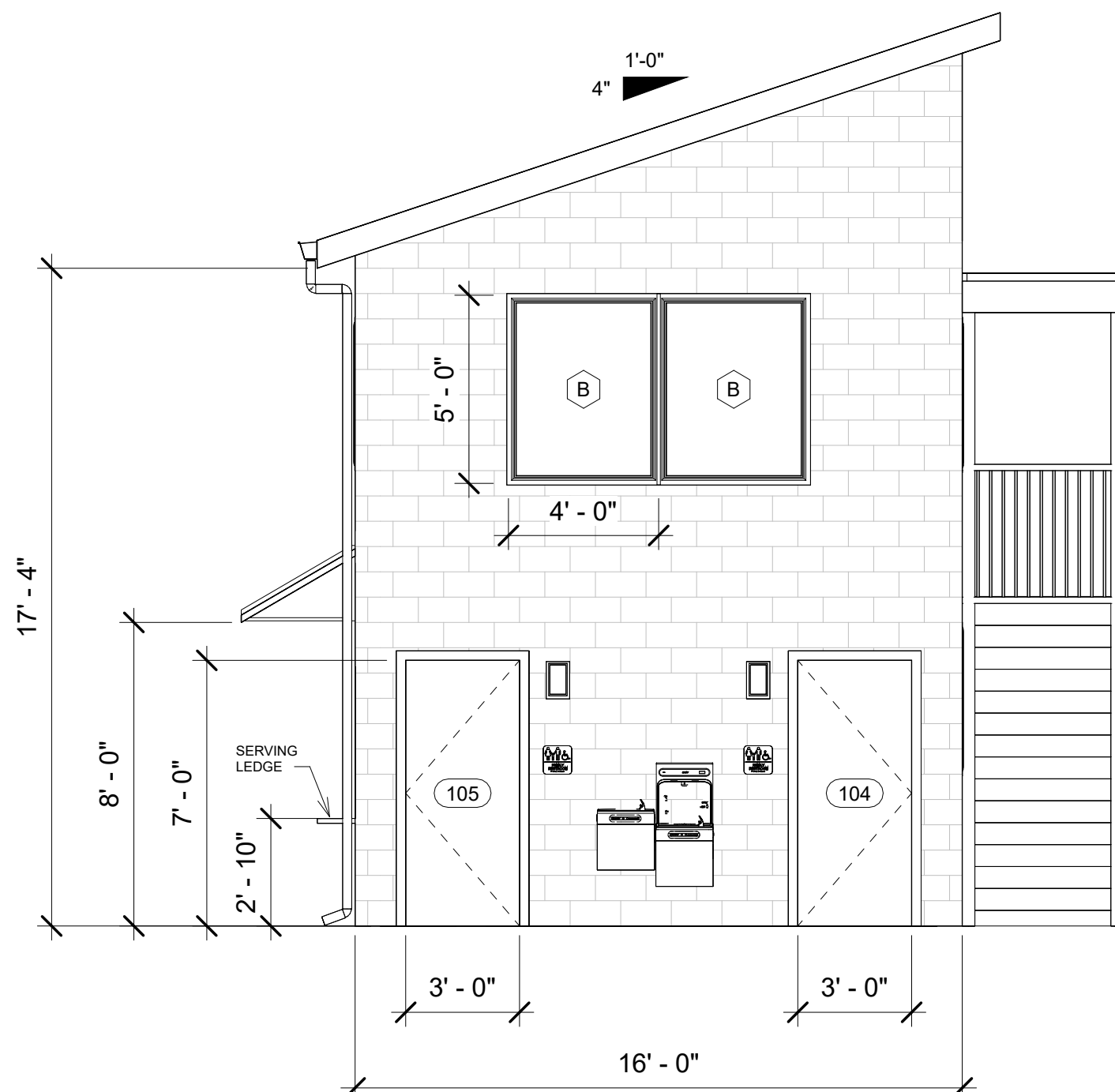
2 LEFT
A2.0 1/4" = 1'-0"



5 LEFT - FUTURE
A2.0 1/4" = 1'-0"



3 BACK
A2.0 1/4" = 1'-0"



4 RIGHT
A2.0 1/4" = 1'-0"

CONCEPTUAL PLAN - NOT TO BE USED FOR CONSTRUCTION

June 15, 2025

Dear Lower Gwynedd Township Board of Supervisors,

This year the **Wissahickon Valley Historical Society** celebrates its 50th Anniversary!

For 50 years, WVHS has been at the forefront of advocating for and preserving the history of **Ambler Borough, Lower Gwynedd Township** and **Whitpain Township**. When it comes to better understanding our history and informing efforts at historic preservation, WVHS has been an invaluable resource to people and organizations in the municipalities we represent. And we are educating our residents about our local history.

Additionally, WVHS has been the curator and caretaker of thousands of items related to our local area and state--from native artifacts, books and maps--to documents, family histories and myriad other ephemera. Not to mention our efforts at the preservation of the one-room Franklinville School and headquarters and museum, 1895 Whitpain Public School.

We now take this time to celebrate this important milestone in our history to reach out to those we've supported in the past, asking them to support us as we look to the future. Therefore, we humbly ask **Lower Gwynedd Township** to support our continuing efforts with a 50th Anniversary commemorative donation of **\$1,000.00**.

This donation will be recognized on our web site and go a long way toward helping WVHS carry on its mission for the next 50 years.

Donation checks can be made out to "**WVHS**" and mailed to: **WVHS P.O. Box 96, Ambler, PA 19002**.

Thank you for your consideration.

Sincerely,

WVHS Board of Directors

Contact: Joe Langella, VP-WVHS

Cell/text: 215-738-6596

Memo

To: Board of Supervisors
From: Mimi Gleason, Township Manager
Date: June 20, 2025
Re: Bond Counsel RFP



In keeping with the guidance in Resolution 2023-20 regarding shopping around for professional services, staff has prepared a draft Request for Proposals (RFP) soliciting proposals from law firms to serve as bond counsel. We anticipate potentially issuing tax-exempt municipal bonds later this year to finance the planned new Public Works Facility. Please let me know if you have any changes for the RFP.

When final, the RFP will be posted on the Township's website and an advertisement will be placed in the Montgomery County Law Reporter on July 10th.

LOWER GWYNEDD TOWNSHIP

MONTGOMERY COUNTY, PENNSYLVANIA



REQUEST FOR PROPOSALS FOR BOND COUNSEL

1. GENERAL INFORMATION

Lower Gwynedd Township (“Township”) Is soliciting proposals from law firms with attorneys licensed to practice law in Pennsylvania to serve as bond counsel in anticipation of upcoming bond issuances for capital projects. The Township intends to select the firm most qualified and best meets the interests of the Township. As described in more detail below, the proposal is to include evidence of the firm’s experience and qualifications to fill this role.

2. BACKGROUND

Lower Gwynedd is a second-class township, governed by a five-member Board of Supervisors (“Board”). The community’s 9.4 square miles in central Montgomery County, Pennsylvania are home to just over 12,000 residents. The Township anticipates issuing bonds to fund construction of a new Public Works Facility, and potentially other capital projects, over several years, with the next issuance likely later in 2025. The most recent bond issuance was in 2024 when the Township was assigned an Aa1 rating by Moody’s.

3. SCOPE OF SERVICES

Bond Counsel will be expected to provide professional legal services necessary to advise and assist the Township with preparing necessary documents, tax law compliance, and all aspects of bonds issuance and compliance, including but not necessarily limited to the following:

- Work with the Township’s financial advisor, PFM Financial Advisors LLC, and the selected Underwriter to prepare the necessary statements, notices, and other documents for the issuance of bonds and render an opinion on the validity of the bond offering;
- Render an objective legal opinion addressing whether the bonds are valid and binding obligations of the Township; the sources of payment or security for the bonds; whether and to what extent interest on the bonds is exempt from federal income taxes and from the taxes, if any, imposed by the Commonwealth of Pennsylvania; and other customary matters;

- Prepare the necessary ordinances, resolutions, and other authorizing documents for the preparation of bonds, and attend Board meetings as necessary;
- Provide guidance and assistance with continuing disclosure requirements of federal and state law;
- Provide support and advice on cost efficiencies through the process;
- Prepare timetables for issuance of bonds and notes;
- Advise on federal and state regulations and/ or IRS code rulings that may affect Township policies, programs, or processes regarding bond issuance and compliance; and
- Provide other related legal services as requested by the Board or Township Manager.

4. QUALIFICATIONS

Qualifications of Bond Counsel must include:

- being licensed to practice law in the Commonwealth of Pennsylvania and a member of the Bar in good standing;
- having a high degree of knowledge, experience, and ability with public debt offerings in Pennsylvania;
- having a strong knowledge of municipal law, including the full range of applicable state laws such as the Pennsylvania Second-Class Township Code, Right to Know Law, Sunshine Act, etc.; and
- performing and managing all work in a high quality, timely, and to the extent possible, cost-effective manner.

5. PROPOSAL SUBMISSIONS

A. Experience and Qualifications:

- Provide a brief overview of the firm and its qualifications that are pertinent to this RFP.
- List the attorney who will have primary responsibility for the engagement as well as all other attorneys expected to play a role in the representation and describe their relevant experience and qualifications consistent with the scope of services described above.
- List the firm's current or recent comparable work with other PA municipalities.
- Provide a list of municipal references with a description of the services provided by the firm for each reference and contact information for individuals who are in a position to speak knowledgeably as to the quality of work provided as Bond Counsel.

- Detail the firm's professional liability/malpractice insurance coverage applicable to the scope of services above; include insurance certificates summarizing such insurance coverage.
- Include any other information about the firm or listed Attorneys that could be relevant.

B. Conflicts or Litigation:

- Disclose and describe actual or potential conflicts of interest with the Township your firm might have, or which might arise during the course of any financing by the Township, and the manner in which such conflicts would be addressed.
- Describe any litigation and/or disciplinary action the firm, or any principal or employee included in the legal services team above, has been involved in as a defendant involving their provision of professional services in the past ten years.
- Describe any ongoing investigations and/or litigation matters involving the firm, its partners, shareholders, principals, officers, and any individuals employed by the firm, which relate to the performance of the firm for the scope of services above.

C. Fee Proposals:

- Describe the basis, method, and timing upon which your fees for professional services will be calculated and paid for any particular debt issuance.

D. Indemnification

- The selected contractor shall defend, indemnify and hold harmless the Township, its officers, agents and employees and all claims and costs of any nature whether for personal injury, property damage or any other liability arising out of or in any way connected with the scope of services required by this RFP, including the acts or omissions perpetrated by employees of the firm.

6. SELECTION PROCESS

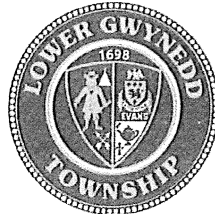
Submit proposals to Mimi Gleason, Township Manager, at mgleason@lowergwynedd.org, by **Tuesday, August 5, 2025 at 4:00 pm.**

The Board and Township Manager will evaluate the submitted proposals and, at their discretion, conduct interviews with some or all the submitting firms. If interviews are conducted, they will take place on **Tuesday, August 12, 2025 between 6:00 pm and 8:00 pm** on Zoom or in person at the Lower Gwynedd Township Building. Candidates will be notified of an interview date as applicable. The Board will make a final selection using criteria judged to be of the maximum benefit to the Township as a whole. Note that the lowest price proposal will not necessarily be selected. Technical

components will be weighed in addition to costs to ensure the Borough is procuring best value versus lowest price.

The Board's intention is to select Bond Counsel by their regularly scheduled public meeting on August 26, 2025. The resulting contract will include this RFP, any clarifications or addenda thereto, the selected Attorney's proposal, and any changes agreed to by the Board and Attorney. The Township reserves the right to request clarifying information subsequent to submission of any proposal.

The Township reserves the right to reject any or all proposals, or to reject any proposals if the evidence submitted by, or investigation fails to satisfy the Township that such Attorney is properly qualified to carry out the obligations of the RFP and to complete the work contemplated therein. The Township reserves the right to waive any minor informality in the RFP. In the event that all proposals are rejected, the Township reserves the right to start the process over from the beginning and re-solicit proposals.



1130 N. BETHLEHEM PIKE • P.O. BOX 625 • SPRING HOUSE, PA 19477-0625 • 215-646-5302 • FAX 215-646-3357

www.lowergwynedd.org

Finance Memorandum

Date: June 16, 2025

To: Mimi Gleason, Township Manager

From: Melinda Haldeman, CPA Finance Director *mh*

RE: May 301, 2025, LGT Financial Packet:

- ❖ Revenue and Expense Graphs as of May 31, 2025
- ❖ Fund Balances as of May 31, 2025
- ❖ Summary of Cash and Investments as of May 31, 2025
- ❖ YTD Budget Report with Prior Years Actuals through May 31, 2025

- ❖ The Revenue and Expense Graphs compare Actual to Budget for the 5 months ended May 31, 2025. Funds are grouped into Operating Funds, Sewer Funds, and Capital Funds. Notes at the bottom of each graph will explain anomalies if any.

- ❖ The Summary of Cash and Investments report shows the Cash Balances by Fund as of May 31, 2025, and shows the amount of deposits per Banking Institution and the Cash Balances compared to the Reserves per LGT Fund Balance Policy. The chart for Reserves per Fund Balance Policy reflects the current 2025 reserve amounts. (These amounts are based on the 2025 Budget)

Items to Note:

- ❖ All cash account reconciliations are current through May 31, 2025

- ❖ The Truist Sewer and Truist General bank accounts have been transitioned to Citadel Credit Union. Truist Interest rates were .01% for under 100k and .05% for above. Truist Bank also charged us fees for banking activities. Citadel gives us interest based on the average balance for both accounts and does not charge us fees. The interest rate as of May was 3.56%. Truist interest income for both accounts for the entire year of 2024 was \$1,044. We started transitioning to Citadel in March and through May (3 months) have earned interest totaling \$13,885.

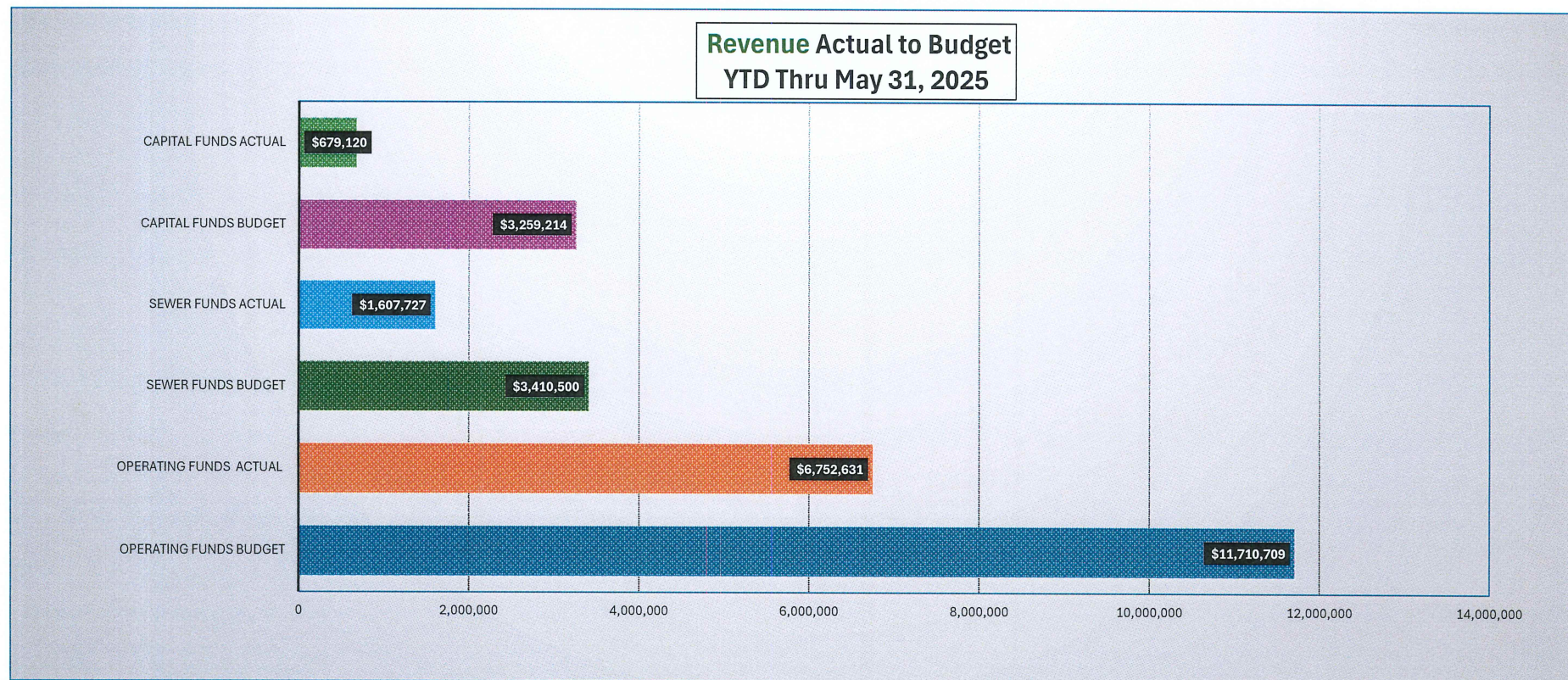
- ❖ There were monies in the Forfeiture account for the 401a Defined Contribution Plan. This occurs when an employee leaves LGT and is not fully vested. The unvested portion of contributions goes into the Forfeiture account and can be used to offset future contributions by LGT for current employees. A total of approximately \$30,000 was used from the forfeiture account to fund the 2025 401a defined contribution plan. Therefore, this amount will not show as an expense this year. It was shown as an expense in the year the contribution was made to the employee's account.

REVENUE AND EXPENSE GRAPHS:

CAPITAL FUNDS

SEWER FUNDS

OPERATING FUNDS



41.66% through the year as of May 2025

Capital Funds Revenue:

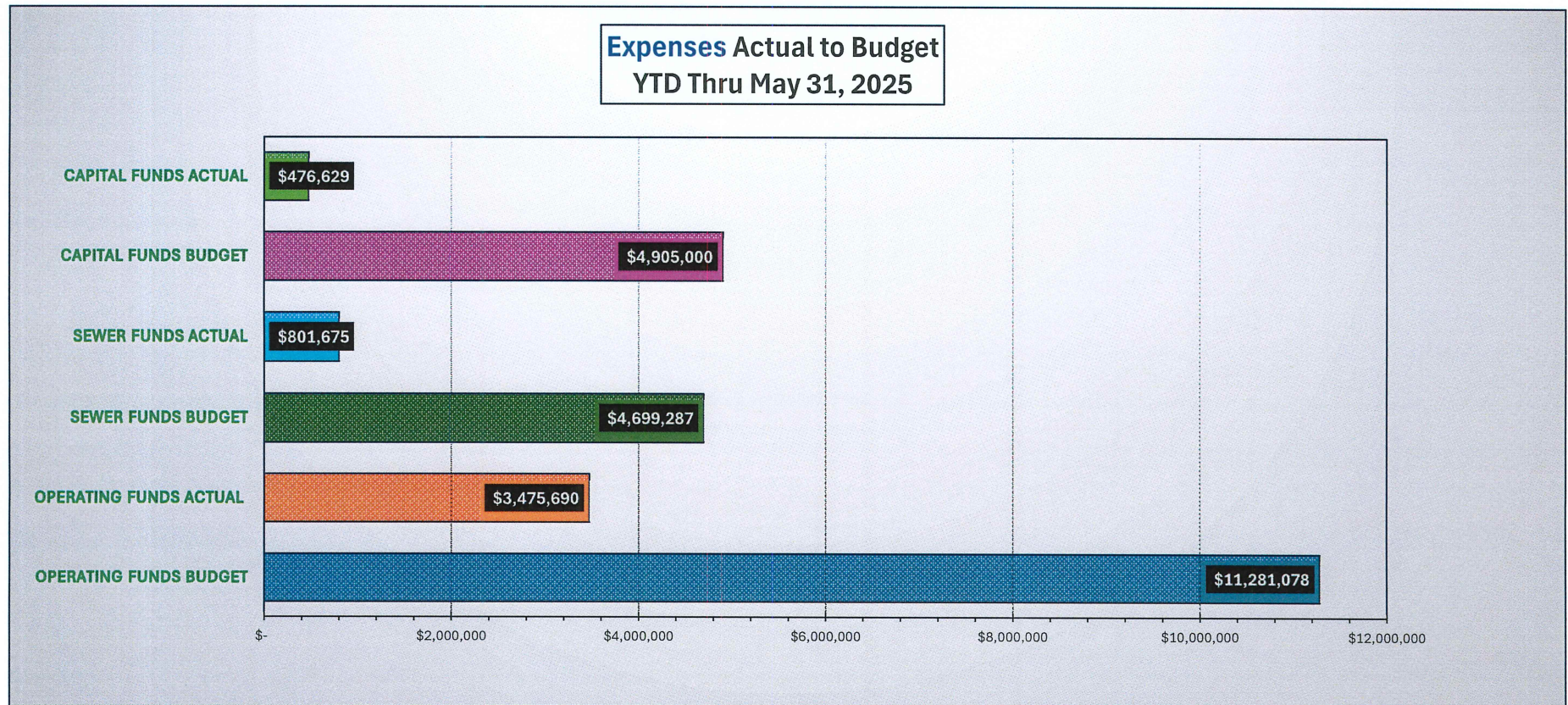
Revenue is 20% of Budget. Grants have not been received

Sewer Funds Revenue:

Sewer Revenue is 47% of Budget. 1st and 2nd quarter Billings received. On target.

Operating Funds Revenue:

Revenue is 57.6% of Budget. On target. Real Estate Taxes 90% collected.



41.66% through the year as of May 2025

Capital Funds Expenses:

Expenses are 9.0% of Budget. Projects start in Spring/Summer. Highway Project not yet started

Sewer Funds Expenses:

Expenses 17.05% of Budget. 1st Qtr charge for treating sewer, second Qtr will be paid June.

Operating Funds Expenses:

Expenses 30.8% of Budget. Rec expenses occur in summer. Transfers for Fire/Pension/etc occur later in year.

FUND BALANCE
AND
SUMMARY OF CASH AND INVESTMENTS

Lower Gwynedd Township
Fund and Cash Balances as of May 31, 2025

<u>FUND #</u>	<u>FUND</u>	FUND BALANCE @ 01/01/2025 FINAL	(INCREASE)DECREASE THRU 05/31/2025	FUND BALANCE @ 05/31/2025
01	GENERAL	-7,869,055.87	-2,959,554.25	-10,828,610.12
02	STREET LIGHT	-38,387.08	-6,443.59	-44,830.67
03	FIRE PROTECTION	-174,128.45	-168,629.98	-342,758.43
04	FIRE HYDRANT	-45,166.37	-18,855.67	-64,022.04
05	RECREATION	73,456.99	-123,757.39	-50,300.40
	GENERAL OPERATING FUNDS SURPLUS	-8,053,280.78	-3,277,240.88	-11,330,521.66
08	SEWER OP	-5,500,055.65	-798,849.93	-6,298,905.58
09	SEWER CAPITAL	-4,503,969.89	-7,202.40	-4,511,172.29
	SEWER FUNDS SURPLUS	-10,004,025.54	-806,052.33	-10,810,077.87
16	ACQ OPEN SPACE	-2,372,249.57	-43,988.23	-2,416,237.80
30	CAPITAL RESERVE	-11,983,414.61	139,235.72	-11,844,178.89
31	STORMWATER MNGMNT	-733,430.74	30,829.24	-702,601.50
33	TRAFFIC IMPACT	-1,762,165.10	-21,762.07	-1,783,927.17
35	HIGHWAY AID	-465,446.90	-306,805.18	-772,252.08
	CAPITAL FUNDS	-17,316,706.92	-202,490.52	-17,519,197.44
		YTD ALL FUNDS:	-4,285,783.73	

NEGATIVE BALANCES ARE DEPICTED IN **RED**

FUND BALANCE: THE FUND BALANCE IS THE CULMINATION OF INCOME NETTED AGAINST EXPENSES FROM THE INCEPTION OF THE FUND. WHEN (REVENUE) EXCEEDS EXPENSES, THE FUND BALANCE WILL BE A (CREDIT).

Summary of Cash and Investments
5/31/2025

5/31/2025		
FUND #		Cash Balance
01	GENERAL	10,597,732.99
02	STREET LIGHT	37,595.31
03	FIRE PROTECTION	177,691.72
04	FIRE HYDRANT	25,694.52
05	RECREATION	63,466.53
	GENERAL OPERATING FUNDS CASH	\$ 10,902,181.07
08	SEWER OP	2,731,328.68
09	SEWER CAPITAL	4,574,862.70
	SEWER FUNDS CASH	\$ 7,306,191.38
16	ACQ OPEN SPACE	2,416,237.80
30	CAPITAL RESERVE	12,106,865.89
31	STORMWATER MNGMNT	733,217.99
33	TRAFFIC IMPACT	1,783,927.17
35	HIGHWAY AID	772,252.08
	CAPITAL FUNDS CASH	\$ 17,812,500.93
Total Cash		\$ 36,020,873.38

<u>Banking Institution</u>	5/31/2025 <u>Cash Balance</u>
PLIGIT	31,419,957.54
TRUIST	1,356,824.44
CITADEL	3,244,091.40
	<u>\$ 36,020,873.38</u>

<u>Reserves per Fund Balance Policy</u>	<u>Reserves Per Policy 2025</u>	5/31/2025 <u>Cash Balance</u>
General Fund Reserves	2,641,989.00	10,597,732.99
Sewer Fund Reserves	1,029,175.00	2,731,328.68
Sewer Capital Reserves	1,000,000.00	4,574,862.70

YTD BUDGET REPORT WITH ACTUALS
2022/2023/2024/2025

06/16/2025
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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
THRU MAY 2022/2023/2024/2025
FOR PERIOD 05 OF 2025

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ANNUAL BUDGET
2025

ACCOUNTS FOR:		PRIOR YR3 ACTUALS 2022	PRIOR YR2 ACTUALS 2023	LAST YR ACTUALS 2024	CURRENT YR ACTUALS 2025	CY REV BUDGET
01	GENERAL FUND					
REVENUES	301 REAL ESTATE TAXES	-934,940.38	-986,000.28	-994,492.58	-1,118,791.01	-1,241,815.00
	310 LOCAL TAX ACT 511	-3,824,230.15	-4,220,108.84	-4,115,484.54	-4,524,124.80	-7,470,000.00
	321 BUSINESS LICENSES & PRMTS	-104,418.68	-134,493.14	-129,581.95	-124,363.44	-237,000.00
	331 FINES	-1,467.65	-2,171.06	-3,400.58	-12,424.81	-10,500.00
	341 INTEREST EARNINGS	-8,211.35	-93,737.62	-158,739.28	-136,312.02	-375,000.00
	342 RENTS & ROYALTIES	-59,240.81	-61,018.04	-62,723.35	-64,289.87	-290,633.00
	355 STATE SHARED REV & ENTLMT	.00	-200.00	-1,200.00	-600.00	-524,829.00
	358 LOCAL GOVT ENTITLEMENT	.00	.00	-17,705.38	.00	-15,000.00
	361 PERMITS/DEVELOPMENT	-206,529.48	-286,065.90	-243,012.97	-196,857.40	-587,000.00
	362 PUBLIC SAFETY	-79,178.46	-81,023.03	-94,315.54	-97,024.58	-198,675.00
	363 HGWYS & STS	-3,900.00	-3,990.00	-4,080.00	-4,170.00	-4,170.00
	380 MISCELLANEOUS REVENUE	-9.00	-1,151.96	-302.10	-11,174.38	-10,000.00
	387 DIVIDENDS/MISC REV	.00	.00	.00	.00	-30,000.00
	392 INTERFUND OPERATING TRANS	.00	-332.07	.00	.00	-13,067.00
	401 EXECUTIVE	287,895.54	279,277.17	401,528.77	530,307.32	1,267,347.60
	402 FINANCIAL ADMIN	93,993.70	182,429.14	116,712.91	135,903.15	422,781.67
	403 TAX COLLECTION	53,741.75	60,644.33	62,076.78	63,269.72	111,793.00
EXPENSES	409 BUILDNGS & PLANT	110,106.83	93,861.05	104,054.07	93,354.46	320,170.75
	410 POLICE	1,266,275.04	1,501,851.51	1,645,203.25	1,717,261.05	4,632,769.22
	411 FIRE	.00	.00	.00	.00	137,086.00
	412 AMBULANCE	.00	30,000.00	.00	.00	30,000.00
	413 GEN GOVT-CODE ENFORCEMENT	2,701.00	3,102.50	.00	.00	.00
	414 PLANING & ZONING	202,002.23	221,406.11	248,656.31	277,579.75	799,519.31
	429 PW-WASTEWTR COLL	1,027.83	.00	.00	.00	.00
	430 PW-HIGHWAY RDS STS	289,574.82	348,338.45	271,892.21	504,224.73	1,354,307.71
	461 OPEN SPACE CONSERVATION	1,166.30	1,448.05	.00	.00	.00
	487 EMPLOYEE BENEFITS	6,526.18	7,738.76	20,555.70	8,677.88	548,838.00
	491 REFUND PRIOR YEAR REVENUES	-248.66	.00	.00	.00	.00
	492 INTERFUND OPERATING TRANS	.00	620,375.00	1,217,814.04	.00	943,343.00
	TOTAL GENERAL FUND	-2,907,363.40	-2,519,819.87	-1,736,544.23	-2,959,554.25	-439,732.74
	TOTAL REVENUES	-5,222,125.96	-5,870,291.94	-5,825,038.27	-6,290,132.31	-11,007,689.00
	TOTAL EXPENSES	2,314,762.56	3,350,472.07	4,088,494.04	3,330,578.06	10,567,956.26
	TOTAL 01 GENERAL FUND	-2,907,363.40	-2,519,819.87	-1,736,544.23	-2,959,554.25	-439,732.74

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
THRU MAY 2022/2023/2024/2025
FOR PERIOD 05 OF 2025

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ACCOUNTS FOR: 02 STREET LIGHT FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
301 REAL ESTATE TAXES	-14,386.21	-23,399.04	-15,005.31	-8,103.61	-14,000.00
341 INTEREST EARNINGS	-22.57	-475.63	-664.88	-699.40	-1,620.00
434 PW -STREET LGHTNG	4,956.88	3,342.02	2,872.14	2,359.42	9,970.00
TOTAL STREET LIGHT FUND	-9,451.90	-20,532.65	-12,798.05	-6,443.59	-5,650.00
TOTAL REVENUES	-14,408.78	-23,874.67	-15,670.19	-8,803.01	-15,620.00
TOTAL EXPENSES	4,956.88	3,342.02	2,872.14	2,359.42	9,970.00
TOTAL 02 STREET LIGHT FUND	-9,451.90	-20,532.65	-12,798.05	-6,443.59	-5,650.00

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR: 03	FIRE PROTECTION FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
301	REAL ESTATE TAXES	-177,784.24	-181,576.51	-189,451.05	-185,410.46	-203,000.00
341	INTEREST EARNINGS	-7.96	-3,252.34	-1,413.43	-3,219.52	-3,500.00
392	INTERFUND OPERATING TRANS	.00	.00	.00	.00	-165,000.00
480	MISC EXPENDITURES	.00	.00	.00	20,000.00	206,500.00
489	OTHER MISC EXP	.00	131,600.00	.00	.00	165,000.00
	TOTAL FIRE PROTECTION FUND	-177,792.20	-53,228.85	-190,864.48	-168,629.98	.00
	TOTAL REVENUES	-177,792.20	-184,828.85	-190,864.48	-188,629.98	-371,500.00
	TOTAL EXPENSES	.00	131,600.00	.00	20,000.00	371,500.00
	TOTAL 03 FIRE PROTECTION FUND	-177,792.20	-53,228.85	-190,864.48	-168,629.98	.00

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR: 04	FIRE HYDRANT FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
301	REAL ESTATE TAXES	-35,632.66	-37,037.35	-34,623.54	-38,098.08	-39,200.00
341	INTEREST EARNINGS	-67.71	-1,329.54	-1,347.22	-658.96	-3,000.00
411	FIRE	15,651.07	18,686.12	20,201.37	20,201.37	62,000.00
	TOTAL FIRE HYDRANT FUND	-20,049.30	-19,680.77	-15,769.39	-18,555.67	19,800.00
	TOTAL REVENUES	-35,700.37	-38,366.89	-35,970.76	-38,757.04	-42,200.00
	TOTAL EXPENSES	15,651.07	18,686.12	20,201.37	20,201.37	62,000.00
	TOTAL 04 FIRE HYDRANT FUND	-20,049.30	-19,680.77	-15,769.39	-18,555.67	19,800.00

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR: 05 RECREATION FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
301 REAL ESTATE TAXES	-347,045.92	-367,505.56	-374,124.81	-215,960.22	-242,200.00
341 INTEREST EARNINGS	-178.98	-4,291.56	-164.76	-1,145.49	-2,500.00
358 LOCAL GOVT ENTITLEMENT	.00	.00	.00	96.76	-1,000.00
361 PERMITS/DEVELOPMENT	-5,505.00	.00	.00	.00	.00
367 RECREATION	-5,530.00	-18,830.00	-9,446.00	-9,300.00	-28,000.00
387 DIVIDENDS/MISC REV	-85.93	-25.00	.00	.00	.00
437 PW REPR TOOL&MAC	3,468.62	4,433.22	5,339.80	.00	3,500.00
451 CULTURE-RECREATION	68,748.16	87,657.34	84,927.34	87,048.66	210,275.22
453 RECREATION EVENTS	345.67	3,254.54	4,461.03	5,175.79	30,000.00
454 PARKS	114,509.86	135,830.72	95,342.27	9,072.06	15,000.00
486 INSURANCE	2,111.18	7,826.39	15,779.22	.00	.00
487 EMPLOYEE BENEFITS	5,909.10	6,038.00	8,375.16	1,255.05	10,877.00
TOTAL RECREATION FUND	-163,253.24	-145,611.91	-169,510.75	-123,757.39	-4,047.78
TOTAL REVENUES	-358,345.83	-390,652.12	-383,735.57	-226,308.95	-273,700.00
TOTAL EXPENSES	195,092.59	245,040.21	214,224.82	102,551.56	269,652.22
TOTAL 05 RECREATION FUND	-163,253.24	-145,611.91	-169,510.75	-123,757.39	-4,047.78

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR: 08 SEWER FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
341 INTEREST EARNINGS	-1,974.74	-29,063.38	-6,663.50	-28,912.42	-18,000.00
361 PERMITS/DEVELOPMENT	-172.50	.00	.00	.00	.00
364 SANITATION	-1,305,466.20	-1,411,225.00	-1,458,933.26	-1,472,337.76	-2,921,500.00
383 SPECIAL ASSESSMENTS	.00	-900.00	.00	-22,868.00	-1,000.00
401 EXECUTIVE	2,658.76	-3,035.76	.00	185.00	1,500.00
402 FINANCIAL ADMIN	7,022.71	7,343.98	8,461.19	8,219.44	20,000.00
408 ENGINEERING	3,528.56	.00	.00	.00	5,000.00
409 BUILDNGS & PLANT	.00	.00	.00	.00	135,000.00
429 PW-WASTEWTR COLL	650,378.18	732,813.53	605,350.97	623,475.63	2,235,213.00
486 INSURANCE	10,065.42	10,356.04	26,159.64	39,264.00	63,620.51
487 EMPLOYEE BENEFITS	42,945.67	49,269.81	36,818.13	54,124.18	168,684.27
492 INTERFUND OPERATING TRANS	.00	.00	100,000.00	.00	105,847.00
TOTAL SEWER FUND	-591,014.14	-644,440.78	-688,806.83	-798,849.93	-205,635.22
TOTAL REVENUES	-1,307,613.44	-1,441,188.38	-1,465,596.76	-1,524,118.18	-2,940,500.00
TOTAL EXPENSES	716,599.30	796,747.60	776,789.93	725,268.25	2,734,864.78
TOTAL 08 SEWER FUND	-591,014.14	-644,440.78	-688,806.83	-798,849.93	-205,635.22

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR: 09	SEWER CAPITAL RESERVE	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
341	INTEREST EARNINGS	-4,046.33	-76,948.06	-100,825.03	-83,609.55	-230,000.00
354	ST. CAPITAL & OP. GRANTS	.00	.00	.00	.00	-240,000.00
392	INTERFUND OPERATING TRANS	.00	.00	-100,000.00	.00	.00
409	BUILDNGS & PLANT	9,149.75	.00	2,745.00	.00	53,000.00
429	PW-WASTEWTR COLL	.00	.00	8,991.24	3,737.60	6,000.00
439	CONSTRUCTION & REBUILDING	21,251.38	10,855.84	18,159.31	72,669.55	200,000.00
	TOTAL SEWER CAPITAL RESERVE	26,354.80	-66,092.22	-170,929.48	-7,202.40	-211,000.00
	TOTAL REVENUES	-4,046.33	-76,948.06	-200,825.03	-83,609.55	-470,000.00
	TOTAL EXPENSES	30,401.13	10,855.84	29,895.55	76,407.15	259,000.00
	TOTAL 09 SEWER CAPITAL RESERVE	26,354.80	-66,092.22	-170,929.48	-7,202.40	-211,000.00

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ACCOUNTS FOR:		PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
16	ACQUISITION OF OPEN SPAC	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
341	INTEREST EARNINGS	-1,794.96	-43,378.86	-51,381.19	-43,988.23	-115,000.00
342	RENTS & ROYALTIES	-6,500.00	.00	.00	.00	.00
454	PARKS	.00	3,200.00	319.50	.00	.00
	TOTAL ACQUISITION OF OPEN SPAC	-8,294.96	-40,178.86	-51,061.69	-43,988.23	-115,000.00
	TOTAL REVENUES	-8,294.96	-43,378.86	-51,381.19	-43,988.23	-115,000.00
	TOTAL EXPENSES	.00	3,200.00	319.50	.00	.00
TOTAL 16	ACQUISITION OF OPEN SPAC	-8,294.96	-40,178.86	-51,061.69	-43,988.23	-115,000.00

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Lower Gwynedd Township
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ACCOUNTS FOR: 30	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
CAPITAL RESERVE FUND					
341 INTEREST EARNINGS	-6,854.75	-93,468.69	-206,568.49	-221,213.44	-350,000.00
351 FEDERAL GRANTS	.00	-250,000.00	-310,980.00	.00	.00
354 ST. CAPITAL & OP. GRANTS	.00	.00	-49,819.77	-472.50	-1,251,000.00
391 FIXED ASSETS PROCEEDS	.00	.00	.00	.00	-90,000.00
392 INTERFUND OPERATING TRANS	.00	-600,000.00	-1,217,814.04	.00	-500,000.00
401 EXECUTIVE	.00	.00	317,469.00	.00	.00
407 DATA PROCESSING	938.98	6,426.00	17,069.68	.00	.00
409 BUILDNGS & PLANT	30,782.38	675.00	22,437.48	56,802.00	236,000.00
410 POLICE	425.00	.00	131,447.18	33,200.94	189,000.00
411 FIRE	300,000.00	.00	.00	.00	.00
430 PW-HIGHWAY RDS STS	.00	.00	70,438.24	21,017.43	231,000.00
439 CONSTRUCTION & REBUILDING	28,264.23	16,731.38	29,837.17	147,242.25	2,031,000.00
454 PARKS	9,256.36	32,355.31	85,914.94	78,007.38	926,000.00
472 DEBT INTEREST	.00	.00	.00	24,651.66	.00
TOTAL CAPITAL RESERVE FUND	362,812.20	-887,281.00	-1,110,568.61	139,235.72	1,422,000.00
TOTAL REVENUES	-6,854.75	-943,468.69	-1,785,182.30	-221,685.94	-2,191,000.00
TOTAL EXPENSES	369,666.95	56,187.69	674,613.69	360,921.66	3,613,000.00
TOTAL 30 CAPITAL RESERVE FUND	362,812.20	-887,281.00	-1,110,568.61	139,235.72	1,422,000.00

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ACCOUNTS FOR: 31	STORMWATER MANAGEMENT	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
341	INTEREST EARNINGS	-395.42	-6,508.76	-18,155.27	-13,642.25	-38,000.00
354	ST. CAPITAL & OP. GRANTS	.00	.00	.00	.00	-345,000.00
387	DIVIDENDS/MISC REV	-77,430.50	-55,495.00	.00	.00	-50,000.00
392	INTERFUND OPERATING TRANS	.00	4,931.10	.00	.00	.00
446	STORMWATER MANAGEMENT	10,009.00	13,863.94	49,893.64	44,471.49	872,000.00
	TOTAL STORMWATER MANAGEMENT	-67,816.92	-43,208.72	31,738.37	30,829.24	439,000.00
	TOTAL REVENUES	-77,825.92	-57,072.66	-18,155.27	-13,642.25	-433,000.00
	TOTAL EXPENSES	10,009.00	13,863.94	49,893.64	44,471.49	872,000.00
	TOTAL 31 STORMWATER MANAGEMENT	-67,816.92	-43,208.72	31,738.37	30,829.24	439,000.00

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR:	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
33 TRAFFIC IMPACT FUND	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
341 INTEREST EARNINGS	-646.73	-31,159.95	-41,343.44	-21,762.07	-84,000.00
354 ST. CAPITAL & OP. GRANTS	.00	.00	-323,326.80	.00	.00
361 PERMITS/DEVELOPMENT	-75,405.00	.00	.00	.00	-50,000.00
402 FINANCIAL ADMIN	492.50	18,528.30	.00	.00	.00
433 PW -TRAFFIC	36,197.74	44,523.02	585,493.18	.00	.00
439 CONSTRUCTION & REBUILDING	.00	5,353.38	.00	.00	.00
TOTAL TRAFFIC IMPACT FUND	-39,361.49	37,244.75	220,822.94	-21,762.07	-134,000.00
TOTAL REVENUES	-76,051.73	-31,159.95	-364,670.24	-21,762.07	-134,000.00
TOTAL EXPENSES	36,690.24	68,404.70	585,493.18	.00	.00
TOTAL 33 TRAFFIC IMPACT FUND	-39,361.49	37,244.75	220,822.94	-21,762.07	-134,000.00

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Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
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ACCOUNTS FOR:	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
35 HIGHWAY AID FUND	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
341 INTEREST EARNINGS	-606.42	-9,984.44	-10,887.37	-10,715.24	-18,000.00
355 STATE SHARED REV & ENTLMT	-359,978.98	-368,867.51	-368,213.97	-367,325.97	-368,214.00
392 INTERFUND OPERATING TRANS	.00	-20,375.00	.00	.00	.00
430 PW-HIGHWAY RDS STS	37,144.48	6,527.77	27,200.56	71,236.03	20,000.00
439 CONSTRUCTION & REBUILDING	.00	.00	.00	.00	400,000.00
TOTAL HIGHWAY AID FUND	-323,440.92	-392,699.18	-351,900.78	-306,805.18	33,786.00
TOTAL REVENUES	-360,585.40	-399,226.95	-379,101.34	-378,041.21	-386,214.00
TOTAL EXPENSES	37,144.48	6,527.77	27,200.56	71,236.03	420,000.00
TOTAL 35 HIGHWAY AID FUND	-323,440.92	-392,699.18	-351,900.78	-306,805.18	33,786.00
GRAND TOTAL	-3,918,671.47	-4,795,197.99	-4,246,192.98	-4,285,483.73	799,520.26



PROJECT	WORK PERFORMED LAST PERIOD (May 27 th to June 24 th)	WORK TO BE PERFORMED THIS PERIOD (June 24 th to July 28 th)
GENERAL TOWNSHIP PROJECTS		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none">No work performed this period.	<ul style="list-style-type: none">Monitor permit status and perform work as necessary.
2. Misc. Consulting Services	<ul style="list-style-type: none">Trail & Sidewalk plan presented to BOS in May with follow up discussion scheduled for June 24th.Respond to resident drainage complaints.Pollinator Garden construction coordination and payment recommendation.	<ul style="list-style-type: none">Paper street research and coordination with Public Works & Solicitor.Coordinate with Township on DEP GreenPort account and Marion Culvert submission.
3. Old Bethlehem Pike Bridge Replacement / Streambank Stabilization	<ul style="list-style-type: none">Contractor mobilized to site in beginning of June to start clearing and E&S.Review shop drawings for bridge fabrication to begin.	<ul style="list-style-type: none">PECO anticipates their contractor mobilizing to the site during the last week of June to relocate gas main.Work to have utilities relocated this summer and then bridge construction to begin early fall.
4. Road Repaving Program	<ul style="list-style-type: none">Project awarded at May BOS meeting.Coordination w/ Bowman & Township re: McKean Road crossing.	<ul style="list-style-type: none">Get change order for McKean Road crossing from Contractor (J&J will reimburse Township for this cost based on commitment from previous LD approval).Coordination with Contractor on start time. Anticipate paving second half of summer with completion before school is back in session.

PROJECT	WORK PERFORMED LAST PERIOD (May 27 th to June 24 th)	WORK TO BE PERFORMED THIS PERIOD (June 24 th to July 28 th)
5. Park Master Plans (Ingersoll, Pen-Ambler, Oxford) DCED Grant.	<ul style="list-style-type: none"> • Coordination with Township, Little League, and Gorski on final scope and proposal. • Site visit with Public Works to confirm feasibility and clearing needed for batting cage pavilion. 	<ul style="list-style-type: none"> • Revised Gorski proposal is on June 24th BOS meeting. • If project moves forward, coordination with Gorski and Township on start and demolition of existing concession stand once Little League season is over in mid-July.
PRIVATE DEVELOPMENT PROJECTS		
1. Saint Charles Seminary	<ul style="list-style-type: none"> • No work performed this period. 	<ul style="list-style-type: none"> • Close project out and recommend final CO once they provide notice of termination for NPDES permit.
2. Hunt Seat Drive	<ul style="list-style-type: none"> • No work performed this period. 	<ul style="list-style-type: none"> • Monitor project status and perform work as needed.
3. Goddard School	<ul style="list-style-type: none"> • No work performed this period. 	<ul style="list-style-type: none"> • Construction observation once medical office building permits are issued.
4. GMU – Healthcare Innovation Campus	<ul style="list-style-type: none"> • Construction observation and administration. 	<ul style="list-style-type: none"> • Construction observation. • Monitor project status and perform work as necessary.
5. SHIP Building 14 Parking & Substation Land Development	<ul style="list-style-type: none"> • Construction observation. 	<ul style="list-style-type: none"> • Monitor project status and perform work as necessary. • Applicant looking to closeout the substation LD. Work with them and remove project from list once it is closed out.
6. 776 Johns Lane (Hughes Subdivision)	<ul style="list-style-type: none"> • Construction observation. 	<ul style="list-style-type: none"> • Monitor project status and perform work as needed.
7. ACTS (Gwynedd Estates)	<ul style="list-style-type: none"> • Working through final revisions to sewer design with applicant's engineer. 	<ul style="list-style-type: none"> • Monitor project status and perform work as needed.
8. 1348 Sumneytown Pike (Whitefield Subdivision)	<ul style="list-style-type: none"> • Applicant submitted revised ZHB application which will be placed on future agenda. 	<ul style="list-style-type: none"> • Monitor project status and perform work as needed.

PROJECT	WORK PERFORMED LAST PERIOD (May 27 th to June 24 th)	WORK TO BE PERFORMED THIS PERIOD (June 24 th to July 28 th)
9. Ducklings Daycare	<ul style="list-style-type: none"> • LD plans submitted and review letter issued. • Project was scheduled for June PC, but Applicant requested to be tabled in order to work through review comments. 	<ul style="list-style-type: none"> • Monitor project status and perform work as needed.

LOWER GWYNEDD TOWNSHIP PROJECT STATUS REPORT June 2025

SPRING HOUSE INTERSECTION PROJECT – PHASE 2

- Bowman continues to monitor rainfall and spread of flow at intersection. Contractor to investigate swapping manhole lid with a slotted manhole lid to reduce spread of flow.
- Contractor, Bowman, and Township met in field on 4/16/2025 regarding the pavement failure identified by Montgomery County along Sumneytown Pike.
- Continuing to coordinate with contractor and Montgomery County regarding pavement issues. Montgomery County still reviewing contractor's response as to responsibility.
- Continuing final coordination for vegetation replacement for Beadle property to be provided by Township.

BETHLEHEM PIKE AND DAGER ROAD TRAFFIC SIGNAL POLE REPLACEMENTS

- Final inspection meeting on 6/5/2025. All work has been completed.

WELSH ROAD TRAFFIC SIGNAL UPGRADES

- Traffic signal upgrades for the intersections with Evans Road and Darden Drive/Gwynedd Crossing.
- Township awarded GLG grant of \$324,640 with 20% local match requirement of \$81,160.
- 2nd PennDOT submission 3/27/2025. Received PennDOT review comments 5/14/2025.
- Bowman submitted final plans for issuance of permits on 6/12/2025.

SIDEWALK AND TRAIL PLAN

- Draft review of existing trail crossings completed April 2025.
- Presentation to Board of Supervisors on 5/13 and 5/27/2025.
- Prepare final memorandum for existing and future trail crossings in July 2025.

PENLLYN PIKE AND TREWELLYN AVENUE/OLD PENLLYN PIKE TRAFFIC SIGNAL UPGRADES

- Township awarded DCED LSA grant of \$451,312 with local match of \$112,828.
- Bowman proposal for design/permitting/construction services authorized by Township 1/28/2025.
- Estimated schedule for design/permitting/bidding = 12 – 14 months, heavily dependent on PennDOT and Montgomery County review times.
- Meeting with Church representatives on 4/16/2025 to discuss project scope.
- Topographic survey completed in April 2025; traffic signal design started in May 2025.
- First submission to Montgomery County and PennDOT anticipated in June 2025.

BETHLEHEM PIKE AND PENLLYN PIKE

- Replace two (2) traffic signal poles based on recent traffic signal maintenance inspection report.
- Proposal for construction documents, bidding, and services during construction submitted to Township.
- Proposed tentative schedule: Bidding Summer/Fall 2025; Construction Spring/Summer 2026.

BETHLEHEM PIKE AND TENNIS AVENUE

- Replace two (2) traffic signal poles, signal heads, ped push buttons, and vehicle detection systems.
- PennDOT 2025 ARLE grant scoping form submitted to PennDOT 4/30/2025; PennDOT comments received on 5/31/2025.
- ARLE grant applications due 6/30/2025.

PAID INVOICES REPORT

WARRANT: 061625

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
4140 EK CONSTRUCTION, LLC 169124 INVOICE: 061625	06/16/25	70889		1211	M	06/16/25	01250 000	TOTAL DEVELOPERS' ESCROW	78,808.84
VENDOR TOTALS			78,808.84	YTD INVOICED			78,808.84	YTD PAID	78,808.84
								REPORT TOTALS	78,808.84
								COUNT	AMOUNT
TOTAL MANUAL CHECKS								1	78,808.84

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
18 21ST CENTURY MEDIA NEWSPAPER, LLC	169125	05/29/25	70890		104537	P	06/24/25	01401 340	LEGAL NOTICES	382.81
INVOICE: 2724911										
169126	05/23/25	70891			104537	P	06/24/25	01401 340	LEGAL NOTICES	1,067.22
INVOICE: 2722560										
VENDOR TOTALS			16,530.35	YTD INVOICED				19,059.70	YTD PAID	1,450.03
3577 ADOBE SYSTEMS INCORPORATED	169190	06/02/25	70955		104538	P	06/24/25	01401 430	TECHNOLOGY	3,166.68
INVOICE: 3109608945										
VENDOR TOTALS			3,349.66	YTD INVOICED				3,349.66	YTD PAID	3,166.68
837 ALBERT M. COMLY, JR.	169151	05/28/25	70916		104539	P	06/24/25	01414 312	FIRE SAFETY INSPECTOR	600.00
INVOICE: 060125										
VENDOR TOTALS			3,881.25	YTD INVOICED				5,433.75	YTD PAID	600.00
3799 ALLEN J. FEDEZKO	169197	06/02/25	70962		104540	P	06/24/25	01409 450	CONTRACTED SERVICES	1,487.50
INVOICE: 144										
169197	06/02/25	70962			104540	P	06/24/25	08429 450	CONTRACTED SERVICES	262.50
INVOICE: 144										
VENDOR TOTALS			8,750.00	YTD INVOICED				10,500.00	YTD PAID	1,750.00
3976 ANTHONY GULLO	169205	06/02/25	70970		104541	P	06/24/25	01430 238	CLOTHING & UNIFORMS	216.00
INVOICE: 111-5753459-5133832										
169205	06/02/25	70970			104541	P	06/24/25	08429 238	UNIFORMS	72.16
INVOICE: 111-5753459-5133832										
VENDOR TOTALS			288.16	YTD INVOICED				288.16	YTD PAID	288.16
1607 APEX ELEVATOR INSPECTION AND TESTING LLC	169213	06/02/25	70978		104542	P	06/24/25	01409 370	R&M ALL BLDNGS	70.00
INVOICE: 66981										
VENDOR TOTALS			70.00	YTD INVOICED				70.00	YTD PAID	70.00
2091 ARAMSCO, INC.	169164	06/02/25	70929		104543	P	06/24/25	01409 220	SUPPLIES- ALL BLDNGS	206.42
INVOICE: S7078346.001										
VENDOR TOTALS			2,356.18	YTD INVOICED				2,536.20	YTD PAID	206.42
500 BERGEY'S, INC.	169142	05/31/25	70907		104544	P	06/24/25	01410 262	VEHICLE MAINTENANCE	1,193.28
INVOICE: 053025										

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
	169143	05/23/25	70908		104544	P	06/24/25	08429 262	R&M EQUIP/VEHICLES	2,077.50
	INVOICE: TK744134R									
VENDOR TOTALS			13,374.48	YTD INVOICED				13,374.48	YTD PAID	3,270.78
617 BOROUGH OF AMBLER										
	169145	05/07/25	70910		104545	P	06/24/25	08429 300	AMBLER TREATMENT OPERAT	291,126.50
	INVOICE: 050725									
	169146	05/07/25	70911		104545	P	06/24/25	08429 730	AMBLER CAPITAL PROJECTS	20,612.79
	INVOICE: 05072025									
VENDOR TOTALS			602,865.79	YTD INVOICED				1,108,296.31	YTD PAID	311,739.29
1116 BOWMAN CONSULTING GROUP, LTD.										
	169153	05/30/25	70918		104546	P	06/24/25	01414 313	ENGINEERING	8,832.50
	INVOICE: 053125									
	169153	05/30/25	70918		104546	P	06/24/25	30439 000	INFRASTRUCTURE REBUILDING	4,030.00
	INVOICE: 053125									
	169153	05/30/25	70918		104546	P	06/24/25	30454 600	PARK IMPROVEMENTS	210.00
	INVOICE: 053125									
	169153	05/30/25	70918		104546	P	06/24/25	01147 000	LEGAL&ENGINEER	895.00
	INVOICE: 053125									
VENDOR TOTALS			103,403.41	YTD INVOICED				135,544.18	YTD PAID	13,967.50
3285 CAPASSO PEST SERVICES LLC										
	169183	06/02/25	70948		104547	P	06/24/25	01409 450	CONTRACTED SERVICES	640.00
	INVOICE: 1141									
VENDOR TOTALS			930.00	YTD INVOICED				930.00	YTD PAID	640.00
3075 CARGO TRAILER SALES, INC.										
	169177	06/02/25	70942		104548	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	1,392.00
	INVOICE: 05152025									
	169177	06/02/25	70942		104548	P	06/24/25	08429 220	OPERATING SUPPLIES	964.00
	INVOICE: 05152025									
	169178	06/02/25	70943		104548	P	06/24/25	01430 220	SUPPLIES PW	129.78
	INVOICE: 216194									
	169179	06/02/25	70944		104548	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	19.40
	INVOICE: 216087									
VENDOR TOTALS			2,577.56	YTD INVOICED				2,577.56	YTD PAID	2,505.18
835 DAVID A. MORGAN										
	169149	05/28/25	70914		104549	P	06/24/25	01401 200	OFFICE SUPPLIES	261.30
	INVOICE: 14614									
	169150	05/28/25	70915		104549	P	06/24/25	01401 200	OFFICE SUPPLIES	55.00
	INVOICE: 14621									
VENDOR TOTALS			316.30	YTD INVOICED				316.30	YTD PAID	316.30

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
25 DEL-VAL INTERNATIONAL TRUCKS, INC.	169127	05/21/25	70892		104550	P	06/24/25	08429 262	R&M EQUIP/VEHICLES	95.49
	INVOICE: 13391510									
	169128	05/30/25	70893		104550	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	57.07
	INVOICE: 13392217									
VENDOR TOTALS				2,004.40 YTD INVOICED				2,004.40 YTD PAID		152.56
3922 FISHERS TRUE VALUE HARDWARE INC.	169199	06/02/25	70964		104551	P	06/24/25	01409 370	R&M ALL BLDNGS	52.32
	INVOICE: 053125									
	169199	06/02/25	70964		104551	P	06/24/25	01430 220	SUPPLIES PW	123.66
	INVOICE: 053125									
VENDOR TOTALS				356.78 YTD INVOICED				356.78 YTD PAID		175.98
548 GARY O'CONNOR	169144	06/01/25	70909		104552	P	06/24/25	01410 158	POST-RETIREMENT HEALTH BE	200.00
	INVOICE: 060125									
VENDOR TOTALS				1,200.00 YTD INVOICED				1,200.00 YTD PAID		200.00
1869 GENERAL CODE PUBLISHERS CORP.	169163	06/02/25	70928		104553	P	06/24/25	01401 450	CONTRACTED SERVICES	1,645.00
	INVOICE: PG000041596									
VENDOR TOTALS				7,108.00 YTD INVOICED				7,108.00 YTD PAID		1,645.00
4094 GENO NAVE	169209	06/02/25	70974		104554	P	06/24/25	01430 420	TRAINING/DUES/SUBS	21.50
	INVOICE: 061625									
VENDOR TOTALS				221.50 YTD INVOICED				221.50 YTD PAID		21.50
67 GENUINE PARTS COMPANY	169133	05/31/25	70898		104555	P	06/24/25	01410 262	VEHICLE MAINTENANCE	13.79
	INVOICE: 053125									
	169133	05/31/25	70898		104555	P	06/24/25	01430 220	SUPPLIES PW	18.99
	INVOICE: 053125									
	169134	04/30/25	70899		104556	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	8.38
	INVOICE: 043025									
	169134	04/30/25	70899		104556	P	06/24/25	01430 220	SUPPLIES PW	44.07
	INVOICE: 043025									
	169134	04/30/25	70899		104556	P	06/24/25	08429 262	R&M EQUIP/VEHICLES	307.62
	INVOICE: 043025									
VENDOR TOTALS				2,317.29 YTD INVOICED				2,377.12 YTD PAID		392.85
1191 GEORGE ALLEN PORTABLE TOILETS, INC.	169154	06/06/25	70919		104557	P	06/24/25	01430 450	CONTRACTED SERVICES	332.00
	INVOICE: I237991									

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
	169155	06/06/25	70920		104557	P	06/24/25	01430 450	CONTRACTED SERVICES	166.00
	INVOICE: 1237992									
	169156	06/06/25	70921		104557	P	06/24/25	01430 450	CONTRACTED SERVICES	166.00
	INVOICE: 1237993									
	169157	06/06/25	70922		104557	P	06/24/25	01430 450	CONTRACTED SERVICES	166.00
	INVOICE: 1237990									
	VENDOR TOTALS		3,750.00	YTD INVOICED				4,258.00	YTD PAID	830.00
26	GLASGOW, INC									
	169129	05/30/25	70894		104558	P	06/24/25	01430 370	R&M PW	53.85
	INVOICE: 275880									
	VENDOR TOTALS		1,225.50	YTD INVOICED				1,516.64	YTD PAID	53.85
4135	GREAT ESTATES, INC.									
	169210	06/02/25	70975		104559	P	06/24/25	01361 430	PLUMBING PERMITS	145.00
	INVOICE: 062425									
	VENDOR TOTALS		145.00	YTD INVOICED				145.00	YTD PAID	145.00
380	HEIDELBERG MATERIALS US, INC.									
	169138	06/05/25	70903		104560	P	06/24/25	01430 370	R&M PW	158.81
	INVOICE: 4659274									
	VENDOR TOTALS		1,530.85	YTD INVOICED				1,530.85	YTD PAID	158.81
425	HORSHAM CAR WASH INC.									
	169139	04/30/25	70904		104561	P	06/24/25	01410 262	VEHICLE MAINTENANCE	192.00
	INVOICE: 998									
	VENDOR TOTALS		324.00	YTD INVOICED				684.00	YTD PAID	192.00
1665	ICMA									
	169162	06/02/25	70927		104562	P	06/24/25	01401 420	TRAINING/DUES/SUBS	1,096.74
	INVOICE: 380178									
	VENDOR TOTALS		1,096.74	YTD INVOICED				1,096.74	YTD PAID	1,096.74
3323	JOSEPH P. GROARKE									
	169184	06/02/25	70949		104563	P	06/24/25	01414 311	PROF SERV- UCC INSPECTING	1,739.00
	INVOICE: 061625									
	VENDOR TOTALS		7,844.00	YTD INVOICED				9,509.00	YTD PAID	1,739.00
3743	KAPLIN STEWART MELOFF REITER & STEIN, P.C.									
	169196	06/02/25	70961		104564	P	06/24/25	01401 314	LEGAL SERVICES	23,246.69
	INVOICE: 0525									
	169196	06/02/25	70961		104564	P	06/24/25	30439 725	PUBLIC WORKS PROJECT	1,110.00
	INVOICE: 0525									
	169196	06/02/25	70961		104564	P	06/24/25	01147 000	LEGAL&ENGINEER	1,202.50

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
INVOICE: 0525										
VENDOR TOTALS				79,473.82 YTD INVOICED				121,956.69 YTD PAID		25,559.19
3358 KEYSTONE MUNICIPAL SERVICES, INC.										
169186	06/02/25	70951			104565	P	06/24/25	01414 311	PROF SERV- UCC INSPECTING	7,725.00
INVOICE: 39022										
169187	06/02/25	70952			104565	P	06/24/25	01414 311	PROF SERV- UCC INSPECTING	7,012.50
INVOICE: 39100										
VENDOR TOTALS				75,075.00 YTD INVOICED				92,562.00 YTD PAID		14,737.50
1287 KONICA MINOLTA BUSINESS SOLUTIONS USA, INC.										
169159	06/02/25	70924			104566	P	06/24/25	01401 430	TECHNOLOGY	3,959.92
INVOICE: 1123246										
169159	06/02/25	70924			104566	P	06/24/25	01401 430	TECHNOLOGY	2,187.50
INVOICE: 1123246										
169159	06/02/25	70924			104566	P	06/24/25	08429 430	TECHNOLOGY	1,319.98
INVOICE: 1123246										
VENDOR TOTALS				100,295.58 YTD INVOICED				100,295.58 YTD PAID		7,467.40
4083 LONGO ELECTRICAL-MECHANICAL, INC.										
169208	06/02/25	70973			104567	P	06/24/25	09439 000	INFRASTRUCTURE REBUILDING	10,931.00
INVOICE: 8N317A										
VENDOR TOTALS				10,931.00 YTD INVOICED				10,931.00 YTD PAID		10,931.00
3646 MCDONALD UNIFORM COMPANY, INC.										
169191	06/02/25	70956			104568	P	06/24/25	01410 238	UNIFORMS	233.99
INVOICE: 246324										
169192	06/02/25	70957			104568	P	06/24/25	01410 238	UNIFORMS	242.99
INVOICE: 246293										
169193	06/02/25	70958			104568	P	06/24/25	01410 238	UNIFORMS	348.27
INVOICE: 245462										
169194	06/02/25	70959			104568	P	06/24/25	01410 238	UNIFORMS	1,519.28
INVOICE: 245241										
VENDOR TOTALS				7,708.29 YTD INVOICED				9,267.37 YTD PAID		2,344.53
1409 MICHAEL ROGGE										
169212	06/02/25	70977			104569	P	06/24/25	01410 158	POST-RETIREMENT HEALTH BE	340.32
INVOICE: 060125										
VENDOR TOTALS				2,041.92 YTD INVOICED				2,041.92 YTD PAID		340.32
2874 MODERN HANDLING EQUIPMENT COMPANY										
169173	06/02/25	70938			104570	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	203.19
INVOICE: S0356572										

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
VENDOR TOTALS		1,021.89 YTD INVOICED			1,021.89 YTD PAID			203.19		
140 NORTH WALES WATER AUTHORITY	169136	06/02/25	70901		104572	P	06/24/25	08429 450	CONTRACTED SERVICES	1,328.75
INVOICE: SALES0002804	169215	06/02/25	70980		104571	P	06/24/25	08429 450	CONTRACTED SERVICES	1,536.00
INVOICE: SALES0002810										
VENDOR TOTALS		33,581.21 YTD INVOICED			37,911.82 YTD PAID			2,864.75		
469 NYCO CORPORATION	169140	06/03/25	70905		104573	P	06/24/25	08429 262	R&M EQUIP/VEHICLES	125.87
INVOICE: 251276										
VENDOR TOTALS		259.65 YTD INVOICED			474.29 YTD PAID			125.87		
3351 OBERMAYER REBMANN MAXWELL & HIPPLE, LLP	169185	06/02/25	70950		104574	P	06/24/25	01401 314	LEGAL SERVICES	245.00
INVOICE: 488845										
VENDOR TOTALS		740.00 YTD INVOICED			740.00 YTD PAID			245.00		
1347 PA MUNICIPAL, INC.	169161	06/02/25	70926		104575	P	06/24/25	08429 262	R&M EQUIP/VEHICLES	872.16
INVOICE: 6230922										
VENDOR TOTALS		5,891.58 YTD INVOICED			5,891.58 YTD PAID			872.16		
3951 PARKER INTERPRIZE II, INC.	169201	06/02/25	70966		104576	P	06/24/25	01410 220	OPERATING SUPPLIES	24.99
INVOICE: 17747	169203	06/02/25	70968		104576	P	06/24/25	01410 220	OPERATING SUPPLIES	53.98
INVOICE: 17065	169204	06/02/25	70969		104576	P	06/24/25	01410 220	OPERATING SUPPLIES	95.94
INVOICE: 15737										
VENDOR TOTALS		174.91 YTD INVOICED			212.31 YTD PAID			174.91		
665 PAUL B. MOYER & SONS	169147	05/07/25	70912		104577	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	152.20
INVOICE: 12149	169148	05/28/25	70913		104577	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	83.64
INVOICE: 10988										
VENDOR TOTALS		1,229.40 YTD INVOICED			1,313.89 YTD PAID			235.84		
3475 PENN E & R	169188	06/02/25	70953		104578	P	06/24/25	01414 313	ENGINEERING	3,038.25
INVOICE: 26974										

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
VENDOR TOTALS		6,738.25 YTD INVOICED			11,407.20 YTD PAID			3,038.25		
2919 PFM ASSET MANAGEMENT LLC	169176	06/02/25	70941		104579	P	06/24/25	01410 311	PROF. SERVICES - PENSION,	3,696.10
INVOICE: 14789978	169176	06/02/25	70941		104579	P	06/24/25	01402 310	PROFESSIONAL SERVICES	1,141.29
INVOICE: 14789978										
VENDOR TOTALS		20,525.22 YTD INVOICED			36,023.86 YTD PAID			4,837.39		
2654 PITNEY BOWES GLOBAL FINANCIAL SERVICES LLC	169170	06/02/25	70935		104580	P	06/24/25	01409 450	CONTRACTED SERVICES	242.22
INVOICE: 3320865934										
VENDOR TOTALS		484.44 YTD INVOICED			484.44 YTD PAID			242.22		
172 REX WILKINSON	169137	06/01/25	70902		104581	P	06/24/25	01410 158	POST-RETIREMENT HEALTH BE	452.45
INVOICE: 060125										
VENDOR TOTALS		2,714.70 YTD INVOICED			2,714.70 YTD PAID			452.45		
1081 ROBERT E. LITTLE INC.	169152	05/30/25	70917		104582	P	06/24/25	08429 262	R&M EQUIP/VEHICLES	90.62
INVOICE: 05-1186785										
VENDOR TOTALS		2,229.03 YTD INVOICED			2,229.03 YTD PAID			90.62		
4102 RYAN M. SELL	169207	06/02/25	70972		104583	P	06/24/25	01410 174	EDUC. TUITION REIMBURSEME	1,736.99
INVOICE: 052125										
VENDOR TOTALS		3,470.81 YTD INVOICED			3,767.81 YTD PAID			1,736.99		
2460 SANG CHUL LEE	169168	06/02/25	70933		104584	P	06/24/25	01410 238	UNIFORMS	192.00
INVOICE: 2884										
VENDOR TOTALS		603.75 YTD INVOICED			891.75 YTD PAID			192.00		
2758 TP TRAILERS	169172	06/02/25	70937		104585	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	32.92
INVOICE: 478508										
VENDOR TOTALS		32.92 YTD INVOICED			32.92 YTD PAID			32.92		
2673 TURF EQUIPMENT AND SUPPLY COMPANY	169171	06/02/25	70936		104586	P	06/24/25	01430 262	REPAIRS VEHICLES/TOOLS/MA	52.36
INVOICE: 70123389-00										

PAID INVOICES REPORT

WARRANT: 062425

TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
VENDOR TOTALS		22,638.05 YTD INVOICED			22,638.05 YTD PAID			52.36		
2441 TUSTIN GROUP, LLC	169166	06/02/25	70931		104587	P	06/24/25	01409 370	R&M ALL BLDNGS	1,025.00
	INVOICE: 990038327									
	169167	06/02/25	70932		104587	P	06/24/25	01409 370	R&M ALL BLDNGS	1,500.00
	INVOICE: 990037876									
VENDOR TOTALS		6,805.18 YTD INVOICED			6,805.18 YTD PAID			2,525.00		
3239 UNIFIRST FIRST AID CORPORATION	169181	06/02/25	70946		104588	P	06/24/25	01410 220	OPERATING SUPPLIES	278.91
	INVOICE: J377511									
	169182	06/02/25	70947		104588	P	06/24/25	01430 220	SUPPLIES PW	427.02
	INVOICE: J377510									
VENDOR TOTALS		2,109.86 YTD INVOICED			2,109.86 YTD PAID			705.93		
2906 US BANK	169174	06/02/25	70939		104589	P	06/24/25	01410 311	PROF. SERVICES - PENSION,	164.24
	INVOICE: 14787322									
	169175	06/02/25	70940		104589	P	06/24/25	01410 311	PROF. SERVICES - PENSION,	460.52
	INVOICE: 14786709									
	169214	06/02/25	70979		104589	P	06/24/25	01410 311	PROF. SERVICES - PENSION,	109.56
	INVOICE: 14787392									
VENDOR TOTALS		2,975.42 YTD INVOICED			5,138.72 YTD PAID			734.32		
40 VERIZON	169130	06/07/25	70895		104590	P	06/24/25	08429 320	COMMUNICATIONS	39.45
	INVOICE: 2152831193 060725									
	169131	06/07/25	70896		104590	P	06/24/25	08429 320	COMMUNICATIONS	37.77
	INVOICE: 2155428926 060725									
	169132	06/07/25	70897		104590	P	06/24/25	08429 320	COMMUNICATIONS	46.81
	INVOICE: 2155428924 060725									
VENDOR TOTALS		4,934.09 YTD INVOICED			5,003.29 YTD PAID			124.03		
3202 VERIZON BUSINESS NETWORK SERVICES, INC.	169180	06/02/25	70945		104591	P	06/24/25	01409 320	COMMUNICATIONS	1,110.21
	INVOICE: Z1469122									
VENDOR TOTALS		6,857.53 YTD INVOICED			6,857.53 YTD PAID			1,110.21		
3932 VIQ SOLUTIONS, INC.	169200	06/02/25	70965		104592	P	06/24/25	01410 222	DETECTIVE OPERATING SUPPL	65.07
	INVOICE: #VIQU7896									
VENDOR TOTALS		457.90 YTD INVOICED			573.58 YTD PAID			65.07		

PAID INVOICES REPORT

WARRANT: 062425

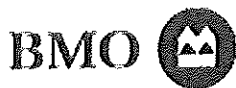
TO FISCAL 2025/06 01/01/2025 TO 12/31/2025

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
3565 W.B. MASON COMPANY	169189	06/02/25	70954		104593	P	06/24/25	01409 220	SUPPLIES- ALL BLDNGS	351.76
	INVOICE: 254336066									
VENDOR TOTALS			2,957.06	YTD INVOICED				3,187.70	YTD PAID	351.76
2511 WEST PUBLISHING CORPORATION	169169	06/02/25	70934		104594	P	06/24/25	30410 705	POLICE PCCD GRANT EXP	157.50
	INVOICE: 852052892									
VENDOR TOTALS			945.00	YTD INVOICED				945.00	YTD PAID	157.50
4136 WILLIAM/AMY GEISSELE	169211	06/02/25	70976		104595	P	06/24/25	01301 100	CURRENT REAL ESTATE TAXES	4.41
	INVOICE: 05212025									
VENDOR TOTALS			4.41	YTD INVOICED				4.41	YTD PAID	4.41
3680 WINTERSRING, LLC	169195	06/02/25	70960		104596	P	06/24/25	30454 600	PARK IMPROVEMENTS	12,000.00
	INVOICE: 273033000041652082									
VENDOR TOTALS			12,000.00	YTD INVOICED				12,000.00	YTD PAID	12,000.00
2433 WITMER PUBLIC SAFETY GROUP, INC.	169165	06/02/25	70930		104597	P	06/24/25	30410 700	POLICE EQUIPMENT	20,308.00
	INVOICE: INV664660									
VENDOR TOTALS			20,371.94	YTD INVOICED				23,453.59	YTD PAID	20,308.00
1364 ZEP MANUFACTURING CO.	169160	06/02/25	70925		104598	P	06/24/25	01430 220	SUPPLIES PW	224.85
	INVOICE: 9011229702									
VENDOR TOTALS			910.58	YTD INVOICED				910.58	YTD PAID	224.85
REPORT TOTALS										461,861.57

	COUNT	AMOUNT
TOTAL PRINTED CHECKS	62	461,861.57

** END OF REPORT - Generated by Mary Trocino **

30 APR



Statement

wire 50

Account Name:	BILLING ACCOUNT 030522	Card Number:	xxxx-xxxx-xxxx-0522
Company Name:	LOWER GWYNEDD TOWNSHIP	Account Limit:	\$ 250,000.00
Employee ID:	772190000032397	Available Credit:	\$ 238,463.62
Statement Date (MM/DD/YYYY):	04/27/2025	Currency:	U.S. DOLLAR
Payment Due Date (MM/DD/YYYY):	05/24/2025		

Statement Summary:

Report any items which do not agree with your records within 30 days of the statement date.

Previous Balance:	\$ 6,792.57
Payments:	\$ -6,792.57
Adjustments:	\$ 0.00
Net Purchases:	\$ 11,536.38
Cash Advance:	\$ 0.00
Fees:	\$ 0.00
Other Charges:	\$ 0.00
New Account Balance:	\$ 11,536.38

Transaction Summary:

Trans Date	Posting Date Trans ID	Description	Pre-Tax Amount Auth #	Total Tax	Trans Amount
Card Number xxxx-xxxx-xxxx-0522 BILLING ACCOUNT 030522					
04/04	04/04 584192453	AUTOMATIC PYMT RECEIVED	\$ -6,792.57	\$ 0.00	\$ -6,792.57

TOTAL CREDITS	xxxx-xxxx-xxxx-0522	\$ -6,792.57
TOTAL DEBITS	xxxx-xxxx-xxxx-0522	\$ 0.00

Card Number xxxx-xxxx-xxxx-2252 KENNY, PAUL D

03/31	04/01 583622843	21CM PA2 NEWSPAPERS CI WEST CHESTER PA <i>Reporter</i>	\$ 18.00 042436	\$ 0.00	\$ 18.00 ✓
04/03	04/04 584217223	SPREAD BAGELRY AMBLER AMBLER PA <i>01401.420</i>	\$ 706.04 015377	\$ 42.36 (e)	\$ 748.40 ✓
04/04	04/04 584217224	JONES & BARTLETT LEARN 8008320034 MA <i>01410.220</i>	\$ 221.83 035335	\$ 13.86 (e)	\$ 235.69 ✓
04/09	04/10 585370591	4IMPRINT, INC 4IMPRINT.COM WI <i>01410.420</i>	\$ 604.85 028251	\$ 0.00	\$ 604.85 ✓
04/15	04/16 586358516	QUALIFICATION TARGETS HAMMOND WI <i>01410.420</i>	\$ 140.22 019565	\$ 0.00	\$ 140.22 ✓
04/16	04/17 586503315	HTL STAYBRIDGESUIT 800-468-3578 TX <i>01410.420</i>	\$ 849.37 026474	\$ 70.07 (e)	\$ 919.44 ✓
04/21	04/22 587342176	PENN STATE UNIVERSITY PK PA <i>01410.420</i>	\$ 569.00 009126	\$ 0.00	\$ 569.00 ✓

TOTAL CREDITS	xxxx-xxxx-xxxx-2252	\$ 0.00
TOTAL DEBITS	xxxx-xxxx-xxxx-2252	\$ 3,235.60

Card Number xxxx-xxxx-xxxx-6926 WORMAN, JAMIE P.

03/31	04/01	HOLLY DAYS NURSERY I AMBLER PA	31446.450	\$ 669.81	\$ 40.19 (e)	\$ 710.00	✓
	583622844		017614				
04/09	04/10	MANHATTAN MANHATTAN NORTH WALES PA	01401.460	\$ 215.94	\$ 12.96 (e)	\$ 228.90	✓
	585370592		077897				
04/09	04/11	IL GIARDINO PIZZA CAFE SPRING HOUSE PA	01401.460	\$ 139.25	\$ 8.35 (e)	\$ 147.60	✓
	585447725		009446				
04/10	04/11	GIANT 6510 SPRING HOUSE PA	01401.460	\$ 62.28	\$ 3.74 (e)	\$ 66.02	✓
	585447724		019409				
04/10	04/14	YUM YUM BAKE SHOP WARM WARMINSTER PA	01430.220	\$ 35.85	\$ 2.15 (e)	\$ 38.00	✓
	586019440		022616				
04/10	04/14	YUM YUM BAKE SHOP WARM WARMINSTER PA	01401.460	\$ 71.70	\$ 4.30 (e)	\$ 76.00	✓
	586019439		070370				
04/21	04/22	EIG CONSTANTCONTACT.C WALTHAM MA	01401.450	\$ 88.00	\$ 0.00	\$ 88.00	✓
	587342177		026970				
04/23	04/24	TST SPRING HOUSE TAVER AMBLER PA	01401.187	\$ 355.47	\$ 21.33 (e)	\$ 376.80	✓
	587765095		000035				

TOTAL CREDITS xxxx-xxxx-xxxx-6926

\$ 0.00

TOTAL DEBITS xxxx-xxxx-xxxx-6926

\$ 1,731.32

Card Number xxxx-xxxx-xxxx-3803 ZOLLERS, FRED

04/09	04/10	GIANT 6510 SPRING HOUSE PA	01409.220	\$ 15.97	\$ 0.36	\$ 16.33	✓
	585370593		086363				
04/10	04/11	SQ THE FENCE GUYS MONTGOMERYVIL PA	08429.370	\$ 32.32	\$ 2.18	\$ 34.50	✓
	585447726		032348				
04/11	04/14	CVS/PHARMACY #10493 AMBLER PA	01430.220	\$ 17.58	\$ 1.05	\$ 18.63	✓
	586019441		050340				
04/21	04/22	HOLLY DAYS NURSERY I AMBLER PA	31446.450	\$ 976.42	\$ 58.58 (e)	\$ 1,035.00	✓
	587342178		096718				
04/23	04/24	HOLLY DAYS NURSERY I AMBLER PA	31446.450	\$ 5,825.47	\$ 349.53 (e)	\$ 6,175.00	✓
	587765096		009664				
04/24	04/25	HOLLY DAYS NURSERY I AMBLER PA		\$ -667.40	\$ -42.60	\$ -710.00	
TOM	587979055		067441				

TOTAL CREDITS xxxx-xxxx-xxxx-3803

\$ -710.00

TOTAL DEBITS xxxx-xxxx-xxxx-3803

\$ 7,279.46

VENDOR #	NAME	ADDRESS	CITY	ST	ZIP
4126	BLAIR CORPORATION	95 LOUISE DRIVE	IVYLAND	PA	18974
4127	GREGORY A. ROZMAN				
4128	DATAMARS, INC.	P.O. BOX 732533	DALLAS	TX	75373-2533
4129	GILL QUARRIES, INC.	P.O. BOX 187	FAIRVIEW VILLAGE	PA	19409
4130	CAPTUREPOINT, LLC	P.O. BOX 931649	ATLANTA	GA	31193-1649
4132	JOHN ETHAN TAPPER	P.O. BOX 53	RICHMOND	VT	05477-0053
4133	LOUIS NEIBAUER COMPANY, INC.	20 INDUSTRIAL DRIVE	WARMINSTER	PA	18974
4134	DEPARTMENT OF TREASURY				
4135	GREAT ESTATES, INC.	P.O. BOX 123	GWYNEDD VALLEY	PA	19437
4136	WILLIAM/AMY GEISSELE	408 SWEDES FORD ROAD	AMBLER	PA	19002
4137	CERTUS PUBLIC SAFETY SOLUTIONS, LLC	C/O DR. PAUL O'CONNELL	JAMESTOWN	RI	02835

LOWER GWYNEDD TOWNSHIP SUPERVISOR LIAISON REPORT OF VOLUNTEER COMMISSION MEETING HIGHLIGHTS

Board/Commission	Environmental Advisory Council
Members/Terms	5-7 residents, 3-year terms appointed by the BOS
Meeting Schedule	2 nd Wednesday of each month, 7:00 pm
Supervisor Liaison(s)	Tessie McNeely, Danielle Duckett
Staff Liaison	Sandi Feight-Hicks
Minute Taker	Jen O'Brien

MEETING HIGHLIGHTS

Meeting Date	May 14, 2025
Decisions/Recommendations	
<p style="text-align: center;">Major Discussion Items</p> <ul style="list-style-type: none"> • Follow-up to the SUP Open House. Need for better advertising of recycling. Reaching out to the larger retailers to discuss voluntarily reducing plastic bag usage. Develop an educational campaign for resident for SUP and recycling • Bird Town Update: creating subcommittee that would work on bird town initiatives and report to the EAC. • Maureen and Sandi will be working on the timetable for the Going Green Award and reach out to the schools to push information prior to the end of the school year. 	

Next Meeting	Wednesday, July 9, 2025
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NOTE: This form notes significant highlights from a public board or commission meeting; it does not supplement or replace the official minutes of the meeting. Minutes are posted on the Township's website on the "Meetings" page. This form is included in the Board of Supervisor's meeting packet, which also is posted on the "Meetings" page.

LOWER GWYNEDD TOWNSHIP SUPERVISOR LIAISON REPORT OF VOLUNTEER COMMISSION MEETING HIGHLIGHTS

Board/Commission	Parks & Recreation Board
Members/Terms	7 residents, 5-year terms appointed by the BOS
Meeting Schedule	3 rd Tuesday of the Month, 6:00 p.m.
Supervisor Liaison(s)	Janine Martin
Staff Liaison	Sandi Feight-Hicks
Minute Taker	Frances McKenzie, Secretary

MEETING HIGHLIGHTS

Meeting Date	June 18, 2025
Decisions/Recommendations	
<ul style="list-style-type: none"> The Board will be providing a memo to the Board of Supervisors regarding the placement of the batting tunnel at Ingersoll Park, they had several concerns. 	
Major Discussion Items	
<ul style="list-style-type: none"> Updates were given: Sidewalk & Trail Plan, The Green, Woodland Eval, Sidewalk and Trail Plan, Scoreboards at Ingersoll. Concert Update, the May concert was rescheduled to August 13, Morgan is still looking for a food truck. There is a concert on June 25. Kathy, Frances and Mike will be a subcommittee for working on programs. 	

Next Meeting	Tuesday, July 15, 2025
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NOTE: This form notes significant highlights from a public board or commission meeting; it does not supplement or replace the official minutes of the meeting. Minutes are posted on the Township's website on the "Meetings" page. This form is included in the Board of Supervisor's meeting packet, which also is posted on the "Meetings" page.