

RECORDER OF DEEDS:

Recorded in the office of Recorder of Deeds for Montgomery County, at Norristown, Pennsylvania, this ______day of _____, 20_____, 20_____.

MCPC No.:

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in ac-cordance with the Municipalities Planning Code.

Montgomery County Planning Commission

Certified this date:

For the Director

By ______ Recorder of deeds:

RECORDING NOTE:

COVER SHEET - RECORD PLAN (Sheet 1) & SUBDIVISION - RECORD PLAN (Sheet 2) to be recorded with the Montgomery County Recorder of Deeds. Plan Sheets 1 through 25 of 25 (Inclusive), on record with Lower Gwynedd Township, shall be considered a part of the approved Final Plan as if recorded with same.

PROJECT SCOPE:

This Application is for the construction of a total of Six (6) New Dwellings and One (1) Existing and the consolidation and re-subdivision of Block 18 Unit(s) 28, 28 & 70.

COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONTGOMERY

On this day of , 20 , before me the subscriber, a Notary Public in and for the said County and State, personally appeared

of the said ______, who being duly sworn according to law says that the said corporation is the owner of record of the property(s) shown on this plan, that the subdivision of land development plan hereof was made at the directions of the corporation, that he/she acknowledges the same to be hereored at the corporation and plan and device the corporation of the corporation. to be the corporation's act and plan and desires the same to be recorded as such according to law and that all streets, open space contained in lot numbers and all other public improvements shown and not heretofore dedicated are hereby dedicated to the public use.

Secretary

Sworn and subscribed to before me this _____ day of ______ , 20 ___

Notary Public

My commission expires

APPROVAL ACKNOWLEDGEMENTS:

BOARD OF SUPERVISORS CERTIFICATE At the meeting held on this____day of _____ 20__, the Board of Supervisors of Lower Gwynedd Township by Resolution duly enacted and approved the Subdivision/ Land Development Plan of the property of _____ as shown hereon.

Chairman of the Board of Supervisors

Township Secretary

_____ as show

Township Seal

PLANNING COMMISSION CERTIFICATE

Reviewed by the Lower Gwynedd Township Planning Commission and recommended for approval on this_____day of ______ 20___,

Planning Commission Chairman:

TOWNSHIP ENGINEER CERTIFICATE

Township Engineer

PROJECT SHEET INDEX

SHEET No.:	SHEET DESCRIPTION:
1 of 25	COVER SHEET – RECORD PLAN
2 of 25	SUBDIVISION – RECORD PLAN
3 of 25	EXISTING FEATURES PLAN
4 of 25	GRADING and DRAINAGE PLAN — A
5 of 25	GRADING and DRAINAGE PLAN — B
6 of 25	UTILITIES LAYOUT PLAN – A
7 of 25	UTILITIES LAYOUT PLAN – B
8 of 25	PLAN and PROFILE: CEDAR HILL ROAD — 1
9 of 25	PLAN and PROFILE: CEDAR HILL ROAD — 2
10 of 25	EROSION and SEDIMENTATION CONTROL — A
11 of 25	EROSION and SEDIMENTATION CONTROL - B
12 of 25	EROSION and SEDIMENTATION CONTROL NOTES
13 of 25	EROSION and SEDIMENTATION CONTROL DETAILS
14 of 25	POST CONSTRUCTION STORMWATER (PCSM) MANAGEMENT PLAN – A
15 of 25	POST CONSTRUCTION STORMWATER (PCSM) MANAGEMENT PLAN – B
16 of 25	POST CONSTRUCTION STORMWATER MANAGEMENT SPECIFICATIONS – 'A'
17 of 25	POST CONSTRUCTION STORMWATER MANAGEMENT SPECIFICATIONS – 'B'
18 of 25	SITE LANDSCAPE & LIGHTING DESIGN – A
19 of 25	SITE LANDSCAPE & LIGHTING DESIGN – B
20 of 25	PROJECT CONSTRUCTION DETAILS – SHEET 'A'
21 of 25	PROJECT CONSTRUCTION DETAILS – SHEET 'B'
22 of 25	PROJECT CONSTRUCTION DETAILS – SHEET 'C'
23 of 25	PROJECT CONSTRUCTION DETAILS – SHEET 'D'
24 of 25	PLAN and PROFILE: CROSS-LOT UTILITIES (RESERVED)
25 of 25	PLAN and PROFILE: CROSS-LOT UTILITIES (RESERVED)



Reviewed by the Township Engineer on this _____day of ______ 20___,

SURVEYOR'S CERTIFICATION

I hereby certify that the plan shown and described hereon, as well as all drawings bearing my seal, are true and correct to the accuracy required by the Lower Gwynedd Township Subdivision and Land Development Ordinance and were prepared by me orunder my direction and for which I accept full responsibility. The perimeter monuments shall be accurately placed as required by the Township.

Date:

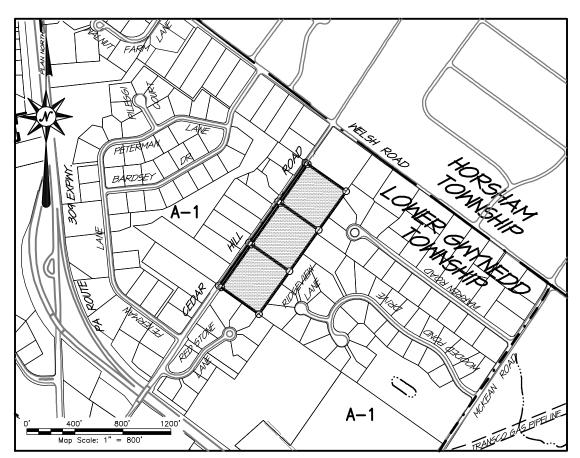
Lic. no:

Lic. no:

Signature: ENGINEER'S CERTIFICATION

Signature

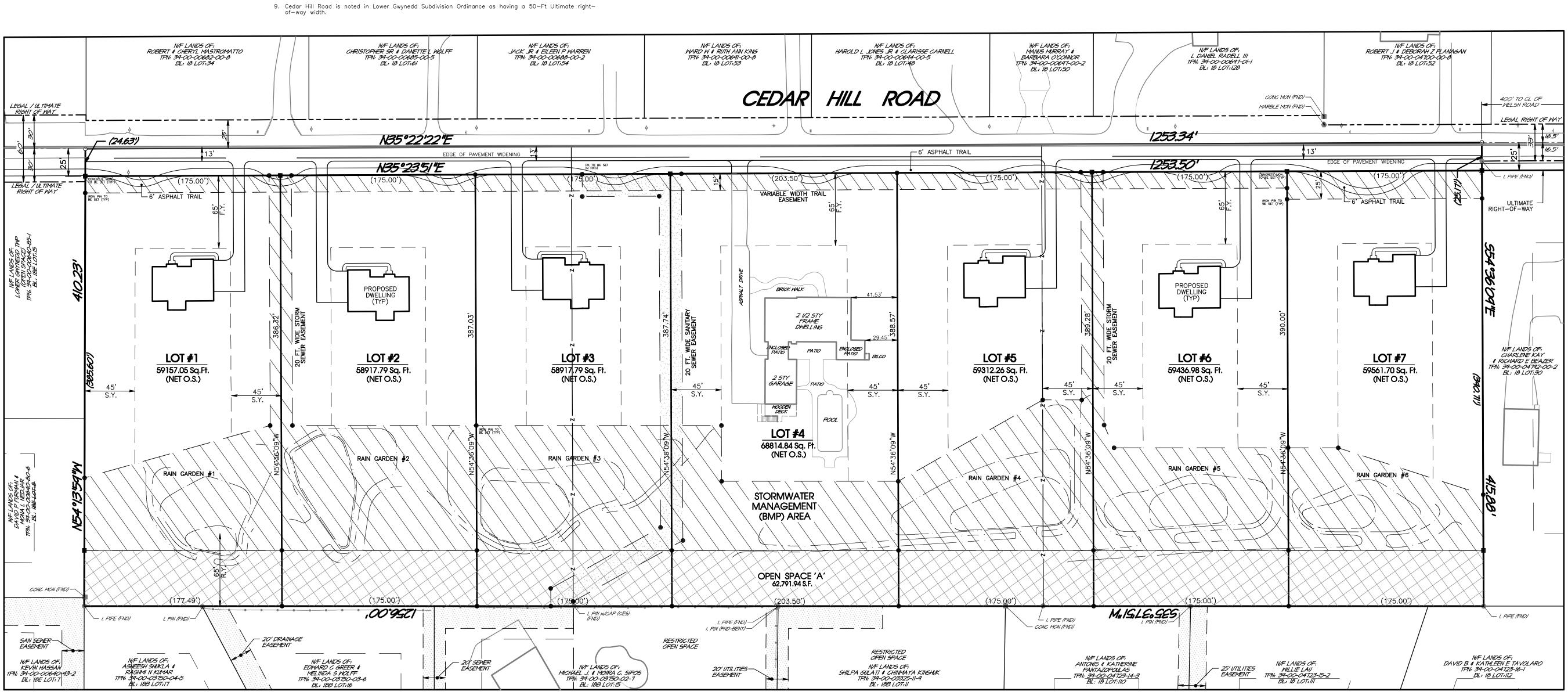
I, TIMOTHY P. WOODROW, P.E. , do hereby certify that I am a Registered Professional Engineer, licensed in compliance with the laws of the Commonwealth of Pennsylvania; that this plan was prepared by myself or under my supervision and that said plan complies with all ordinances and regulations of the Township.



LOCATION MAP

BASE EXISTING FEATURES AND SURVEY NOTES:

- The metes and bounds illustrated on this plan was prepared from documents of record and with benefit of Title Reports by Fidelity National Title Insurance Company, Commitment Numbers 245702LAFS, 245731LAFS & 245713LAFS with Effective Dates of October 22 & 23 of 2018. All Data shown verified from actual field survey in May, 2019. All Bearings shown reflect a -08 deg. 08 min. 38 sec. clockwise rotation from Deed Bearing Basis to Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
- All topographic and existing features illustrated on this plan were prepared by site field survey during the month of May, 2019. Site Benchmark is a sanitary manhole #7230 located within Cedar Hill Road having a rim elevation of 379.37. Site datum is referenced per note 3c below.
- 3. This plan and survey were prepared utilizing the following references: a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
- b. Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (http://websoilsurvey.sc.egov.usda.gov/) unless otherwise noted.
- c. Vertical datum references provided by the PA Spacial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD88 vertical datum. Flight date was Spring 2008, updated by DVRPC flight 2010.
- d. Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated March 19, 2019.
- 4. There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils at the time of the site survey.
- 5. This site is located within Flood Plain Zone 'X' (areas determined to be outside the 0.2% annual chance floodplain) as illustrated on Community Panel Number 42091-C-0279G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan.
- 6. All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
- 7. Existing subsurface utility information illustrated on these plans is based upon visual field locations obtained as part of site survey. The information provided is representative of subsurface conditions only at locations and depths where such information was available. Utility information shown should not be relied upon for construction, it is incumbent upon the contractor to verify subsurface utilities prior to excavation.
- 8. Subject property is Zoned 'A-1' as noted on the official Zoning Map for this municipality. of-way width.



[3] Zoning Relief Required

Item:	Section:	Requirement:	Provided:
Permitted Use	1258.02.(b)	Single-Family Detached Dwelling	
Min. Lot Area:	1258.03(a)(3)	35,000 S.F. [1]	>20,700 S.F.
Max. Density:	1258.03(b)	0.9 DU/Dev. Acre	1.1 DU/Dev. Acre (12 DU)
Min. Lot Width:	1258.03(c)	175 Ft.	>126 Ft.
Min. Front Yard:	1258.04(a)	65 Ft.	>45 Ft.
Min. Side Yard:	1258.04(b)	45 Ft. Each	29.45 Ft. [3]
Min. Rear Yard:	1258.04(c)	65 Ft.	>54 Ft.
Max. Building Coverage:	1258.05(a)(3)	20 % [1]	<25 %
Max. Impervious Coverage:	1258.05(b)(1)	25 %	<35 %
Max. Building Height:	1258.06(a)	45 Ft. & 2.5 Stories	<45 Ft. & 2.5 Stories
Min. Off-Street Parking:	1258.07(a)	2 Spaces	>2 Spaces
Required Open Space:	1258.09(c):	10% of Dev. Area+Nondev. Area (11.18*0.1+0.7165=1.8346 Ac.)	1.4415 Ac.

PLAN	LEGEND
0	Tract Boundary Line
	Existing Right-of-Way Line
	Evisting Pight of Way Contarli

- ---_____ – ____ – ____ Existing Right-of-Way Centerline ------ Z -------- Existing Parcel Line To Be Removed

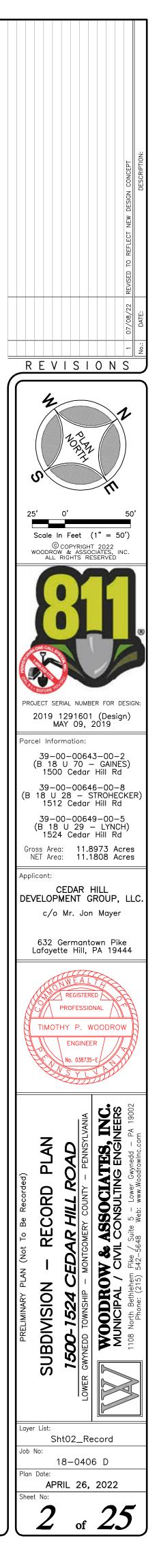
GENERAL PLAN NOTES

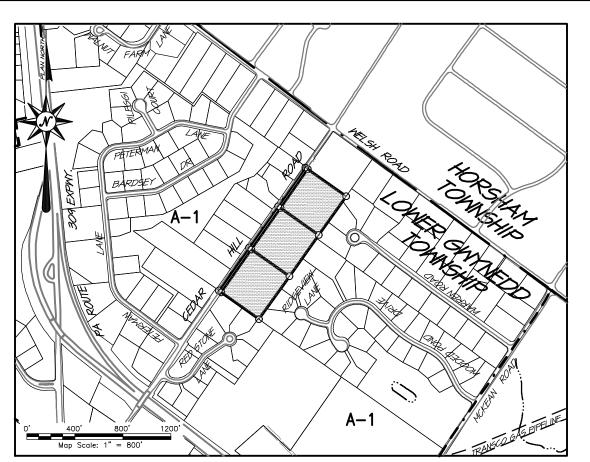
- BASE DEVELOPMENT NOTES 10. The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- 11. Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work. 12. The area between the project Title Line and the Ultimate Rights-of-Way is/are offered in perpetuity
- for dedication to the agency having jurisdiction over said right-of-way at time of dedication. 13. This project shall be served by public sanitary sewer by Lower Gwynedd Township and water services
- by North Wales Water Authority. 14. Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm
- water easement except lawns or suitable low ground cover. 15. Construction materials and procedures shall follow Pennsylvania Department of Transportation Spec-ifications and Standard Drawings (latest edition).
- 16. Any/all storm water conveyance system(s) and rain garden facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- 17. Common Open Space shall not be separately sold and shall not be futher developed or subdivided. 18. The Common Open Space illiustrated on this plan shall be owned and maintained by an established Home Owners Association.

ZONING DATA SCHEDULE

WAIVERS REQUESTED

- The applicant is seeking waivers from the following Lower Gwynedd Township Subdivision and Land Development Ordinance Sections: 1. Section 1230.45.(a):
- Requires that sidewalk be provided along both sides of existing and new streets. Whereas, the applicant is proposing a paved trail across the frontage of the subject property and no sidewalk along the proposed private roads. 2. Section 1230.60.(b):
- Requires that driveway aprons be constructed at all private driveways and within residential areas. Whereas, the applicant is not proposing any driveway aprons. 3. Section 1230.61.(a):
- Requires that curbs shall be provided along both sides of all existing and pro-posed streets. Whereas, the applicant is not proposing any curbing. 4. Section 1230.42.(i):
- To allow 105 replacement tree equivalents to be planted on site in lieu of the 310 replacement trees required. 5. Section 1241.401(n):
- Requires a minimum pipe diameter of 18", whereas 12" is proposed from the Rain Garden Outlet pipes and 15" within the right of way of Cedar Hill Road.

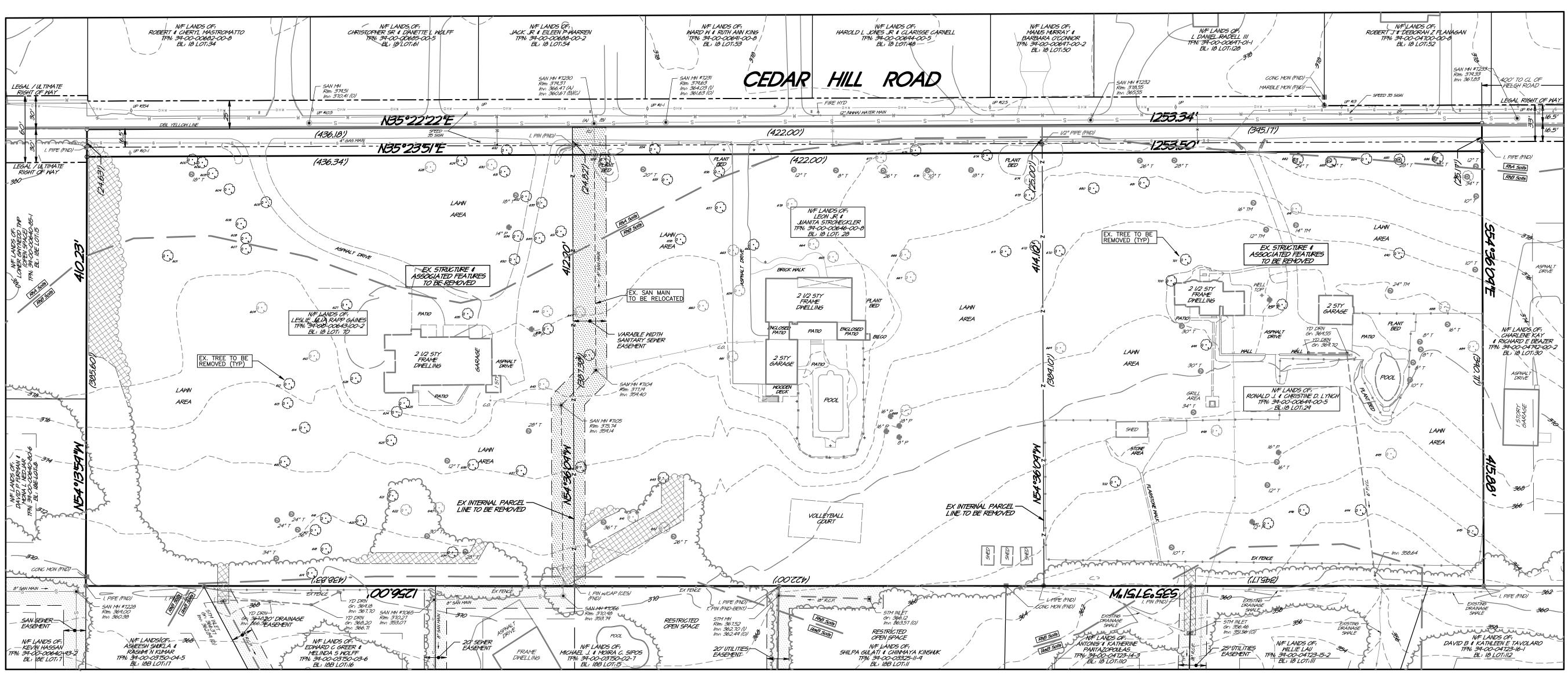




LOCATION MAP

GENERAL PLAN NOTES

- BASE EXISTING FEATURES AND SURVEY NOTES:
- The metes and bounds illustrated on this plan was prepared from documents of record and with benefit of Title Reports by Fidelity National Title Insurance Company, Commitment Numbers 245702LAFS, 245731LAFS & 245713LAFS with Effective Dates of October 22 & 23 of 2018. All Data shown verified from actual field survey in May, 2019. All Bearings shown reflect a -08 deg. 08 min. 38 sec. clockwise rotation from Deed Bearing Basis to Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
- 2. All topographic and existing features illustrated on this plan were prepared by site field survey during the month of May, 2019. Site Benchmark is a sanitary manhole #7230 located within Cedar Hill Road having a rim elevation of 379.37. Site datum is referenced per note 3c below.
- 3. This plan and survey were prepared utilizing the following references: a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
- b. Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (http://websoilsurvey.sc.egov.usda.gov/) unless otherwise noted.
- c. Vertical datum references provided by the PA Spacial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD88 vertical datum. Flight date was Spring 2008, updated by DVRPC flight 2010.
- d. Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated March 19, 2019.
- 4. There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils at the time of the site survey.
- 5. This site is located within Flood Plain Zone 'X' (areas determined to be outside the 0.2% annual chance floodplain) as illustrated on Community Panel Number 42091-C-0279G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan.
- 6. All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
- 7. Existing subsurface utility information illustrated on these plans is based upon visual field locations obtained as part of site survey. The information provided is representative of subsurface conditions only at locations and depths where such information was available. Utility information shown should not be relied upon for construction, it is incumbent upon the contractor to verify subsurface utilities prior to excavation.
- 8. Subject property is Zoned 'A-1' as noted on the official Zoning Map for this municipality. 9. Cedar Hill Road is noted in Lower Gwynedd Subdivision Ordinance as having a 50-Ft Ultimate rightof—way width.



REFER TO LANDSCAPE PLAN 'B' (SHEET 19) FOR TREE INVENTORY

|--|

o o	Tract Boundary Line
	Existing Right-of-Way Line
	Existing Right-of-Way Centerline
	Existing Topographic Contour
RsB	Existing Soil Series Limits
	Existing Woodlands Dripline

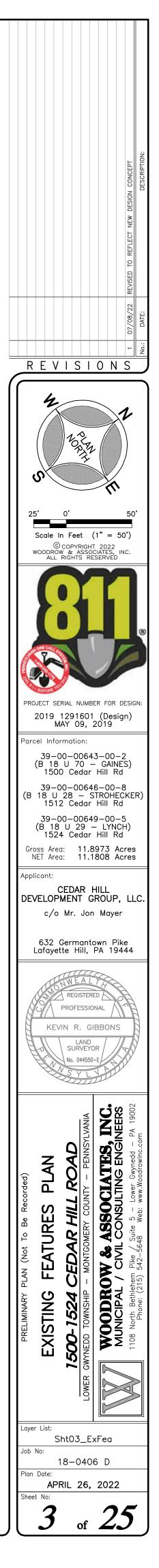
line	_
c 111 1 ·	_
f-Way Line	5-
-Way Centerline	<i>GV</i> ────G-
phic Contour	<i>₩</i> /
ies Limits	
ds Dripline	

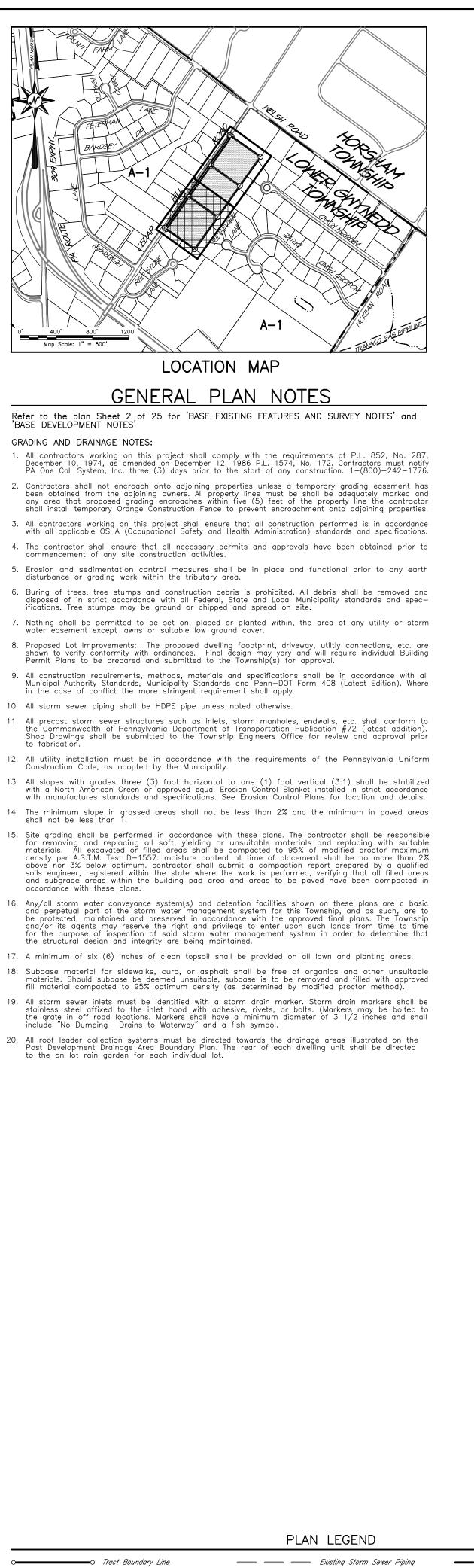
_____G____ Existing Gas Main ------ Existing Fence Line

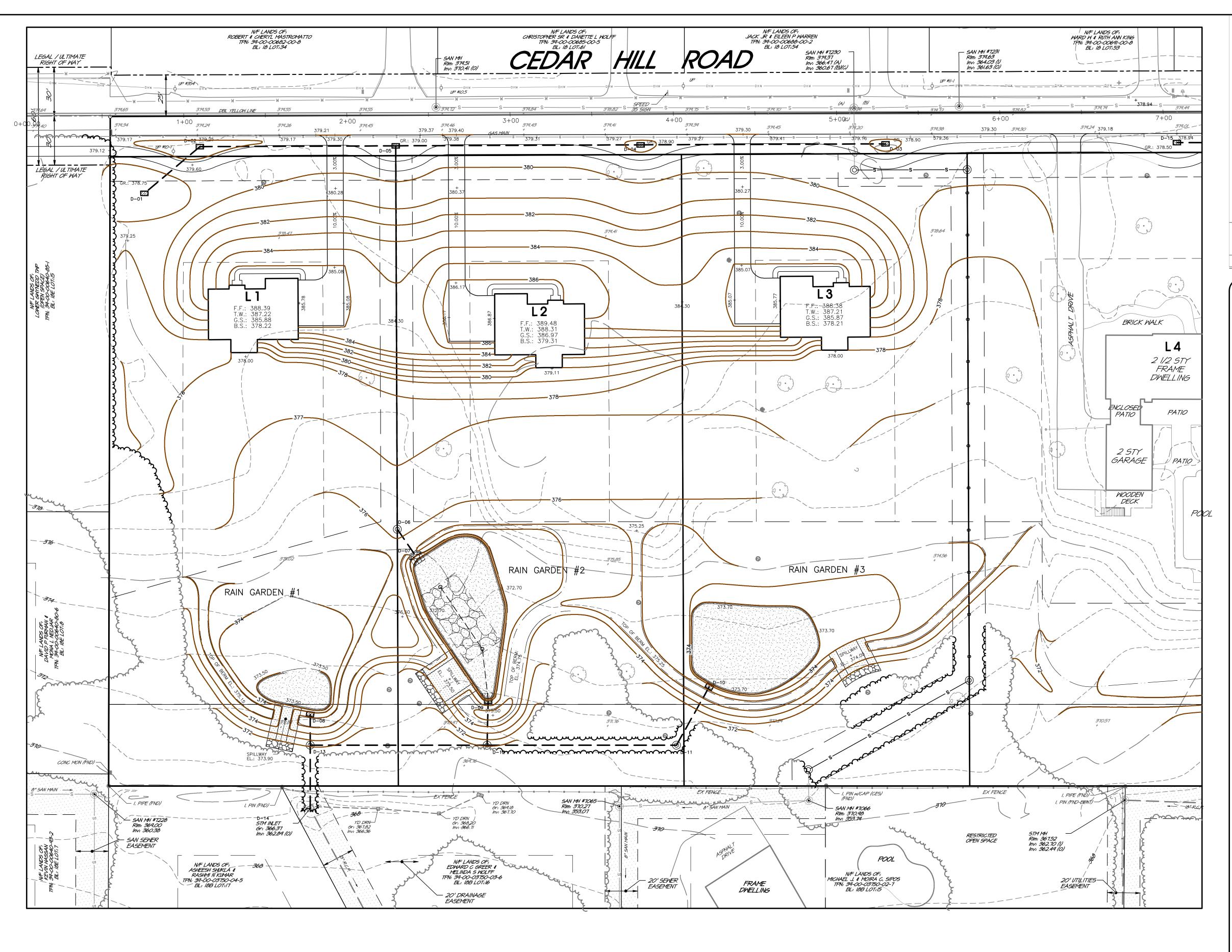
----- Existing Storm Sewer Piping

	PR	OJECT SOILS DATA	
Soils Type:	Slopes:	Depth to Restrictive Feature:	C Wa
RhA Reaville silt Ioam	0 to 3 percent	20–40" to Lithic Bedrock	6
RhB Reaville silt Ioam	3 to 8 percent	20–40" to Lithic Bedrock	6
UusB Urban land—Udorthents shale & sandstone	0 to 8 percent	20–99" to Lithic Bedrock	М

		'I	AREA SCHED		۲·		
	Unit 70:		Unit 28:		∟. Unit 29:		TOTAL:
Gross Parcel Area:	179,907.91 S.F.	+	 174,347.85 S.F.	+	 163,990.08 S.F.	=	518,245.84 S.F.
Legal Right of Way:	7,077.77 S.F.	+	6,924.66 S.F.	+	6,553.82 S.F.	=	20,556.25 S.F.
Ultimate Right of Way:	3,708.65 S.F.	+	3,586.97 S.F.	+	3,358.92 S.F.	=	10,654.54 S.F.
NET Parcel Area:	169,121.49 S.F.	+	163,836.22 S.F.	+	154,077.34 S.F.	=	487,035.05 S.F.
Existing Buildings:	4,390 S.F.	+	5,455 S.F.	+	2,718 S.F.	=	12,563 S.F.
Existing Paving:	7,340 S.F.	+	3,788 S.F.	+	5,176 S.F.	=	16,304 S.F.
Existing Hardscape:	1,718 S.F.	+	4,372 S.F.	+	4,910 S.F.	=	11,000 S.F.
TOTAL Existing Impervious:	13,448 S.F.	+	13,615 S.F.	+	12,804 S.F.	=	39,867 S.F.
TOTAL EXIS	TING IMPERVIO	SUS	S TO BE RE	МΟ	VED: 39,8	67	S.F.







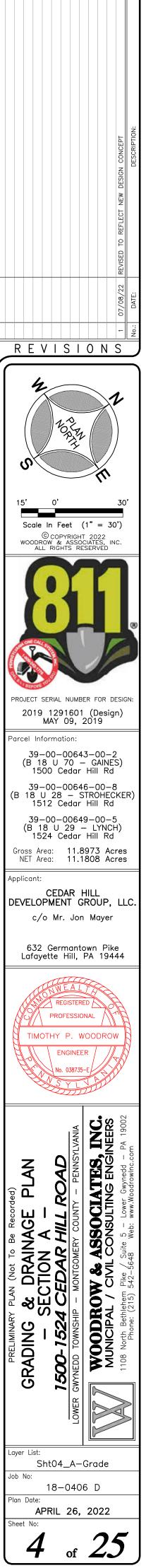
- - - Existing Right-of-Way Line _____ – ____ – ____ Existing Right-of-Way Centerline - _____ Existing Topographic Contour RsB Existing Soil Series Limits

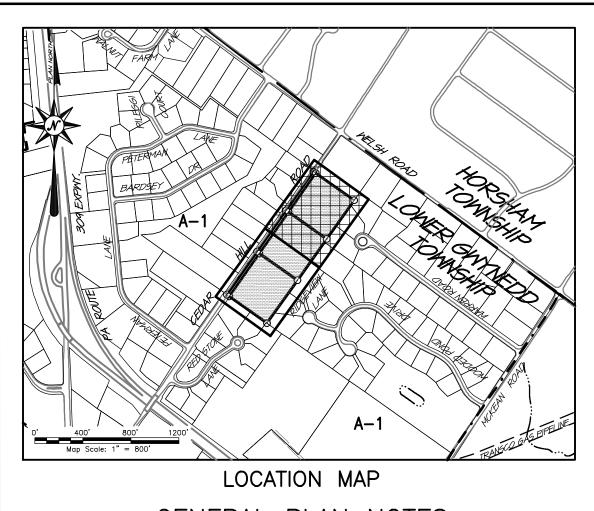
Existing Woodlands Dripline

GV →→G G Existing Gas Main

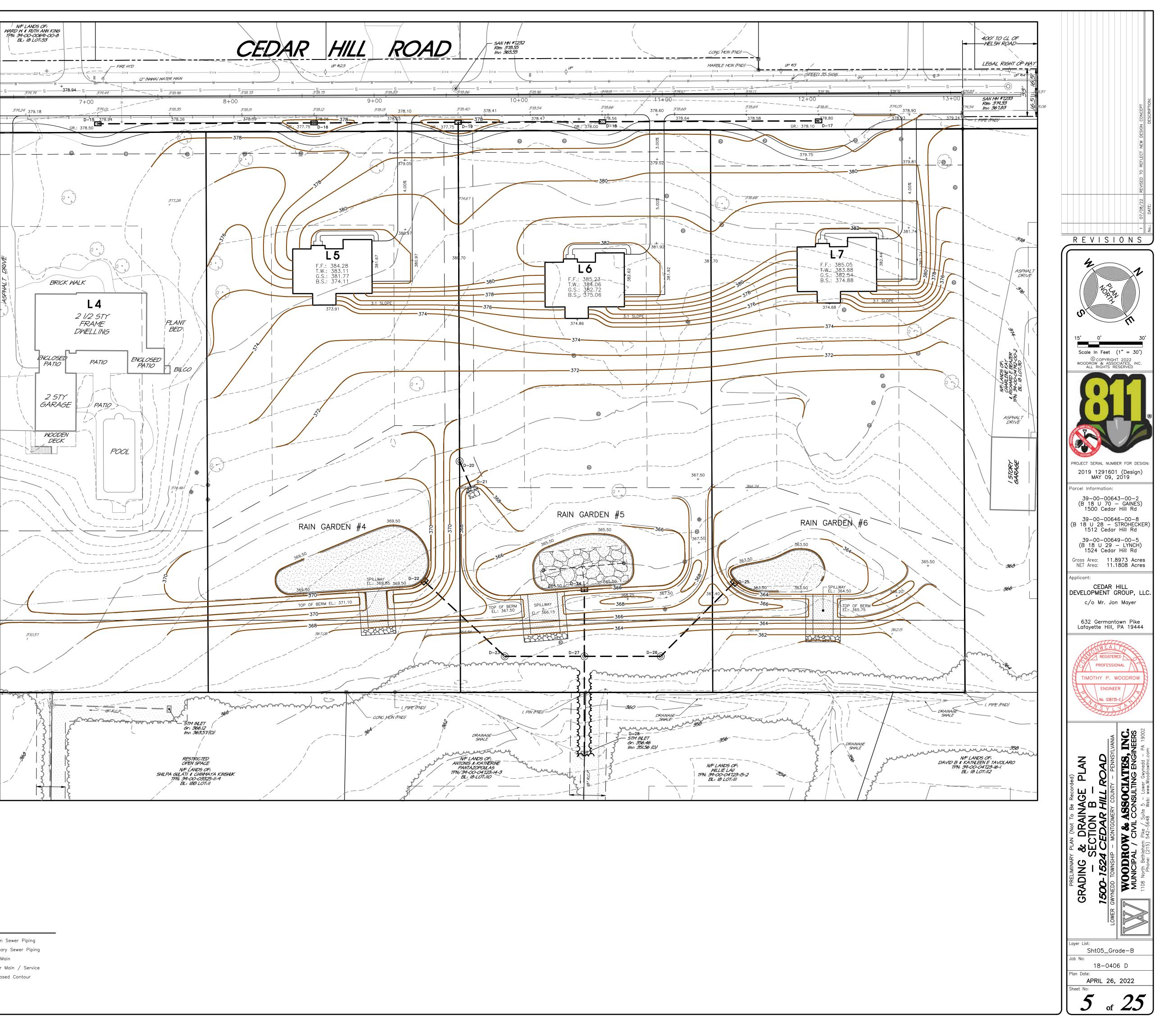
---- Storm Sewer Piping _____G_____G____ Gas Main ——w——w—— Water Main / Service Proposed Contour

------- Existing Fence Line





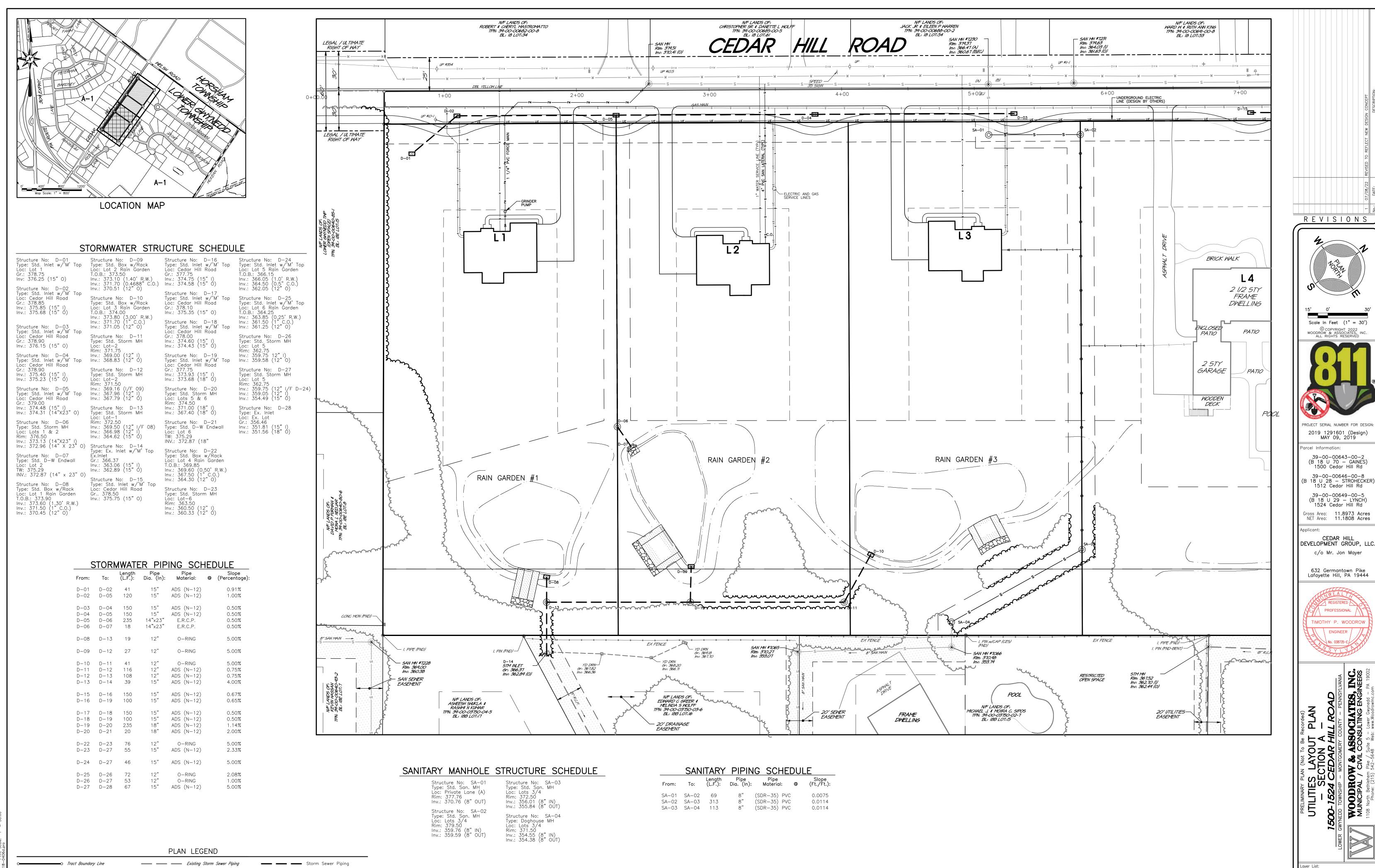
GENERAL PLAN NOTES Refer to the plan Sheet 2 of 25 for 'BASE EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES' Refer to the plan Sheet 4 of 25 for 'BASE CONSTRUCTION DESIGN NOTES'.



- Tract Boundary Line **_ ____ _ _ _ _** Existing Right-of-Way Line _____ – ____ – ____ Existing Right-of-Way Centerline _____ Existing Topographic Contour ReB Existing Soil Series Limits AbA Existing Woodlands Dripline

PLAN LEGEND ----- Existing Storm Sewer Piping WV Existing Water Main / Service

----- Storm Sewer Piping _____G_____ Gas Main ——w——w—— Water Main / Service ----- Proposed Contour



- - - Existing Right-of-Way Line ------ Existing Right-of-Way Centerline -_____ Existing Topographic Contour

 RsB
 Existing Soil Series Limits

 AbA
 Existing Woodlands Dripline

GV G-----G---- Existing Gas Main ------------------------------- Existing Fence Line

W Existing Water Main / Service

——G———G—— Gas Main —____W____W____Water Main / Service ----- Proposed Contour ——E———E—— Electric Service Line

From:	To:	(L.F.):	Dia. (In):	Material:	0	(Ft./Ft.):
SA-02	SA-02 SA-03 SA-04	69 313 113	8"	(SDR-35) PVC (SDR-35) PVC (SDR-35) PVC		0.0075 0.0114 0.0114

Sht06_A–Utility

18-0406 D

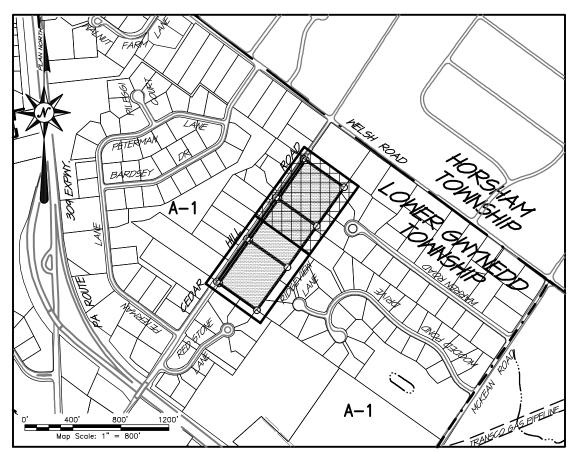
APRIL 26, 2022

6 of 25

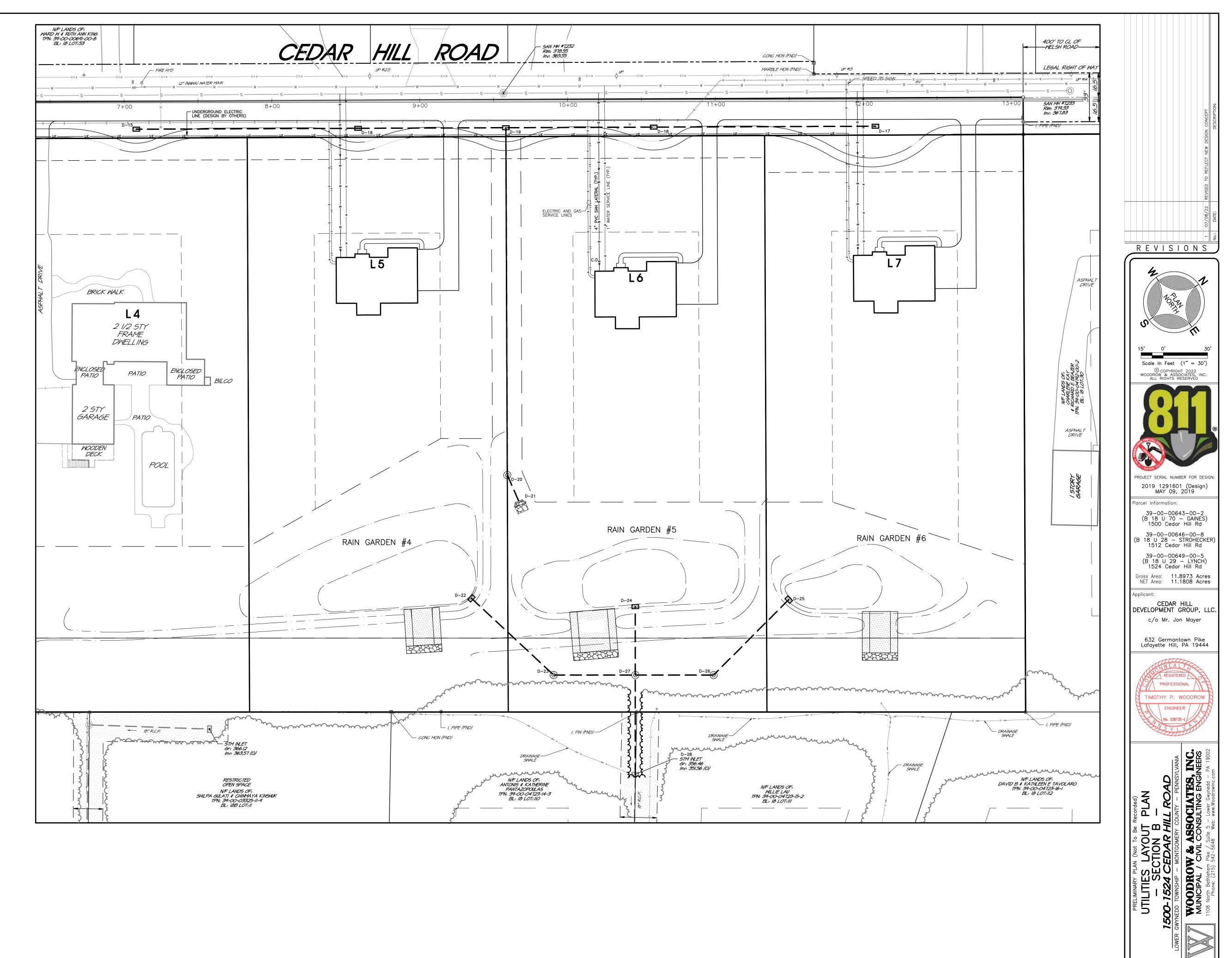
b No:

an Date:

heet No:



LOCATION MAP



ayer List:

ob No:

an Date:

Sheet No:

Sht07_Utility–B

18-0406 D

APRIL 26, 2022

7 of 25

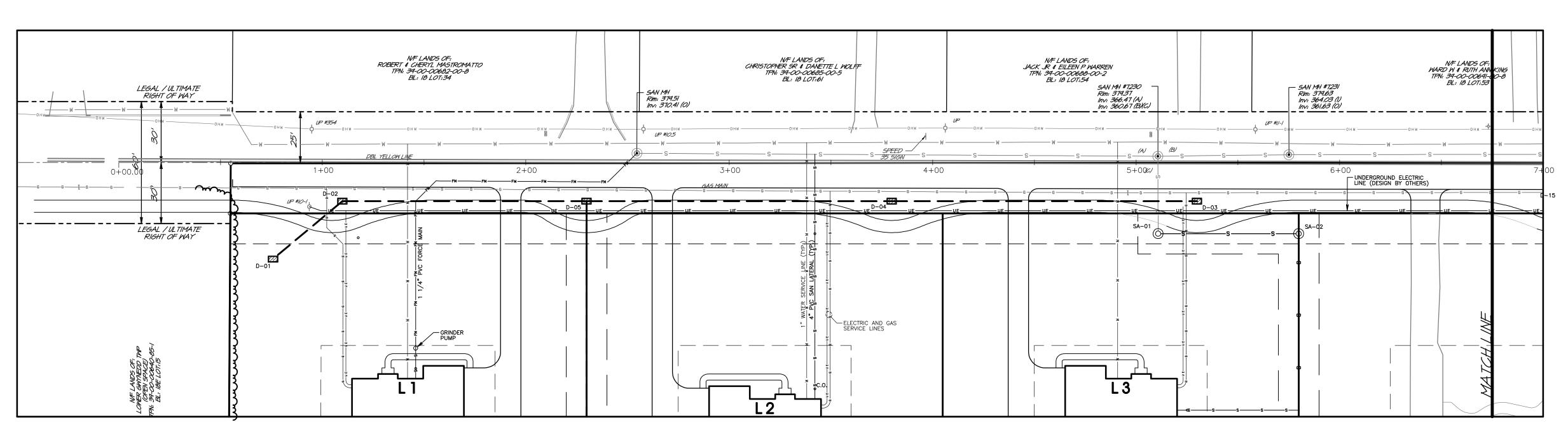
 Tract Boundary Line - - - Existing Right-of-Way Line _____ Existing Topographic Contour
 RsB
 Existing Soil Series Limits

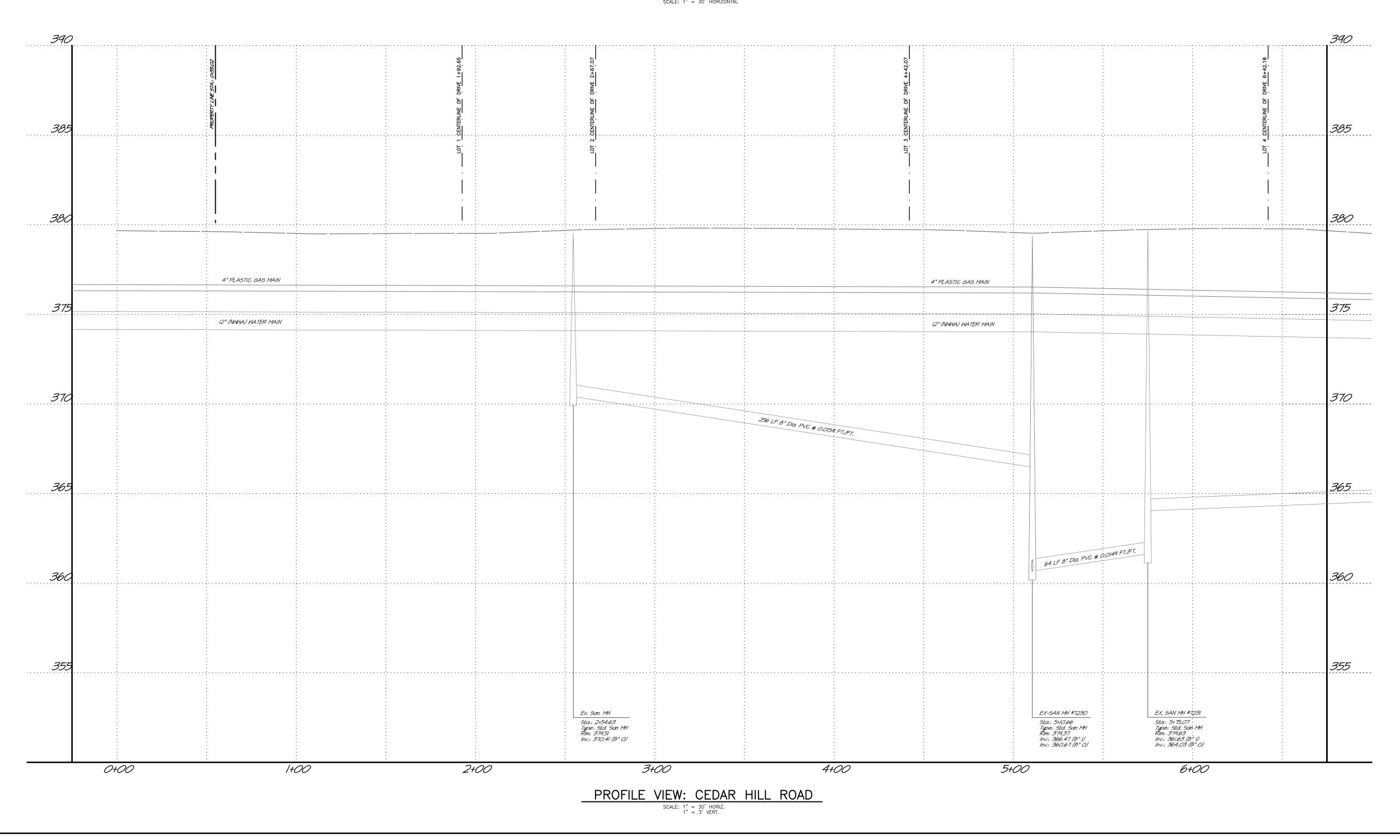
 AbA
 Existing Woodlands Dripline

PLAN LEGEND ----- Existing Storm Sewer Piping GV G-----G----- Existing Gas Main

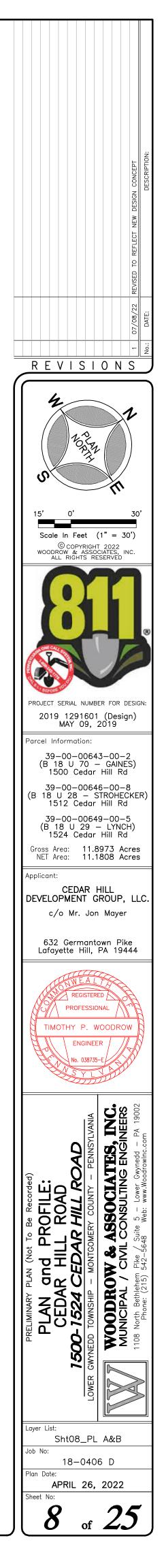
_____G_____G____ Gas Main ----- Proposed Contour

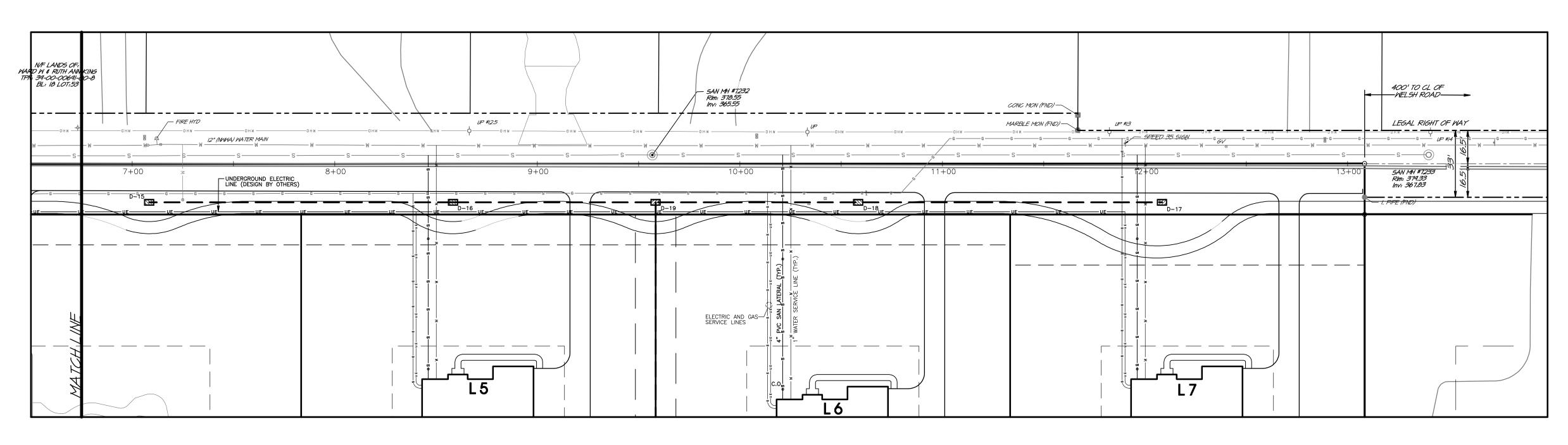
---- Storm Sewer Piping ——w——w—— Water Main / Service ——E———E—— Electric Service Line

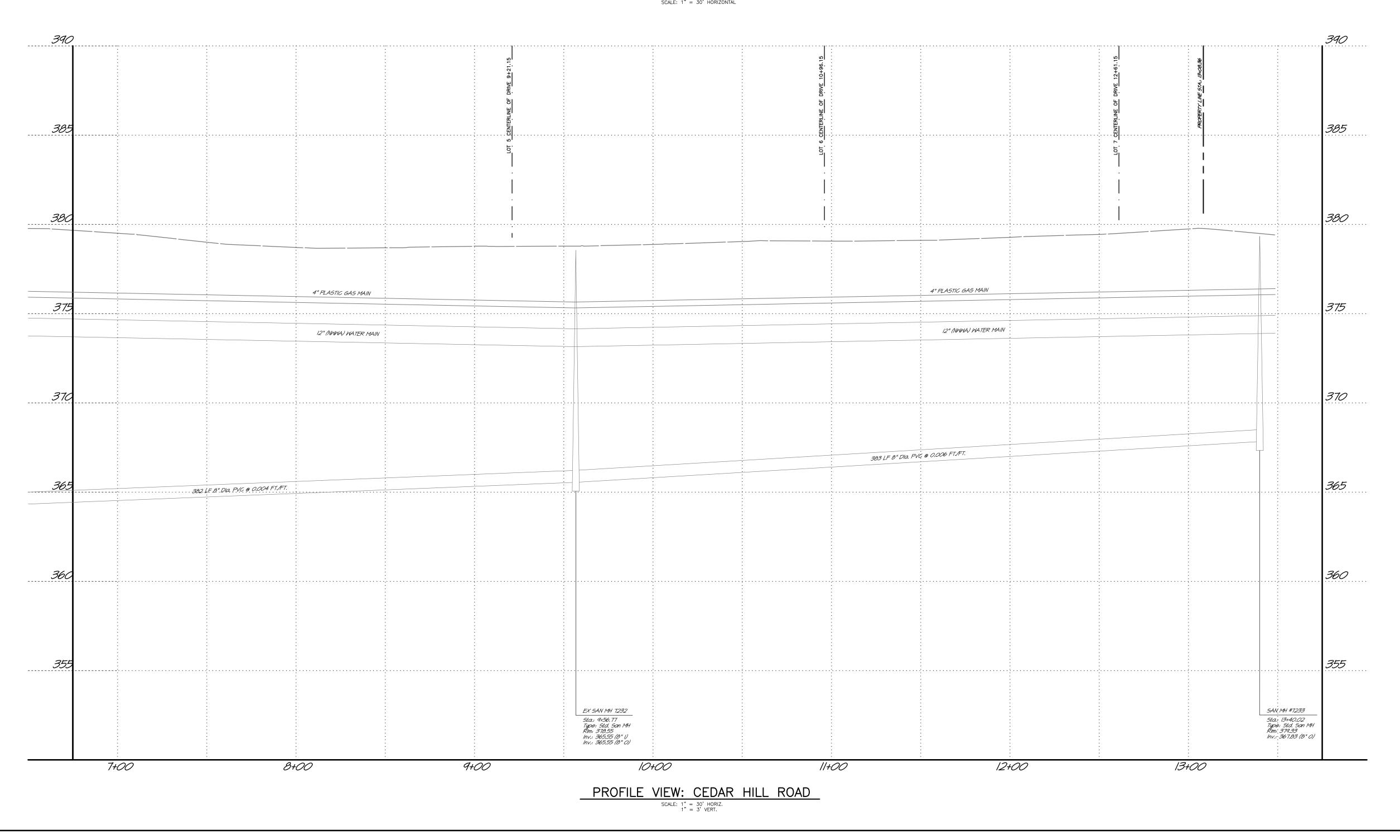




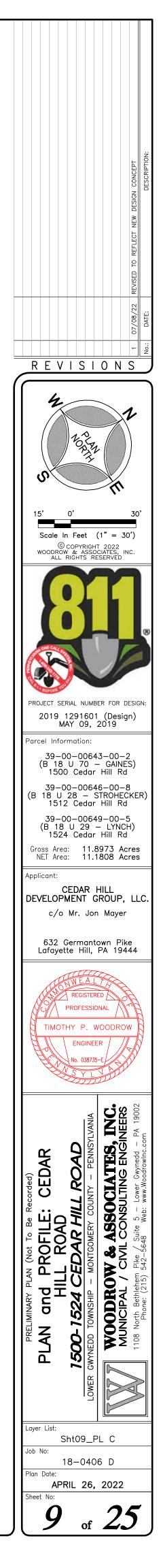
Date: Jul 27, 2022 (9:33) Print Scale: 1" = 30.0 me: G:\2018\18-0406D\18-0406d pro PLAN VIEW: CEDAR HILL ROAD SCALE: 1" = 30' HORIZONTAL



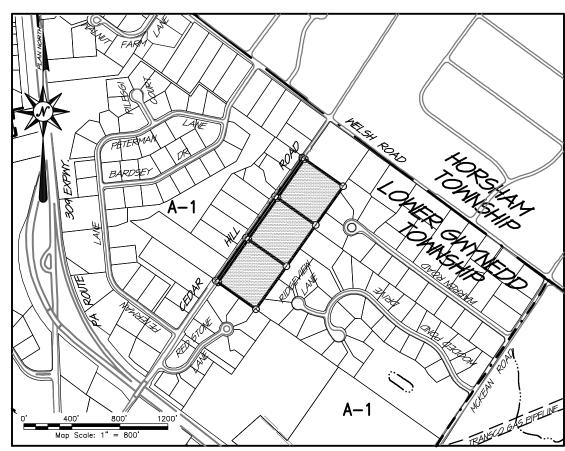




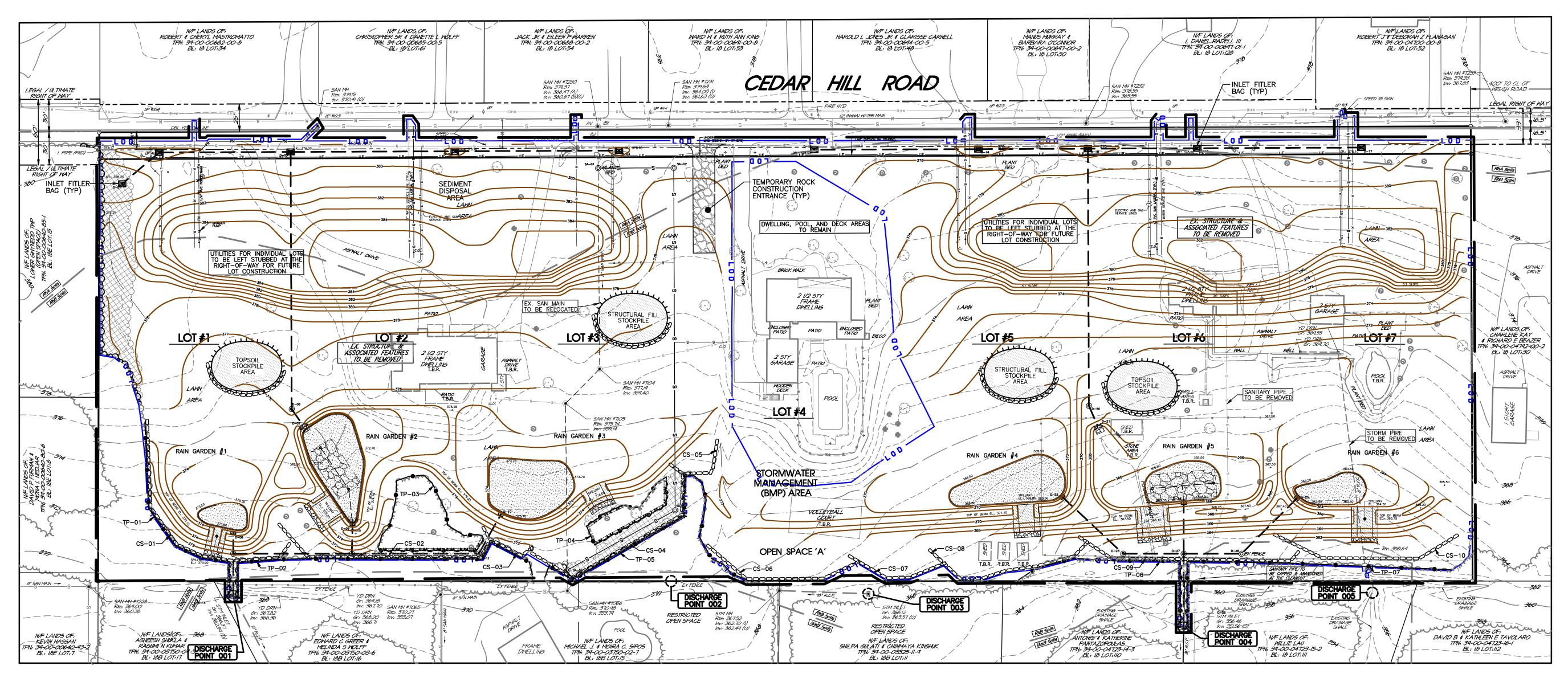
Date: Jul 27, 2022 (9:33) Print Scale: 1" = 30. sme: G:\2018\18-0406D\18-0406d.pro



PLAN VIEW: CEDAR HILL ROAD SCALE: 1" = 30' HORIZONTAL



LOCATION MAP



PROJECT	SOILS	DATA

Soils Type:	Slopes:	Depth to Restrictive Feature:	Depth to Water Table:
RhA Reaville silt Ioam	0 to 3 percent	20-40" to Lithic Bedrock	6 to 36"
RhB Reaville silt Ioam	3 to 8 percent	20–40" to Lithic Bedrock	6 to 36"
UusB Urban land-Udorthents shale & sandstone	0 to 8 percent	20–99" to Lithic Bedrock	More than 80"

to able:	Hydrologic Soil Group:
56"	D
36"	D
nan	А

D		
A		
	_	
Fæ	S I FGEND	

EQ3 LEGEND					
222	Proposed Final Contour				
<u> </u>	Temp E&S Contour				
	Tree Protection Fencing				
	Temp Compost Filter Sock				
	Temp Filter Fabric Fencing				
LOD —	Earth Disturbance Limit				
	Temp Inlet Protection				

SEE RECORD PLAN FOR ALL EXISTING FEATURES AND GENERAL DEVELOPMENT NOTES. EROSION CONTROL DESIGN:

- natural drainage features.
- soil in this location.
- 5. Any proposed impervious areas, Rooftops, Pavement and Sidewalk areas, Etc., have the potential to increase thermal impacts to the watershed. Through the use of the proposed BMPs identified on the Plan and specifications for this Project, runoff is captured, slowed, and cooled to the greatest extent possible; thereby reducing the potential for thermal impacts to the watershed as much as possible. 6. There are no naturally occurring geologic conditions on—site that could potentially cause pollution. All Erosion and Sedimentation Controls (Sedimentation Basin(s), Compost Socks, Etc.) are proposed around the project site in an effort to minimize any construction related pollution from leaving the site.

o	Tract Boundary Line
	Existing Right-of-W
	Existing Right-of-W
	Municipal Boundary
`\\$\ \$\\$\	Existing Zoning Bou
	Existing Topographic
AbA	Existing Soil Series
sille sille	Mapped Wetlands Lii

-Way Line -Way Centerline Line Indarv Contour Limits imit

PLAN LEGEND

----- Existing Storm Sewer Piping →G--G----- Existing Gas Main Existing Woodlands Dripline

GENERAL PLAN NOTES

- 1. The Erosion & Sedimentation Control Plan shall minimize the extent and duration of earth disturbance to the greatest extent possible by outlining an efficient construction sequence to complete the proposed improvements as quickly as possible while utilizing the following Erosion and Sedimentation Controls, as shown and detailed on the plan, to minimize any sediment—laden runoff during construction; Sediment Basin, Compost Filter Socks, Inlet Filter Bags, and Rock Construction Entrances.
- 2. The Erosion & Sedimentation Control Plan shall maximize protection of existing drainage features and vegetation to the greatest extent possible by outlining the Limit of Disturbance to avoid impact to any
- 3. The Erosion & Sedimentation Control Plan shall minimize soil compaction to the greatest extent possible by minimizing traffic within the area of any utilized Sediment Basin, Sediment Trap, or similiar BMP once it is constructed and functioning in an effort to preserve natural infiltration rates for Post-Construction conversion. Soil compaction shall also be avoided by loosening the subsoil to a depth of 3 to 5 inches to permit the bonding of topsoil to the surface areas and scarification of 6 to 12 inches for compacted soils prior to seeding. Fencing off of infiltration areas may be implemented as noted on the plans or in the provided Construction Sequence.
- 4. The Erosion & Sedimentation Control Plan outlines controls to prevent and/or minimize the generation of increased stormwater through the use of a Perforated Riser Pipe within the Sediment Basin (if applicable), to capture, slow, and cool runoff while allowing the natural infiltration properties in the
- 7. If bedrock is encountered during the construction of the proposed BMPs, the project engineer shall be consulted to ensure that the proposed BMPs will still function as designed.
- Sediment—laden runoff is an anticipated construction waste. Through the use of the proposed Erosion Control Device outlined on this plan set, sediment—laden runoff has been mitigated and prevented from leaving the project site to the greatest extent possible.
- 9. The project site can be referenced on the AMBLER U.S.G.S. Quadrangle Map.

TOTAL	PROJECT	DISTURBANCE
	10.04	ACRES

PROJECT SITE BOUNDARY: 11.80 ACRES

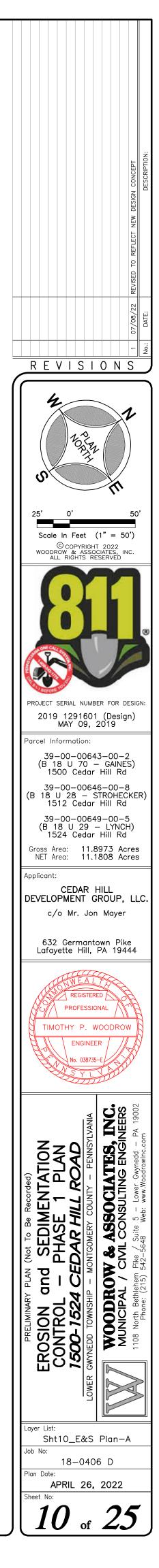
Sock No.	Location	Туре	Sock Size	Slope Length Above Sock	Slope % Above Sock	Sock Length (L.F.)
CS-01	SE corner of project site	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	360 Ft.	2.27%	236
CS-02	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	384 Ft.	2.45%	215
CS-03	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	400 Ft.	1.93%	60
CS-04	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	400 Ft.	2.11%	205
CS-05	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	302 Ft.	2.21%	74
CS-06	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	416 Ft.	2.53%	156
CS-07	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	412 Ft.	2.97%	98
CS-08	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	18"	440 Ft.	3.31%	166
CS-09	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	24"	410 Ft.	4.18%	212
CS-10	along SE property line	Filtrexx Sediment/Perimeter Control (Siltsoxx)	24"	394 Ft.	4.73%	182
Note: additic	onal specifications for each	proposed sock can be found at www.filtrexx.co	m			

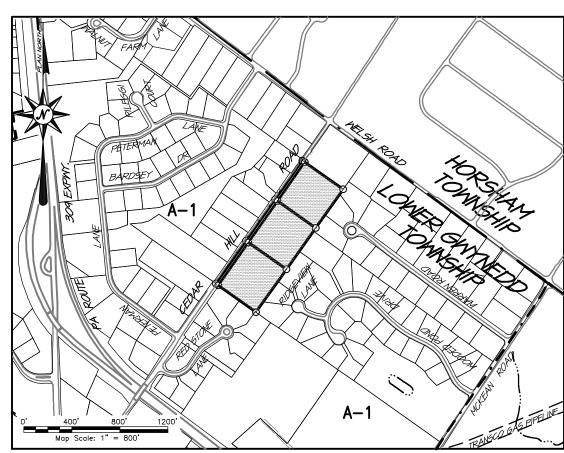
TREE PRO

TP-01 along SE property line 205 TP-05 along SE property line	700
	322
TP-02 along SE property line 325 TP-06 along SE property line 3	215
TP-03 along SE property line 316 TP-07 along SE property line	302
TP-04 along SE property line 210	

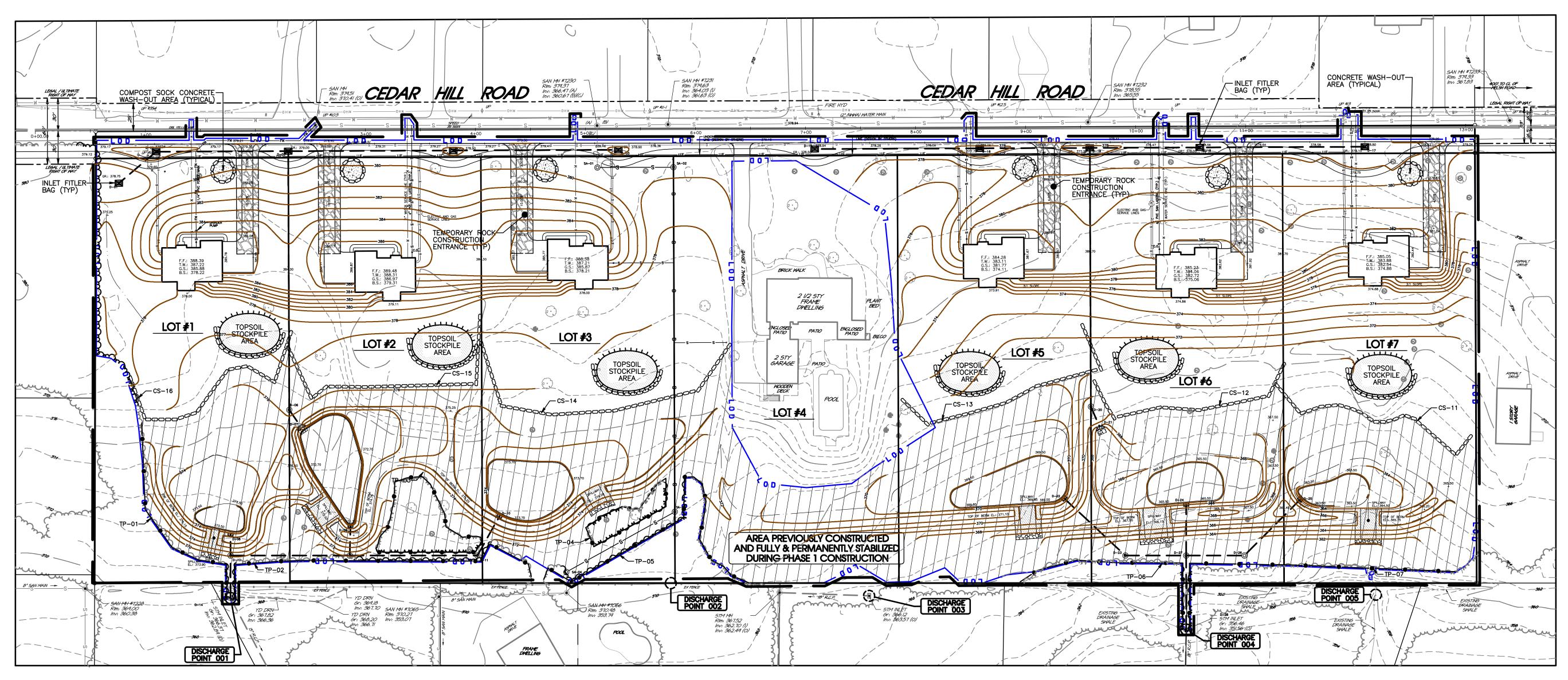
PHASE 1 CONSTRUCTION - COMPOST SOCK SCHEDULE

TECTION	FENCING	SCHEDULE





LOCATION MAP



Sock No.												
CS-11	CS-11 Lot #7 Filtrexx Sediment/Perimeter Control (Siltsoxx) 18" 260 Ft. 4.66% 220											
CS-12	Lot #6	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	252 Ft.	3.92%	220						
CS-13	Lot #5	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	248 Ft.	2.85%	245						
CS-14	Lot #3	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	252 Ft.	1.55%	300						
CS-15	Lot #2	Filtrexx Sediment/Perimeter Control (Siltsoxx)	12"	125 Ft.	6.64%	270						
CS-16	CS-16 Lot #1 Filtrexx Sediment/Perimeter Control (Siltsoxx) 12" 110 Ft. 7.10% 235											
Note: additio	nal specifications for each	n proposed sock can be found at www.filtrexx.co	m		-	Note: additional specifications for each proposed sock can be found at www.filtrexx.com						

Fence No. Location TP-01 along SE property I TP-02 along SE property I TP-03 along SE property I

TP-04 along SE property I

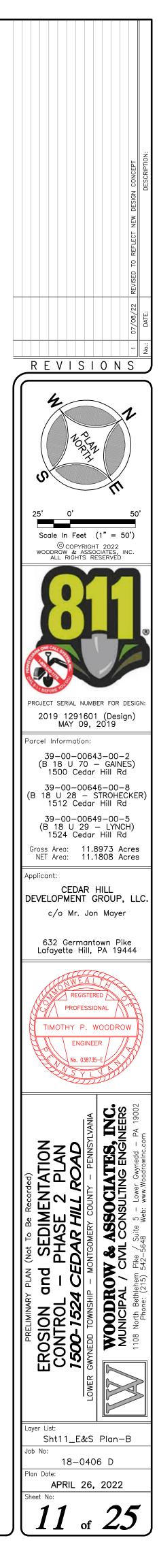
TOTAL PROJECT DISTURBANCE: 10.04 ACRES

PROJECT SITE BOUNDARY: 11.80 ACRES

PHASE 2 CONSTRUCTION - COMPOST SOCK SCHEDULE

TREE PROTECTION FENCING SCHEDULE

	Fence Length (L.F.)	Fence No.	Location	Fence Length (L.F.)
line	205	TP-05	along SE property line	322
line	325	TP-06	along SE property line	215
line	316	TP-07	along SE property line	302
line	210			



STANDARD EROSION CONTROL PLAN NOTES

- 1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those change The reviewing agency may require a written submittal of those changes for review and approval at its discretion
- 2. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- 3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 or 811 for the location of existing underground utilities.
- 4. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- 5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- 6. Clearing, arubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specificed by the BMP sequence for that stage or phase have been installed and are functioning as described in the E&S plan.
- 7. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- 8. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter 9. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion
- and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
- 10. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et. seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site. 11. All off-site waste and borrow areas must have an E&S plan approved by the local conservation
- district or the Department fully implemented prior to being activated.
- 12. The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
- 13. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
- 14. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
- 15. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection. All inspections shall be logged onto DEP form 3150-FM-BWEW0083 dated 2/2012 and kept on site at all times.
- 16. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
- 17. All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings. 18. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils — prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outslopes shall have a minimum of 2 inches of topsoil
- 19. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes
- 20. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
- 21. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills. 22. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
- 23. Fill shall not be placed on saturated or frozen surfaces. 24. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
- 25. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface , or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
- 26. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
- 27. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- 28. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district of the Department. 29. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
- 30. After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to a permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid reveatation of disturbed areas, such removal/conversions are to be done only during
- 31. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection. 32. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from la
- construction site or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to 10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
- SITE SPECIFIC NOTES:
- 33. Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
- 34. Sediment basins shall be kept free of all construction waste, wash water, and other debris having potential to clog the basin/trap outlet structures and/or pollute the surface water. 35. Sediment basins shall be protected from unauthorized acts by third parties
- 36. Any damage that occurs in whole or in part as a result of basin discharge shall be immediately repaired by the permittee in a permanent manner satisfactory to the municipality, local conservation district, and the owner of the damaged property.
- 37. Upon request, the applicant or his contractor shall provide an as-built (record drawing) for any sediment basin to the municipal inspector, local conservation district or the Departmen 38. Erosion control blanketing shall be installed on all slopes 3H:1V or steeper within 50 feet of a
- surface water and on all other disturbed areas specified on the plan maps and/or detail sheets. 39. Fill material for embankments shall be free of roots, or other woody vegetation, organic material, large stones, and other objectionable materials. The embankment shall be compacted in maximum 8" layered lifts at 95 % density.
- DUST CONTROL: 40. Dust control measures must be implemented upon the generation of enough dust whereas it leaves the project site on an as-needed basis or upon direction of a municipal representative and/or a representative of the local Conservation District. Water Control
- The exposed soil surface should be moistened until the surface has been adequately wettened to
- Vegetative Cover Control: The exposed soil surface shall be seeded and mulched according to the recomended rates per the Temporary Seeding Specificatio
- Calcium Chloride Placement Shall be in the form of loose, dry granules or flakes fine enough to feed through a spreader at a rate that will keep the surface moist but not cause pollution or plant damage.

I. GENERAL NOTES:

- 1. This Erosion and Sedimentation Control Plan was prepared by the staff of Woodrow & Associates, Inc. under the direction of Mr. Timothy P. Woodrow, P.E. Sediment Basins:
- patent, patent rights, and/or patent laws. 3. Baffles must be installed to allow basin maintenance and clean out.
- 4. Upon installation of the sediment basin skimmer and its connection to the permanent basin outlet structure, an immediate inspection shall be done by a qualified site representative and the local conservation districtshall be notified in writing that the skimmer connection is sealed.

Other BMPs:

- 5. Sediment must be removed from storm water inlet protection after each runoff event.
- Temporary Stabilization and Permanent Stabilization: 6. Straw mulch shall be applied in long strands, not chopped or finely broken.
- **II. RECEIVING WATERSHED:** The receiving watershed for this development is an unnamed tributary to Park Creek, eventually draining
- to the Neshaminy Creek. The Chapter 93 Classification for this receiving watershed is WWF & MF III. INTENT OF CONSERVATION PROGRAM
- The intent of this program is to prevent accelerated erosion of the exposed site soils during the construction and permanent life periods of the Development. The program requires retention of all sediments on the construction site while minimizing the impact of development on existing streams and adjacent properties
- These objectives will be achieved by minimizing exposure time of potentially erosive soils to runoff and installation of the temporary and permanent conservation practices in proper sequence with construction. The intent of this program should be understood and implemented throughout th entire development. The various construction trades should be appraised of this program and directed to prevent undue disturbance of prepared and protected surfaces.

IV. SURFACE STABILIZATION CRITERIA:

sediment control facilities.

All denuded soil surfaces including soil stockpiles that are subject to erosion shall be stabilized immediately, either temporarily or permanently. Crushed stone on pavement subgrades is considered adequate protection. Disturbed areas which are not at finished grade and which will be redisturbed within one (1) year may be stabilized with a quick growing, temporary seeding mixture and mulch. During non-germination periods, mulch shall be applied at recommended rates. Germination period shall be from April 1st to June 15th and August 15th to October 15th, during non-germination periods mulched areas shall be limed fertilized seeded and remulched immediately Contractor/Applicant shall assume responsibility for the maintenance and operation of all erosion and

Silt fence must be installed parallel to existing contours and constructed in level alignments. ends of the fence must be extended a minimum of eight (8) feet up slope and at forty-five (45) degrees to the main fence alignment.

If any of the measures contained within this plan prove inadequate at removing sediment from flows prior to discharge or stabilizing of the surfaces involved, additional measures must be immediately implemented by the Contractor/Applicant to eliminate all such problems. Said measures shall be approved by the local soil conservation district

A reserve supply of crushed stone, silt fence, temporary seed and hay bales shall be maintained on site for emergency replacement of any failing erosion and sediment control measures. V. EROSION CONTROL DEVICES / MAINTENANCE PROGRAM:

- STABILIZED CONSTRUCTION ENTRANCE:
- Entrances are to be constructed per Ch. 102 Standard Construction Detail #16 and the details provided with this plan set. The stabilized construction entrance(s) shall be maintained so that tire scrubbing activity does not become ineffective. Any buildup of mud or soil on the street shall be cleaned immediately by hand or mechanical sweeping. COMPOST FILTER SOCKS:
- Compost Socks shall be installed per Ch. 102 Standard Construction Details #4-1 and the details provided with this plan set. Socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection.
- STORM INLET PROTECTION:
- Inlet protection devices shall be constructed per Ch. 102 Standard Construction Details #28-32 and the details provided with this plan set. Inlet protection shall be maintained until all earthwork within the tributary drainage area has been completely stabilized. SEDIMENT DISPOSAL
- Silt removed from temporary erosion and sediment control devices shall be disposed of on-site in landscaped areas located outside the 100 year flood plains, wetlands, steep slopes and drainage swales. Areas of sediment disposal shall be considered a critical vegetation area requiring immediate stablization. Each drainage sub-area will require separate and unique erosion and sediment control measures. The contractor shall follow the specific construction sequence deemed appropriate by the local soil conservation district.
- All BMP listed above require inspection weekly and after each runoff event. All required repairs and or replacement of BMP's must be done immediately
- VI. UTILITY TRENCH EXCAVATION:

GENERAL REQUIREMENTS:

- Exposed trench excavations have high potential for accelerated erosion and sediment pollution. Since thèse excavations are usually located at lower elevation along or across earth disturbance sites, oper trenches serve to concentrate sediment laden runoff and convey it to site boundaries or waterways. most important erosion and sediment pollution control consideration for trench construction is the limiting and specific scheduling of work activities. CONSTRUCTION REQUIREMENTS:
- Limit advance clearing and grubbing operations to a distance equal to two times the length of pipe installation that can be completed in one day.
- Work crews and equipment for trenching, placement of pipe, plug construction and backfilling will be self contained and separate from clearing and work crews and site restoration and stabilization operations. All soils excavated from the trench shall be placed on uphill side of the trench.
- Limit daily trench excavation to the length of pipe placement, plug installation and backfilling that can be completed the same day Water which accumulates in the open trench will be completely removed by pumping before pipe
- placement and/or backfilling begins. Water removed from the trench shall be pumped through a On the day following pipe placement and trench backfilling, the disturbed area will be graded to
- final contours and immediately stabilized. Soils excavated from the existing surface layer should be stockpiled separately and returned as final surface layer following trench backfilling.

VII. FERTILIZATION, SEEDING AND MULCHING:

TEMPORARY COVER ON DISTURBED AREAS: Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceed 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

PERMANENT COVER ON DISTURBED AREAS:

Disturbed areas which are either at finish grade or will not be redisturbed a within one (1) year period must be seeded and mulched with a permanent seed mixture. All disturbed areas shall be stabilized immediately with a temporary seed and mulch mixture applied at the recommended rates. Site preparation of mulch and maintenance shall be performed in ac-cordance with the Penn State University's Erosion Control & Conservation Plantings on Noncropland manual and Pennsylvania Department of Transportation publication form 408 specifications (latest edition). During nongermination periods, mulch must be applied at the recommended rates.

Graded areas shall be scarified or otherwise loosened to a depth of 3" to 5" prior to topsoil placement to permit the bonding of new topso

EROSION and SEDIMENTATION CONTROL

MULCHING:

machinery shall be operated on the contour

2. Approval of the use of the skimmer does not approve use of any skimmer(s) in violation of any

adequate vegetated cover. Mulching may also be used as a temporary stabilization of disturbed areas in non-germinating seasons. Mulch shall be applied immediately after seeding or at the termination of grading operations during non-germinating seasons. Straw and hay mulch should be anchored or tackified immediately after application to prevent being windblown. A tractor—drawn implement may be used to "crimp" the straw or hay into the soil about 3 inches deep. This method should be limited to slopes no steeper than 3H:1V. The

All seeded areas should be mulched or blanketed to minimize the potential for failure to establish

Polymeric and gum tackifiers mixed and applied according to manufacturer's recommendations may be used to tack mulch. Avoid application during rain and on windy days. A 24 hour curing period and a soil temperature of 45 degrees F are typically required. Application should generally be heaviest at edges of seeded areas and at crests of ridges and banks to prevent loss. The remainder of the area shall have binder applied uniformly. Binders may only be applied after mulch is spread or sprayed onto the mulch as it is being blown onto the soil.

Synthetic binders, or chemical binders, may be used as recommended by the manufacturer to anchor ulch provided that sufficient documentation is provided to show they are non-toxic to native plant and animal species.

Mulch on slopes of 8% or steeper should be held in place with netting. Light-weight plastic, fiber, or paper nets may be stapled over the mulch according to manufacturer's recom Shredded paper hydromulch should not be used on slopes steeper than 5%. Wood fiber hydromulch may be applied on steeper slopes provided a tacifier is used. The application for any hydromulch should be 2000 lb/acre at a minimum.

MULCH APPLICATION RATES

		Application Rate	Notes:		
Mulch Type:	Per Acre:	Per 1,000 S.F.	Per 1,000 S.Y.	Notes.	
Straw	3 tons	140 lbs.	1,240 lbs.	Either wheat or oat straw, free of weeds, not chopped or finely broken	
Нау	3 tons	140 lbs.	1,240 lbs.	Timothy, mixed clover and timothy or other native forage grasses	
Wood Chips	4-6 tons	185–275 lbs.	1,650-2500 lbs.	May prevent germination of grasses and legumes	
Hydromulch	1 ton	47 lbs.	415	See limitations above	

VIII. SEEDING SCHEDULE:

Seeding to conform to specifications outlined in Section 804 – Seeding and Soil Supplements of PADOT Publication 408/2003 (latest revision). A soils test should be performed in order to determine actual lime and fertilizer needs of the project site instead of using the generic application rates listed below.

TEMPORARY SEEDING SPECIFICATION - FORMULA E:	
100% ANNUAL RYEGRASS (LOLIUM MULTIFLORUM):	10.0 lbs./1,000 s.y.
PERMANENT SEEDING SPECIFICATION - FORMULA B:	
70% Tall Fescue (Festuca Arunoinacea var., Kentucky 31):	15.0 lbs./1,000 s.y.
30% Creening Red Fescue or Chewings Fescue	60 lbs /1000 sv

30% Creeping Red Fescue or Chewings Fescue: 6.0 lbs./1,000 s.y. SEEDING RATES FOR THE ABOVE MIXTURES:

Spread seeds where indicated and at the rates specified above (and Table A, Pub 408, Section 804). Spread seeds within the following dates, or as otherwise indicated or directed: March 15 to June 01
 August 01 to October 15 * Formula B:

— March 15 to October 15 * Formula E:

Extend seeding dates where project conditions warrant. Apply full treatment or apply only 50% of the permanent seeding and soil supplements and apply the remaining 50% within the next seeding dates. Place mulch, hay or straw immediately after seeding or within 48 hours after seeding is completed. Place hay or straw uniformly, in a continuous blanket, until seeding is completed. If directed, increase the rate of application, depending upon the material used, season, soil conditions or method of application SOIL SUPPLEMENTS:

Pulverized agricultural limestone and commercial fertilizer shall be applied to all disturbed areas which are to be seeded in both temporary and permanent conditions at the following rates:

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS Permanent Seeding Application Rate Soil Amendment Notes Per Acre: Per 1,000 S.F. Per 1,000 S.Y. as per soil tes Agricultural Lime 6 tons 240 lb. 2,480 lb. may not be require n agricultural fields Or as per soil test may not be require 10-10-20 Fertilizer 1,000 lb. 25 lb. 210 lb. agricultural fields emporary Seeding Application Rate Typically not required for 40 lb. 410 lb. Agricultural Lime ton opsoil stockpile: Typically not -10-10 Fertilizer 500 lb. 12.5 lb. 100 lb. reauired for

topsoil stockpiles Adapted from Penn State, "Erosion Control and Conservation Plantings on Noncropland

IX. SOILS RESOLUTIONS: Winter Grading:

Contractor to ensure proper stablization. Methods to include, seeding and mulching at the recommended rates and where necessary, the placement of an approved erosion control blanke Road Fill

Contractor to ensure all fill used for roadway construction is placed and compacted in appropriate ifts. Should material not be suitable for roadway construction the contractor may import suitable material from an area within the permitted area.

Contractor to ensure proper stablization. Methods to include, seeding and mulching at the recommended rates and where necessary, the placement of an approved erosion control bla Contractor shall consider soils testing to ensure topsoil is suitable to produce and sustain proper arowth. Should the topsoil be lacking of the nutrients to produce growth the contractor shall consider applying lime and/or fertilizers at the rates recommended by the project landscape consultant and/or

the local conservation district. Topsoil may be imported from an area within the permitted area proven to be suitable. Ponds, Dikes and Levees Embankments

Contractor to ensure all fill used for basin embankment construction is placed and compacted in appropriate lifts. Should material not be suitable for basin construction the contractor may import suitable material from an area within the permitted area. Contractor to ensure proper stablization. Methods to include, seeding and mulching at the recommended rates and where necessary the placement of an approved erosion control blanket. Terraces, diversions and waterways

Contractor to ensure all earthwork associated with swales, diversion berms and/or watercourses is adequately stabilized with an approved erosion and sediment control blanket and/or seeding and mulching applied at the recommended rates.

Should erosion continue the contractor shall consult the design engineer, the local conservation district, and take appropriate measures to correct the problems. Corrective measures may include but are not limited to the following: Additional seeding and mulching, the placement of sod, armoring the channel with a stronger

X. POST-CONSTRUCTION MAINTENANCE PROGRAM:

stabilization blanket, or the placement of rip-rap.

Post-Construction maintenance of all implemented BMP's shall include but not be limited to the following: 1. Check all vegetated areas after any runoff events to identify any areas showing accelerated erosion. If any area is identified as eroding, these areas are to be stabilized using methods described on

2. All storm structures shall be inspected and cleaned of debris annually or as necessary to maintain full capacity of the storm system.

XI. STANDARD NOTE TO COMPLY WITH NPDES CHECKLIST ITEM #2.b.xv: (#3.b.xv for an Individual NPDES Permit)

- If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the permittee. 1. Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognized as such. The term does not include materials placed in or on the waters of the Commonwealth unless other-wise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).
- 2. Clean Fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".
- 3. Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill
- 4. Environmental due diligence: The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history. Sanborn maps environmental questionaires, transaction screens, analytical testing, environmental assessments c audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill"

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapter 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.pacode.com

XII. MONITORING, INSPECTION, AND REPORTING REQUIREMENTS: Visual Inspections:

- The permittee or co-permitee(s) must ensure that visual site inpsections are conducted weekly, and within 24 hours after each measurable rainfall event throughout the duration of construction and unti the receipt and acknowledgement of the N.O.T. by the department or authorized conservation district The visual site inspections and reports shall be completed in a format provided by the department, and conducted by qualified personnel, trained and experienced in erosion and sediment control, to ascertain that E&S BMP's and PCSM BMP's are properly constructed and maintained to effectively minimize pollution to the waters of this commonwealth. A written report of each inspection shall be kept and include at a minimum:
- (1) A summary of site conditions, E&S BMP and PCSM BMP, implementation and maintenance and compliance actions: and (2) The date, time, name and signature of the person conducting the inspection.
- Noncompliance Reporting: Where E&S, PCSM or PPC BMP's are found to be inoperative or ineffective during an inspection or any other time, the permittee and co-permittee(s) shall, within 24 hours, contact the department or authorized conservation district, by phone or personal contact, followed by the submission of a
- written report within 5 days of the initial contact. Noncompliance reports shall include the following (1) Any condition on the project site which may endanger public health, safety, or the environment,
- pr´involved incidents which cause or threaten pollutio (2) The period of noncompliance, including exact dates and times and/or anticipated time when the activity will return to compliance
- (3) Steps being taken to reduce, eliminate, and prevent recurrence of the noncompliance; and (4) The date or schedule of dates, and identifying remedies for correcting noncompliance conditions. Reduction, Loss, or Failure of the BMP's:
- Upon reduction, loss or failure of the BMP's, the permittee and co-permittee shall take immediate action to restore the BMP's or provide an alternative method of treatment. Such restored BMP's or alternative treatment shall be at least as effective as the original BMP's. Termination of Coverage:
- N.O.T.: Upon permanent stabilization of earth disturbance activities associated with construction activity that are authorized by this permit and when BMP's identified in the PCSM Plan have been properly installed, the permittee and/or co-permittee of the facility must submit a N.O.T. form that is signed in accordance with Part B, Section 1.c, Signatory Requirementes, of the NPDES permit. All letters certifying discharge termination are to be sent to the department or authorized conservation district. The N.O.T. must contain the following information: facility name, address and location, operator name and address, permit number, identification and proof of acknowledgment from the person(s) who will be responsible for the operation and maintenance of the PCSM BMP's in acperson(s) who will be responsible for the operation and maintenance of the PCSM BMP's in ac-cordance with the approved PCSM Plan, and the reason for the permit termination. Until the permittee has recieved written acknowledgement of the N.O.T., the permittee will remain responsible for the operation and maintaining all E&S BMP's and PCSM BMP's on the project site and will be responsible for the violations occurring on the project site.
- Completion Certificate and Final Plans:

Within 30 days after the completion of the earth disturbance activities authorized by this permit, including the permanent stabilization of the site and proper installation of PCSM BMP's in accordance with the approved PCSM Plan, or upon submission of the N.O.T., the permittee shall file with the department or authorized conservation district a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of the NPDES permit and the approved E&S and PCSM Plans.

LIMITATION OF SOILS PERTAINING TO EARTHMOVING SOILS NAME: Reaville Udorthents X C/S X X

SPECIFIC LIMITATION RESOLUTIONS:

- CUTBANKS CAVE Trench wall reinforcement shall be provided on-site if necessary to stabilize construction related trenching.
- CORROSIVE TO CONCRETE/STEEL Soils testing should be conducted to determine the actual risk of corrosion to concrete or steel and if
- necessary, concrete mixes adjusted and steel coated to withstand the soil corrosiveness. DROUGHTY
- Special consideration should be applied to ensure that seed mixes and proposed plantings have sufficient water and nutrients within the soil to establish growth
- EASILY ERODIBLE Additional erosion control blanketing shall be considered to control any potential erosion in sloped areas. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE Special consideration shall be taken in the design of all proposed BMPs to ensure that any existing saturated zones or high water tables will not impact the proposed design.
- HYDRIC/HYDRIC INCLUSIONS Hydric soils shall be scarified and mixed with a planting soils mixture and/or topsoil to improvie the vegetative properties of the soil.
- LOW STRENGTH/LANDSLIDE PRONE Additional erosion control mats or other slope reinforcment shall be considered to assist in landslide and erosion prevention.
- SLOW PERCOLATION Scarification of the subsoil shall be a consideration during final grading and topsoil placement to improve the infiltration rates of the subsoil
- Extra care must be taken in site grading to locate and identify any potential sinkhole areas, and if discovered, immediate measures shall be taken to remediate any sinkhole locations.
- POOR SOURCE OF TOPSOIL If on-site stockpiles are deemed to be poor for use in topsoil, improved topsoil shall be imported to the site and utilized for final site grading.
- FROST ACTION Special care must be taken to ensure that the soil is not frozen solid when grading the site to the psed elevations. If large areas of the project site appear to be frozen, the soil shall be thawed before being set to final design elevations.
- Scarification of the subsoil shall be a consideration during final grading and topsoil placement to improve the infiltration rates of the subsoil. Additional plantings shall be considered to be placed on-site to assist in removing extra wetness from the soil.

SHRINK – SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
			х

CONSTRUCTION SEQUENCE

At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors

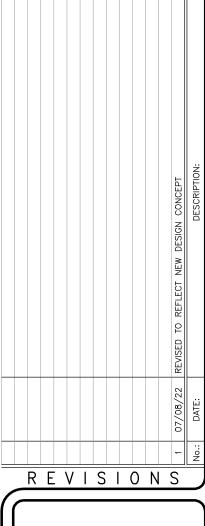
involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, the designated Licensed Professional, and the local Conservation District to an on—site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call Incorporated System at 811 or 1-800-242-1776 for buried utilities locations. All earth disturbance activities shall proceed in accordance with the outlined sequence on these plans. Each stage shall be completed before any following stage is initiated; clearing and grubbing shall be limited only to those areas described in each stage. General site clearing, grubbing, and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the Construction Sequence for that stage or phase have been installed and are functioning as described in this document. Deviation from this sequence must be approved in writing from the local Conservation District or by DEP

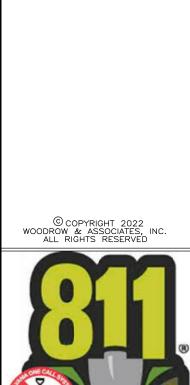
Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceed 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sédimentation pending future earth disturbance activities.

prior to implementation.

Per NPDES requirements "Upon the installation or stabilization of all perimeter sediment control BMPs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co-permittee shall provide notification to the Department or authorized conservation district. GENERAL SITE CONSTRUCTION:

- Install Rock Construction Entrance along Cedar Hill Road as shown and detailed on the plans. Ensure construction entrances are at least 100-feet long to comply with ABACT (Antidegradation Best Available Combination of Technologies) requirements. Stakeout and flag the Limit of Disturbance as shown on the plans. Install Tree Protection Fencing as shown and detailed on the plans.
- 2. Install Compost Filter Socks CS-01 through CS-10 as shown and detailed on the plans and according to all manufacturer specifications.
- 3. Remove all existing features noted for demolition and removal on the plans. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et. seq. No building materials, wastes, or unused building materials shall be burned, buried, dumped, or discharged at the site. 4. Upon removal and demolition of all existing features noted, strip and stockpile topsoil in the designated
- topsoil stockpile areas and structural fill in a separate stockpile area as shown and detailed on the plans. Install 12" Compost Filter Sock on the downslope side of all stockpile areas as shown and detailed on the plans. Stabilize stockpile areas immediately with a temporary seed and mulch mixture applied at the recommended rates. Stabilize all demolition disturbance immediately with a temporary seed and mulch mixture applied at the recommended rates.
- 5. Begin rough grading of the project site as necessary for building pads and Rain Garden construction. All individual lot pads shall be set a minimum of 4-foot below proposed finished floor of the dwelling. 6. Begin installation of sanitary main relocation from SA-01 to SA-04, including the lateral connection for the existing home to remain, to ensure sewer service to this lot has the least length of disruption as possible. Stabilize all disturbance immediately with a permanent seed and mulch mixture applied at the recommended rates.
- 7. Begin installation of all individual lot sanitary laterals and water service connections to the existing mains within Cedar Hill Road as shown and detailed on the plans. Install proposed Lot 1 force-main piping as shown and detailed on the plans. All utilities shall be stubbed at the right-of-way line for future home connection. All disturbance to Cedar Hill Road shall immediately be stabilized and repayed as shown and detailed on the plans. All earth disturbance associated with the utility installation shall be immediately stabilized with a permanent seed and mulch mixture applied at the recommended 8. CRITICAL STAGE:
- Upon completion of all utility installation, commence with construction of all proposed storm inlets, piping, and Rain Gardens as shown and detailed on the plans. An inlet filter bag shall be placed within each inlet as it is installed. Structural fill used to construct the Rain Garden berms shall be aken from the previously stockpiled structural fill areas. Berm construction (i.e., \cdot conform to all erosion control notes listed on the plans referencing fill situations. If Rain Garder berm construction requires more fill than obtained through initial stripping of the project site, additional ill may be obtained from the proposed foundation areas of the proposed individual lots. Install o Amended Soils within Rain Garden Areas as shown and detailed on the plans. Install the Stone Bec and perforated under-drains within the Rain Gardens on Lots 2 and 5 as shown and detailed on the plans. Install all Rain Garden Outlet Structures as shown and detailed on the plans. Complete Rain Garden Spillway Areas as shown and detailed on the plans. Complete storm pipe connection to existing off-site storm structures as shown, detailed, and profiled on the plans. Immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates. Upon completion and stabilization of all Rain Garden areas the upslope Compost Filter Socks (CS-11 through CS-16) as shown on the Erosion Control – Phase 2 plans shall be installed to prohibit any sediment-laden runoff from entering the completed BMPs. Install all proposed plantings to the interior of the Rain Gardens as shown and detailed on the plans.
- 9. Complete general site grading and pad all areas for future individual home construction as shown on the plans. Immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates. 10. Install all remaining proposed plantings within the Rain Gardens as shown and detailed on the plans.
- Immediately stabilize any disturbance with a permanent seed and mulch mixture applied at the
- 11. Remove the Rock Construction Entrance and immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates. 12. Vegetated areas shall be considered permanently stabilized when a uniform 70% vegetative cover or erosion resistant perennial species have been achieved, or the disturbed area is covered with an acceptable BMP which permanently minimizes accelerated erosion and sedimentation. Until such time as this standard is achieved, interim stabilization measures and temporary erosion and sediment control BMPs that are used to treat project runoff may not be removed. If soil areas appear to be compacted, scarify 6 to 12 inches prior to seeding. New topsoil shall be placed with a minimum depth of 6 inches
- 13. Upon completion of all Rain Gardens, all utility installations, and general site grading to create future pad sites for individual home construction, proceed to 'Individual Lot Construction' sequence to complete the lots separately. Compost Socks CS—01 through CS—10 can be removed upon complete and permanent stabilization of all Rain Garden areas. INDIVIDUAL LOT CONSTRUCTION:
- 14. Ensure Compost Socks (CS-11 through CS-16) installed upslope of the completed Rain Gardens are still installed and functioning per plan, and if necessary, replace or repair any damaged socks to prevent any sediment—laden runoff from individual lot construction from entering the completed Rain Garden areas.
- 15. Install Rock Construction Entrance at the proposed individual driveway connections to Cedar Hill Road. 16. Begin construction of lot driveway and proposed home. 17. Finalize all lot grading associated with the construction of the proposed home. Install all remaining
- lot landscaping as shown and detailed on the plans. Immediately stabilize all disturbance with a permanent seed and mulch mixture. 18. Complete all utility connections to the previously installed stubs at the right-of-way and finalize
- ne construction. Install concrete sidewalk and finálize lot driveway. Immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates. FINAL SITE COMPLETION:
- 19. Upon completion of all site construction, including all individual lot construction, and complete site stabilization, contact the Montgomery County Conservation District representative to schedule a site-inspection for removal of all remaining erosion control devices.
- 20. Upon authorization from the Montgomery County Conservation District representative that all erosion control devices may be removed, dispose of any accumulated sediment in the areas designated for 'Sediment Disposal'. Remove all Compost Socks and Inlet Filter Bags from the project site. Remove any tree protection fencing. Immediately stabilize any disturbance with a permanent seed and mulch mixture applied at the recommended rates.
- 21. Within 30 days after the completion of earth disturbance activities authorized by the NPDES permit, including the permanent stabilization of the site and proper installation of PCSM BMPs in accordance with the approved PCSM Plan, or upon submission of the NOT if sooner, the permittee shall file with the department or authorized conservation district a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of the NPDES permit and the approved E&S and PCSM Plans. Completion certificates are needed to ensure that all work has been performed in accordance with the terms and conditions of the NPDES permit and the approved E&S and PCSM Plans.





PROJECT SERIAL NUMBER FOR DESIGN:
2019 1291601 (Design)

20	19 129 MAY	9160 09,	1 (Design) 2019	
arcel	Informa	tion:		

39-00-00643-0	0-2
(B 18 U 70 – GA	INES)
(B 18 U 70 - GA 1500 Cedar Hill	Rd

(В	39-00-00646-00-8 18 U 28 - STROHECKER 1512 Cedar Hill Rd
	39-00-00649-00-5 (B 18 U 29 - LYNCH)

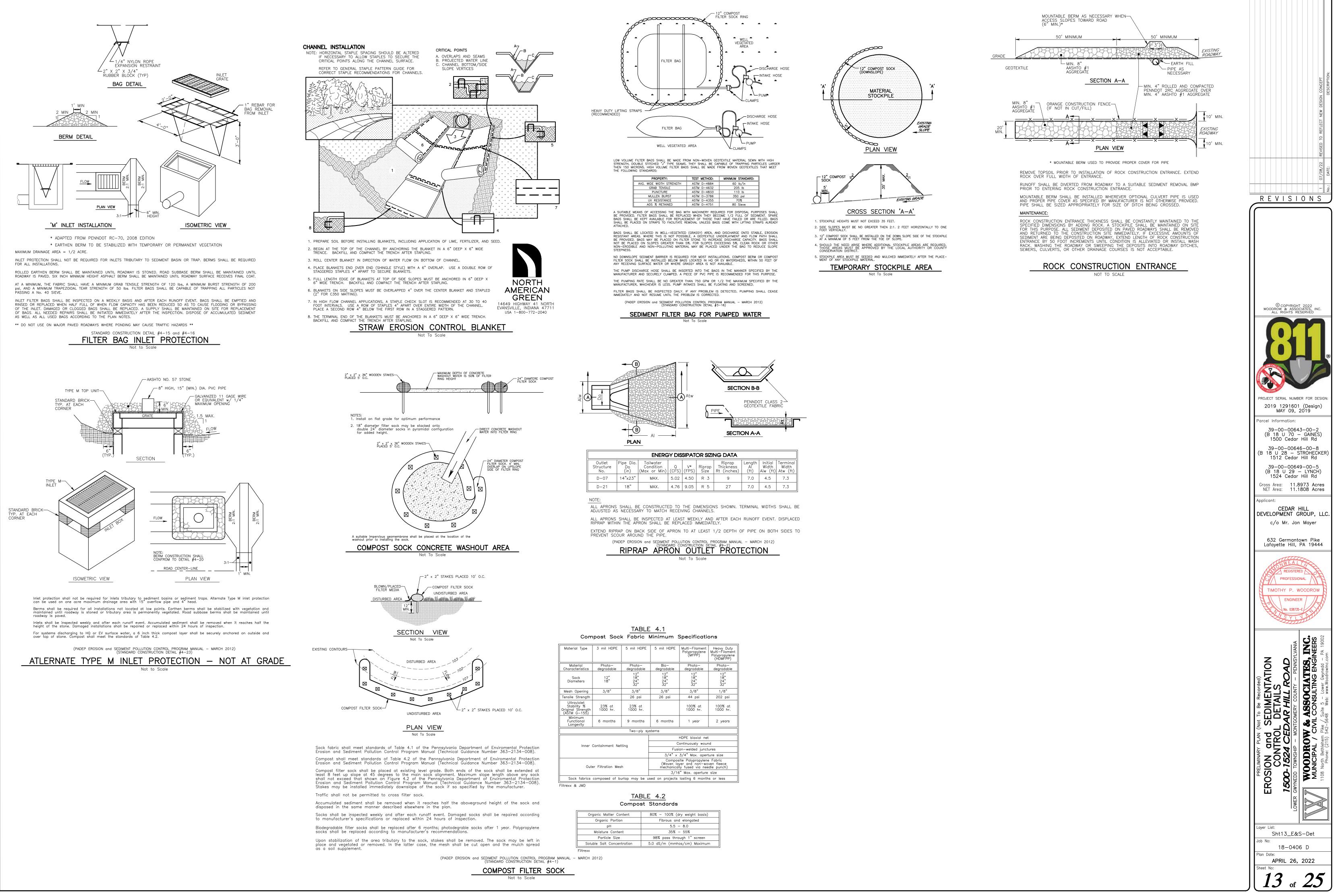
15	524	Cedar	Hill	Rd
Gross A				Acres

plicant. CEDAR HILL DEVELOPMENT GROUP. LLC c/o Mr. Jon Mayer

632 Germantown Pike Lafayette Hill, PA 19444

PRELIMINARY PLAN (Not To Be Recorded)	
OSION and SEDIMENTATION	
CONTROL SPECIFICATIONS	
00-1524 CEDAR HILL ROAD	WE REGI PROFE
NEDD TOWNSHIP – MONTGOMERY COUNTY – PENNSYLVANIA	A L SSER
WOODROW & ASSOCIATES. INC.	NAL NAL
MUNICIPAL / CIVIL CONSULTING ENGINEERS	ROV
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002 Phone: (215) 542-5648 Web: www.WoodrowInc.com	

PRELIMINARY PLAN (No	EROSION and S	CONTROL SPE	1500-1524 CED,	OWER GWYNEDD TOWNSHIP - MONTO	WOODROW &	MUNICIPAL / CIV	1108 North Bethlehem Pike Phone: (215) 542-É
	ш			LOWER G	7777 7		
Lay	er Lis	t:					
Sht12_E&S-Specs							
Job No:							
18-0406 D							
Plan Date:							
		APRI	L 2	26,	20	22	
She	et No	:					
	1	2	C	of	4	2	5



Compost Sock Fabric Minimum Specifications					
Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo— degradable	Photo— degradable	Bio- degradable	Photo- degradable	Photo- degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
				HDPE biaxial net	t
Inner	Containment Net	ting	С	Continuously wour	nd
			Fusion-welded junctures		
			3/4" ×	3/4" Max. aper	ture size
Oute	Composite Polypropylene Fabric (Woven layer and non-woven fleece Outer Filtration Mesh mechanically fused via needle punch)				ven fleece
			3/1	6" Max. aperture	size
Sock fabrics	composed of bu	urlap may be us	sed on projects	lasting 6 month	is or less

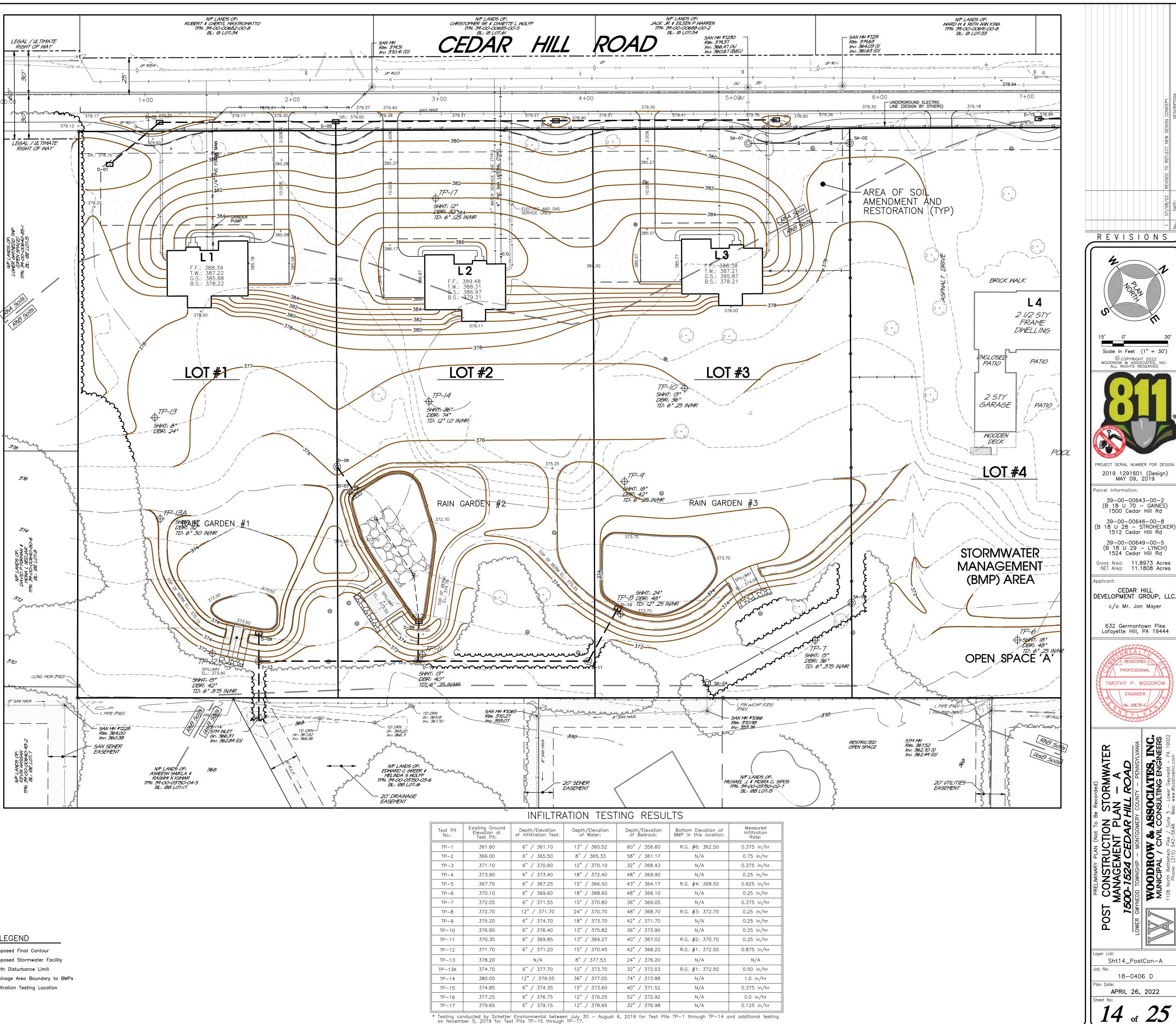
TABLE	4.2	

Compost Standards					
Organic Matter Content	80% — 100% (dry weight basis)				
Organic Portion	Fibrous and elongated				
pН	5.5 - 8.0				
Moisture Content	35% - 55%				
Particle Size	98% pass through 1" screen				
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum				



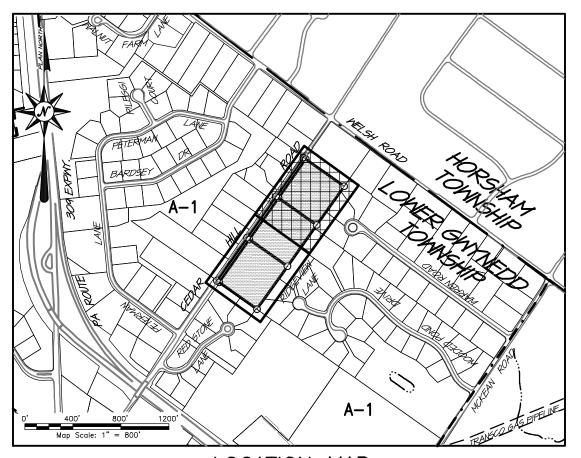
PROPERTY:	TEST METHOD:	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 lb/in
GRAB TENSILE	ASTM D-4632	205 lb
PUNCTURE	ASTM D-4833	110 lb
MULLEN BURST	ASTM D-3786	350 psi
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 Sieve





----- 🗤 ------ Mapped Wetlands Limit

	PLAN I	_EGEND		PCSI	M LEGEND
o o	Tract Boundary Line		Existing Storm Sewer Piping		Proposed Final Contour
	Existing Right-of-Way Line		Existing Sanitary Sewer Piping	— — — <u>—</u> — — —	Proposed Stormwater Facility
	Existing Right-of-Way Centerline	<i>GV</i> →→GGG	Existing Gas Main	LOD	Earth Disturbance Limit
• – – • – –	Municipal Boundary Line	₩₩- ₩_	Existing Water Main / Service		Drainage Area Boundary to BM
/ // //////////////////////////////////	Existing Zoning Boundary	OHW	Existing Overhead Wires		Infiltration Testing Location
	Existing Topographic Contour		Existing Fence Line		
RsB AbA	Existing Soil Series Limits	$\bigcirc \frown \frown$	Existing Woodlands Dripline		



LOCATION MAP

B.M.P. MAINTENANCE PROGRAM

The stormwater detention facility shown hereon is a permanent B.M.P. structure and is not to be removed altered or reconfigured in any way without the approval of the applicable municipality and/or the local County Conservation District and D.E.P.

All B.M.P.'s such as this basin and conveyance system require yearly inspection and maintenance to ensure the B.M.P.'s are functioning as designed. Maintenance of the system will include the removal of any debris and flushing of the system. An inspection report should be provided by a creditable Engineering firm under the direction of a Licensed Engineer. The owners, their successors, or its assigns, shall assume all responsibility for the cost associated with the inspection, cleaning of the system, ongineering fees and ultimately any costs associated with recommended repairs, and/or replacement of said facilities. Copies of the inspection report shall be forwarded to the applicable municipality for review and record in keeping with State regulations.

During the construction phase of the project, the permittee shall be responsible for the proper const-ruction, stabilization, and maintenance of all erosion and sedimentation control measures. The permittee shall also be responsible for the proper construction, operation and maintenance of all post construction stormwater management BMPs identified in the PCSWM Plan. The applicant, its assigns will assume responsibility for the operation and maintenance responsibilities of all post construction stormwater management BMPs

If at any point the Basin fails to drain the storage volume within 72 hours, the remaining water shall be immediately pumped into the Basin Outlet Structure and a certified professional contacted to investigate the cause and recommend a solution to the infiltration failure.

Per PACode \$102.8(m)(2) — For any property containing a PCSM BMP, the permittee or co-permittee shall record an instrument with the recorder of deeds which will assure disclosure of the PCSM BMP and the related obligations in the ordinary course of a title search of the subject property. The recorded instrument must identify the PCSM BMP, provide for necessary access related to long-term operation and maintenance for PCSM BMPs and provide notice that the responsibility for long-term operation and maintenance of the PCSM BMP is a covenant that runs with the lond that is binding upon and enforceable by subsequent grantees, and provide proof of filing with the notice of termination under \$102.7(b)(5). MAINTENANCE NOTES & SCHEDULE:

1. Maintenance of the Rain Garden areas: (Semi-annually)

GENERAL NOTES:

The owner, its assigns shall be responsible to ensure that the Rain Gardens are in operational condition, particularly the condition of the embankments, outlet structures, trash racks, riprap aprons, inlets, spillways, and other safety related items. While vegetation (seed mixes, plugs, and plantings) are being established, pruning and weeding may be required. Inspection shall be completed quarterly and after major rainfall events. Sediment removal shall be performed when the rain gardens are completely dry. Any removed sediment should be disposed of properly, and once removed, disturbed areas need to be immediately restabilized and revegetated. Detritus may also need to be removed every year. Perennial plantings, if utilized, may be cut down at the end of the growing season. Mulch, if utilized, should be re-spread when erosion is evident and be replenished as needed. Once every two to three should be re-spread when erosion is evident and be replenished as needed. Once every two to three years the entire area may require mulch replacement. Maintain all Rain Garden berm and perimeter areas on a weekly basis. DO NOT apply pesticides or fertilizers where stormwater will be conveyed. The berm and outside embankment shall be mowed regularly to maintain a lawn condition. Mow interior embankment areas and floor areas twice a year. Once a year mowing is sufficient to keep a meadow from reverting to woodlands, but may not be sufficient to discourage woody seedlings, brambles, invasive vines and multiflora rose. Mowing more than twice a year will only encourage cool season grass species and create additional turf areas. Recommended dates for mowing are early July for the first cutting and a second cutting in March up to April 15th. This will maximize bird and animal habitat and promote desirable and attractive vegetation. Mow these areas when the ground is dry and at a height of 6"-8" during the dormant season. Monitor for intrusion by invasive plants such as thistle. Eliminate invasives by spot mowing, spot spraying, or wick application of appropriate herbicide, or manual or mechanical pulling. A combination of strategies may be the best approach. Trees and shrubs should be inspected twice per year to evaluate health. During periods of extended drought, Basin/Rain Garden areas may require watering. Inflow and outflow structures shall be inspected drought, Basin/Rain Garden areas may require watering. Inflow and outflow structures shall be inspected at least two times per year for erosion. Rip—rap areas at these structures shall be replaced to design specifications if necessary

Maintenance of the Bio-Planting Areas: 1ST YEAR - New plantings shall be closely monitored on a weekly basis during the 1st year of

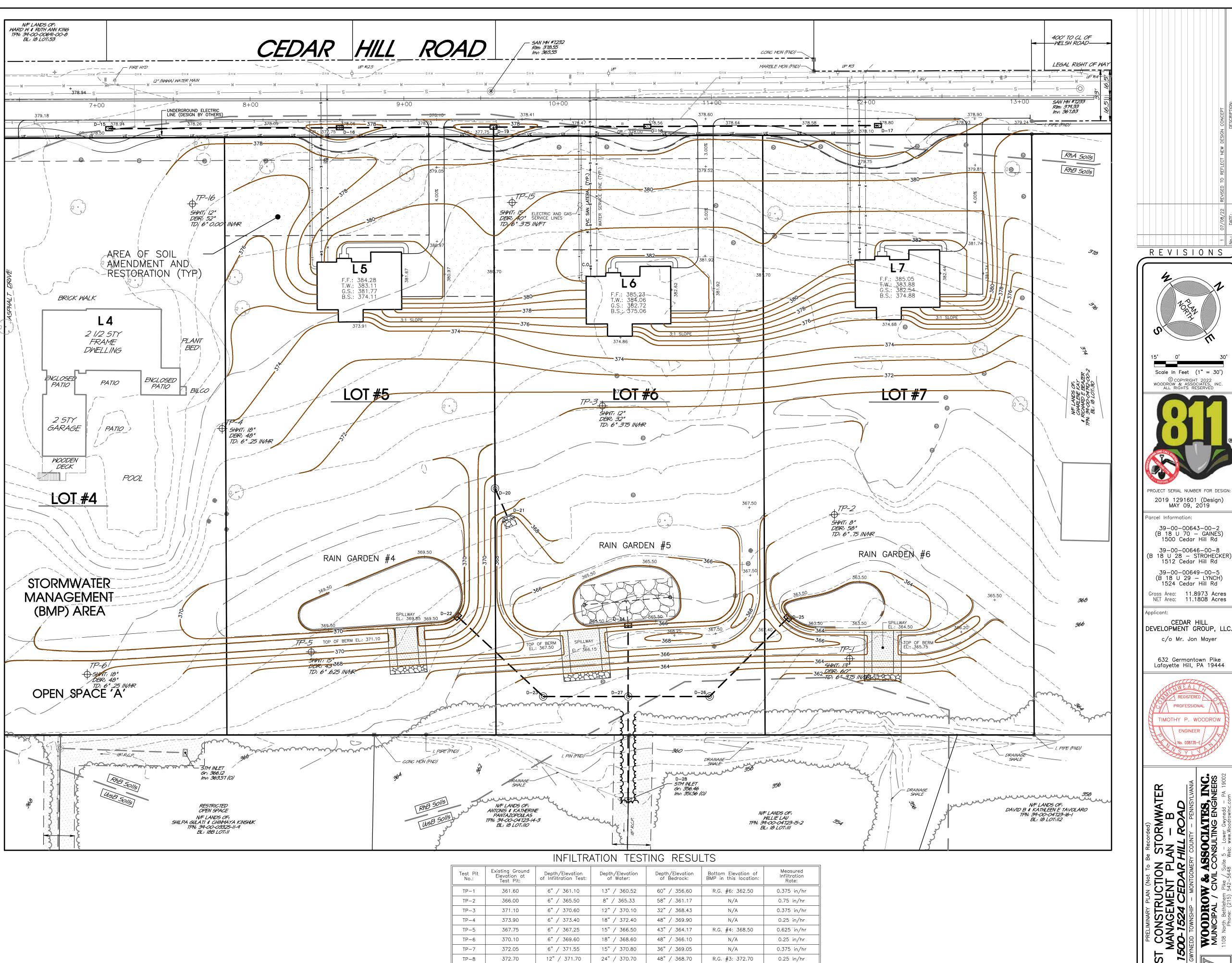
establishment in order to quickly identify any potential problems with the new growth. Any areas of discovered erosion shall be immediately fixed and re-seeded with a permanent seed mixture. Any plantings that die off within the first year shall be immediately replaced. All proposed plantings shall be routinely watered during the first year in order to promote vigorous growth and establishment of all bio-swale and stilling areas.

SEMI-ANNUALLY AFTER 1ST YEAR GROWTH ESTABLISHEMENT - Monitor bio-planting areas for intrusion by invasive plants such as thistle. Eliminate invasives by spot mowing, spot spraying, or wick application of appropriate herbicide, or manual pulling. A combination of strategies may be the best approach. Re-stabilize any areas of discovered erosion immediately. 2. Maintenance of the Seepage Bed within Rain Garden 'B': (annually)

The owner, its assigns shall be responsible to flush the Seepage Bed Area annually through the proposed clean—outs and remove any discharged sediment or debris that is flushed into the Rain Garden Outlet Structure.

3. Maintenance of the Storm Sewer Collection System: (After each runoff event) The owner, its assigns shall be responsible to ensure that the storm sewer collection and lawn drain system is free and clear of any debris. The system shall be inspected after each runoff event and cleaned if required.

4. Maintenance to be done on an 'As Needed' basis for the entire project site: O Plant alternative grass species in the event of unsuccessful establishment of design grass.
 O Reseed bare areas; install appropriate erosion control measures when native soil is exposed or erosion channels are forming.
 O Rototill and replant swales if draw down time is more than 48 hours. O Water during dry periods, fertilize and apply pesticides only when absolutely necessary.



= 30.00
""
) Print Scale: \18-0406d.pro
(9:29) 0406D
25
Jul 27, 20: 6:\2018\18
late: ime:

PLAN LEGEND

- Tract Boundary Line - - - Existing Right-of-Way Line _____ – ____ – ____ Existing Right-of-Way Centerline • 🕳 🕳 • 🕳 🕳 Municipal Boundary Line _____ Existing Topographic Contour Aba Existing Soil Series Limits

____ Www_____ Mapped Wetlands Limit

GV GV G−−−− G−−− Existing Gas Main Existing Fence Line Existing Woodlands Dripline

----- Existing Storm Sewer Piping W Existing Water Main / Service

PCSM LEGEND ------ Proposed Final Contour -222-- - - - Proposed Stormwater Facility **_____Loo** — Earth Disturbance Limit Drainage Area Boundary to BMPs Infiltration Testing Location

Test Pit No.:	Existing Ground Elevation at Test Pit:	Depth/Elevation of Infiltration Test:	Depth/Elevation of Water:	Depth/Elevation of Bedrock:	Bottom Elevation of BMP in this location:	Measured Infiltration Rate:
TP-1	361.60	6" / 361.10	13" / 360.52	60" / 356.60	R.G. #6: 362.50	0.375 in/hr
TP-2	366.00	6" / 365.50	8"/ 365.33	58" / 361.17	N/A	0.75 in/hr
TP-3	371.10	6" / 370.60	12" / 370.10	32" / 368.43	N/A	0.375 in/hr
TP-4	373.90	6" / 373.40	18" / 372.40	48" / 369.90	N/A	0.25 in/hr
TP-5	367.75	6" / 367.25	15" / 366.50	43" / 364.17	R.G. #4: 368.50	0.625 in/hr
TP-6	370.10	6" / 369.60	18" / 368.60	48" / 366.10	N/A	0.25 in/hr
TP-7	372.05	6" / 371.55	15" / 370.80	36" / 369.05	N/A	0.375 in/hr
TP-8	372.70	12" / 371.70	24" / 370.70	48" / 368.70	R.G. #3: 372.70	0.25 in/hr
TP-9	375.20	6" / 374.70	18" / 373.70	42" / 371.70	N/A	0.25 in/hr
TP-10	376.90	6" / 376.40	13" / 375.82	36" / 373.90	N/A	0.25 in/hr
TP-11	370.35	6" / 369.85	13" / 369.27	40" / 367.02	R.G. #2: 370.70	0.25 in/hr
TP-12	371.70	6" / 371.20	15" / 370.45	42" / 368.20	R.G. #1: 372.50	0.875 in/hr
TP-13	378.20	N/A	8" / 377.53	24" / 376.20	N/A	N/A
TP-13A	374.70	6" / 377.70	12" / 373.70	32" / 372.03	R.G. #1: 372.50	0.50 in/hr
TP-14	380.05	12" / 379.05	36" / 377.05	74" / 373.88	N/A	1.0 in/hr
TP-15	374.85	6" / 374.35	15" / 373.60	40" / 371.52	N/A	0.375 in/hr
TP-16	377.25	6" / 376.75	12" / 376.25	52" / 372.92	N/A	0.0 in/hr
TP-17	379.65	6" / 379.15	12"/ 378.65	32" / 376.98	N/A	0.125 in/hr

Ο

Sht15_PostCon-B

18-0406 D

APRIL 26, 2022

15 of 25

CONSTRUCTION SEQUENCE

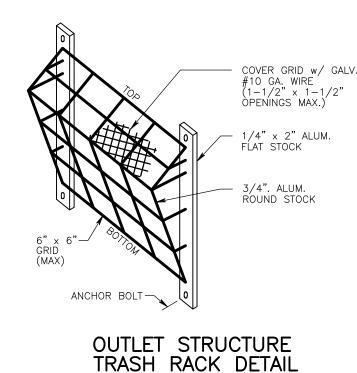
At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, the designated Licensed Professional, and the local Conservation District to an on-site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors those activities shall notify the Pennsylvania One Call Incorporated System at 811 1-800-242-1776 for buried utilities locations.

All earth disturbance activities shall proceed in accordance with the outlined sequence on these plans. Each stage shall be completed before any following stage is initiated; clearing and grubbing shall be limited only to those areas described in each stage. General site clearing, grubbing, and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the Construction Sequence for that stage or phase have been installed and are functioning as described in this document Deviation from this sequence must be approved in writing from the local Conservation District or by DEP prior to implementation

Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceed 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

Per NPDES requirements "Upon the installation or stabilization of all perimeter sediment control BMPs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co—permittee shall provide notification to the Department or authorized conservation district. GENERAL SITE CONSTRUCTION:

- Install Rock Construction Entrance along Cedar Hill Road as shown and detailed on the plans. Ensure construction entrances are at least 100-feet long to comply with ABACT (Antidegradation Best Available Combination of Technologies) requirements. Stakeout and flag the Limit of Disturbance as shown on the plans. Install Tree Protection Fencing as shown and detailed on the plans.
- 2. Install Compost Filter Socks CS-01 through CS-10 as shown and detailed on the plans and according to all manufacturer specifications. 3. Remove all existing features noted for demolition and removal on the plans. All building materials
- and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et. seq. No building materials, wastes, or unused building materials shall be burned, buried, dumped, or discharged at the site. 4. Upon removal and demolition of all existing features noted, strip and stockpile topsoil in the designated
- topsoil stockpile areas and structural fill in a separate stockpile area as shown and detailed on the plans. Install 12" Compost Filter Sock on the downslope side of all stockpile areas as shown and detailed on the plans. Stabilize stockpile areas immediately with a temporary seed and mulch mixture applied at the recommended rates. Stabilize all demolition disturbance immediately with a temporary seed and mulch mixture applied at the recommended rates.
- 5. Begin rough grading of the project site as necessary for building pads and Rain Garden construction. All individual lot pads shall be set a minimum of 4-foot below proposed finished floor of the dwelling. 6. Begin installation of sanitary main relocation from SA-01 to SA-04, including the lateral connection for the existing home to remain, to ensure sewer service to this lot has the least length of disruption as possible. Stabilize all disturbance immediately with a permanent seed and mulch mixture applied at the recommended rates.
- 7. Begin installation of all individual lot sanitary laterals and water service connections to the existing mains within Cedar Hill Road as shown and detailed on the plans. Install proposed Lot 1 force-main piping as shown and detailed on the plans. All utilities shall be stubbed at the right-of-way line for future home connection. All disturbance to Cedar Hill Road shall immediately be stabilized and repayed as shown and detailed on the plans. All earth disturbance associated with the utility installation shall be immediately stabilized with a permanent seed and mulch mixture applied at the recommended
- 8. CRITICAL STAGE: Upon completion of all utility installation, commence with construction of all proposed storm inlets, piping, and Rain Gardens as shown and detailed on the plans. An inlet filter bag shall be placed within each inlet as it is installed. Structural fill used to construct the Rain Garden berms shall be taken from the previously stockpiled structural fill areas. Berm construction (i.e., fill areas) shall conform to all erosion control notes listed on the plans referencing fill situations. If Rain Garden berm construction requires more fill than obtained through initial stripping of the project site, additional fill may be obtained from the proposed foundation areas of the proposed individual lots. Install all Amended Soils within Rain Garden Areas as shown and detailed on the plans. Install the Stone Bed and perforated under-drains within the Rain Gardens on Lots 2 and 5 as shown and detailed on the plans. Install all Rain Garden Outlet Structures as shown and detailed on the plans. Complete Rain Garden Spillway Areas as shown and detailed on the plans. Complete storm pipe connection to existing off-site storm structures as shown, detailed, and profiled on the plans. Immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates. Upon completion and stabilization of all Rain Garden areas the upslope Compost Filter Socks (CS-1 through CS-16) as shown on the Erosion Control – Phase 2 plans shall be installed to prohibit any sediment-laden runoff from entering the completed BMPs. Install all proposed plantings to the intérior of the Rain Gardens as shown and detailed on the plans.
- 9. Complete general site grading and pad all areas for future individual home construction as shown on the plans. Immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates 10. Install all remaining proposed plantings within the Rain Gardens as shown and detailed on the plans.
- Immediately stabilize any disturbance with a permanent seed and mulch mixture applied at the recommended rates. 11. Remove the Rock Construction Entrance and immediately stabilize all disturbance with a permanent
- seed and mulch mixture applied at the recommended rates. 12. Vegetated areas shall be considered permanently stabilized when a uniform 70% vegetative cover or erosion resistant perennial species have been achieved, or the disturbed area is covered with ar acceptable BMP which permanently minimizes accelerated erosion and sedimentation. Until such time as this standard is achieved, interim stabilization measures and temporary erosion and sediment control BMPs that are used to treat project runoff may not be removed. If soil areas appear to be compacted, scarify 6 to 12 inches prior to seeding. New topsoil shall be placed with a minimum depth of 6 inches.
- 13. Upon completion of all Rain Gardens, all utility installations, and general site grading to create future pad sites for individual home construction, proceed to 'Individual Lot Construction' sequence to complete the lots separately. Compost Socks CS-01 through CS-10 can be removed upon complete and permanent stabilization of all Rain Garden areas. INDIVIDUAL LOT CONSTRUCTION:
- 14. Ensure Compost Socks (CS—11 through CS—16) installed upslope of the completed Rain Gardens are still installed and functioning per plan, and if necessary, replace or repair any damaged socks to prevent any sediment—laden runoff from individual lot construction from entering the completed Rain Garden areas.
- 15. Install Rock Construction Entrance at the proposed individual driveway connections to Cedar Hill Road. 16. Begin construction of lot driveway and proposed home. 17. Finalize all lot grading associated with the construction of the proposed home. Install all remaining
- lot landscaping as shown and detailed on the plans. Immediately stabilize all disturbance with a permanent seed and mulch mixture. 18. Complete all utility connections to the previously installed stubs at the right-of-way and finalize
- home construction. Install concrete sidewalk and finálize lot driveway. Immediately stabilize all disturbance with a permanent seed and mulch mixture applied at the recommended rates. FINAL SITE COMPLETION:
- 19. Upon completion of all site construction, including all individual lot construction, and complete site stabilization, contact the Montgomery County Conservation District representative to schedule a site-inspection for removal of all remaining erosion control devices.
- 20. Upon authorization from the Montgomery County Conservation District representative that all erosion control devices may be removed, dispose of any accumulated sediment in the areas designated for Sediment Disposal'. Remove all Compost Socks and Inlet Filter Bags from the project site. Remove any tree protection fencing. Immediately stabilize any disturbance with a permanent seed and mulch mixture applied at the recommended rates.
- 21. Within 30 days after the completion of earth disturbance activities authorized by the NPDES permit, including the permanent stabilization of the site and proper installation of PCSM BMPs in accordance with the approved PCSM Plan, or upon submission of the NOT if sooner, the permittee shall file with the department or authorized conservation district a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of the NPDES permit and the approved E&S and PCSM Plans. Completion certificates are needed to ensure that all work has been performed in accordance with the terms and conditions of the NPDES permit and the approved E&S and PCSM Plans.



Not to Scale

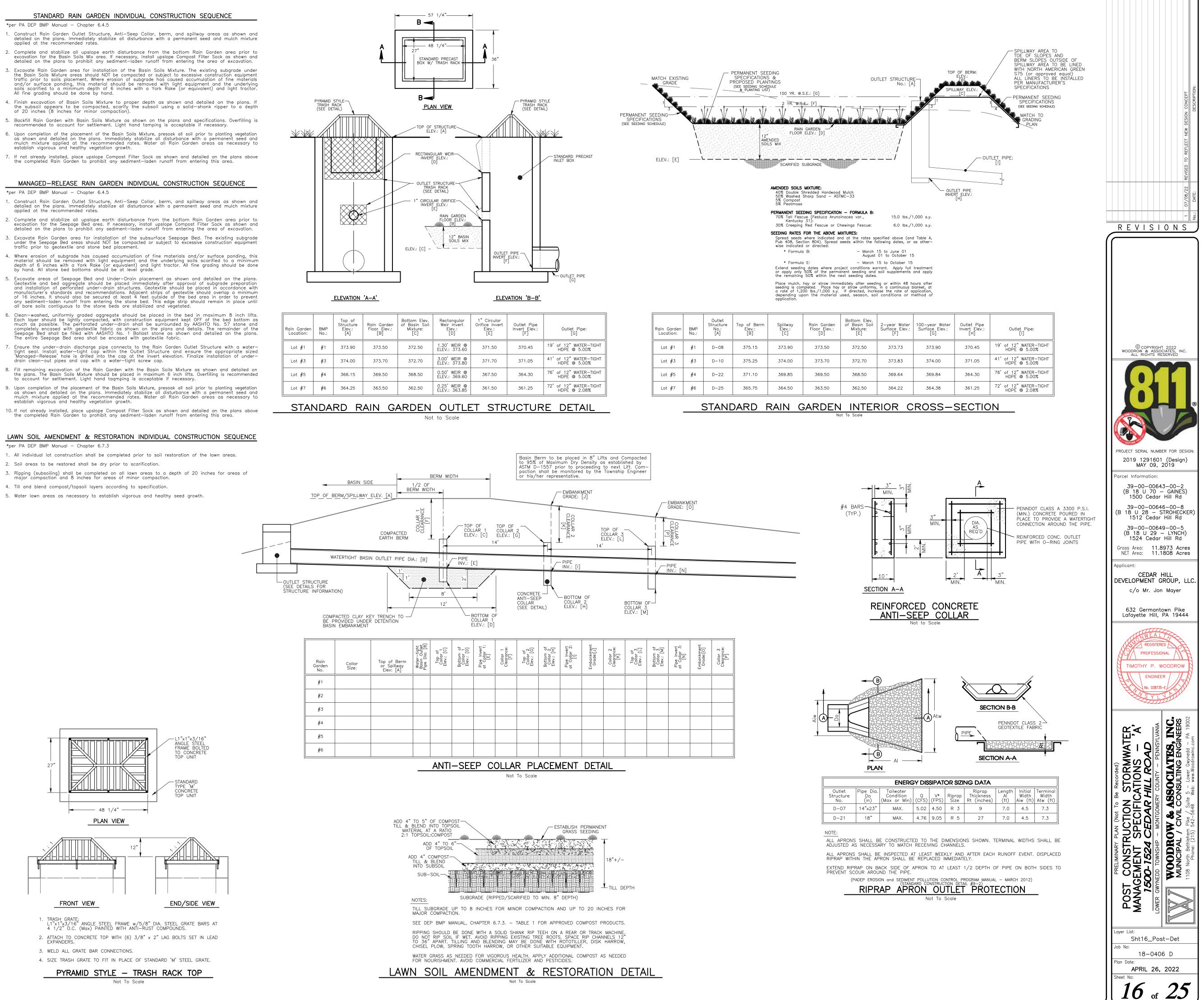
- applied at the recommended rates.
- All fine grading should be done by hand.
- of 20 inches (8 inches for minor compaction).
- establish vigorous and healthy vegetation growth.

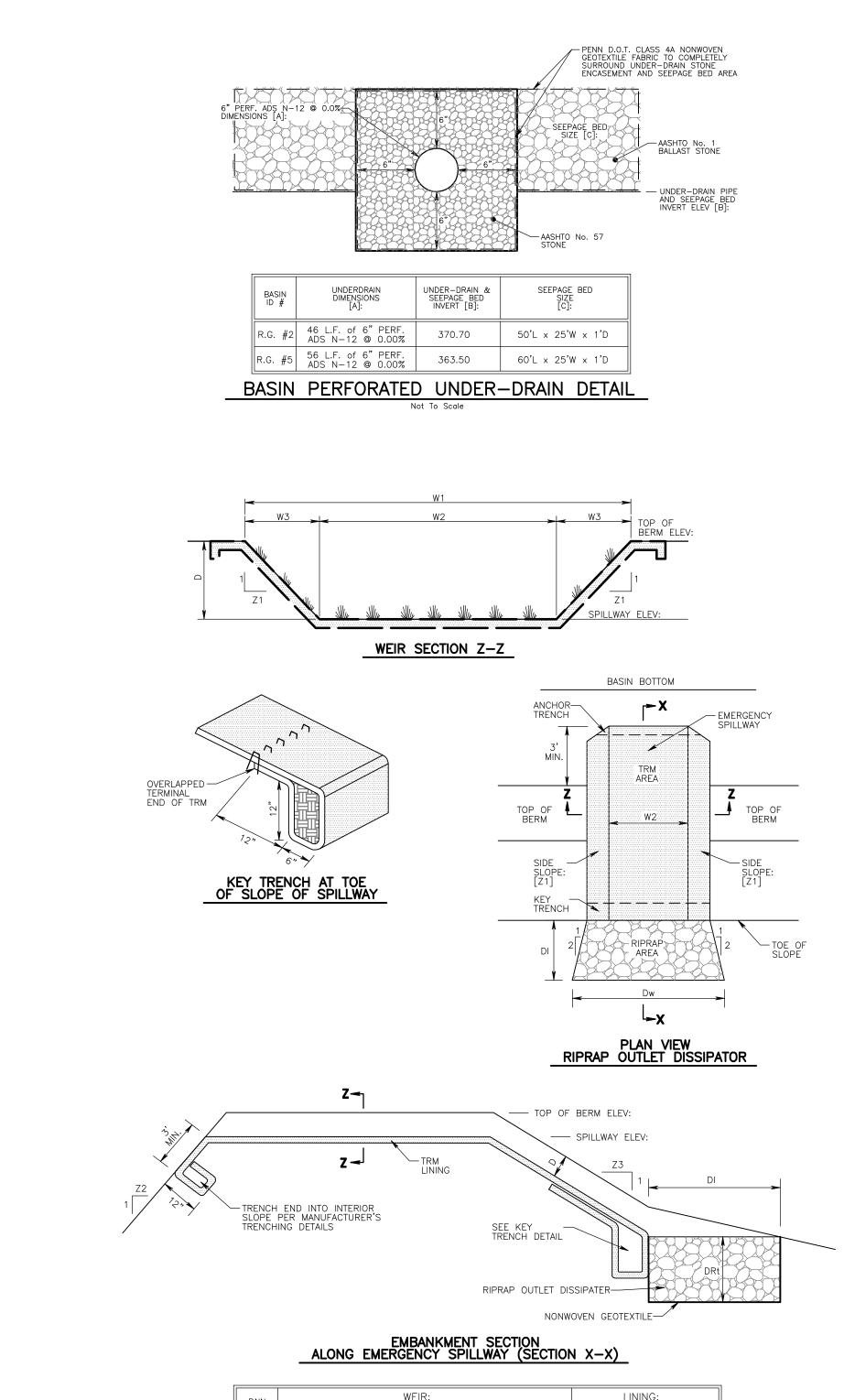
*per PA DEP BMP Manual - Chapter 6.4.5

- applied at the recommended ratés.
- traffic prior to geotextile and stone bed placement.
- py hand. All stone bed bottoms should be at level grade.
- Il bare soils contiguous to the stone beds are stabilized and vegetated.
- he entire Seepage Bed area shall be encased with geotextile fabric.
- drain clean-out pipes and cap with a water-tight screw cap.
- to account for settlement. Light hand taqmping is acceptable if necessary.
- establish vigorous and healthy vegetation growth.

*per PA DEP BMP Manual - Chapter 6.7.3

- 5. Water lawn areas as necessary to establish vigorous and healthy seed growth.





RAIN GARDEN No.:	WEIR:						LINING:		
	W1 (FT.)	W2 (FT.)	W3 (FT.)	D (FT.)	SIDE SLOPE [Z1]:	TOP OF BERM EL.	SPILLWAY ELEV:	TRM TYPE:	STAPLE PATTERN
#1	16.5	6.5	5.0	1.25	4	375.15	373.90	NAG SC250	1.15 STAPLES PER SQ.YD.
#2	29.5	19.5	5.0	1.25	4	374.75	373.50	NAG SC250	1.15 STAPLES PER SQ.YD.
#3	24.0	14.0	5.0	1.25	4	375.25	374.00	NAG SC250	1.15 STAPLES PER SQ.YD.
#4	24.5	14.5	5.0	1.25	4	371.10	369.85	NAG SC250	1.15 STAPLES PER SQ.YD.
#5	30.5	20.5	5.0	1.25	4	367.50	366.15	NAG SC250	1.15 STAPLES PER SQ.YD.
#6	24.0	14.0	5.0	1.25	4	365.75	364.50	NAG SC250	1.15 STAPLES PER SQ.YD.

RAIN GARDEN No.:	CHAN	INEL:	RIPRAP DISSIPATER:				
	INTERIOR SLOPE [Z2]:	EXTERIOR SLOPE [Z3]:	LENGTH [DI]:	WIDTH [Dw]:	THICKNESS [DRt]:	RIPRAP STONE SIZE	
#1	3	4	5 FT.	21.5 FT.	12"	R4	
#2	3	4	5 FT.	34.5 FT.	12"	R4	
#3	3	4	5 FT.	29.0 FT.	12"	R4	
#4	3	4	5 FT.	29.5 FT.	12"	R4	
#5	3	4	5 FT.	35.5 FT.	12"	R4	
#6	3	4	5 FT.	29.0 FT.	12"	R4	

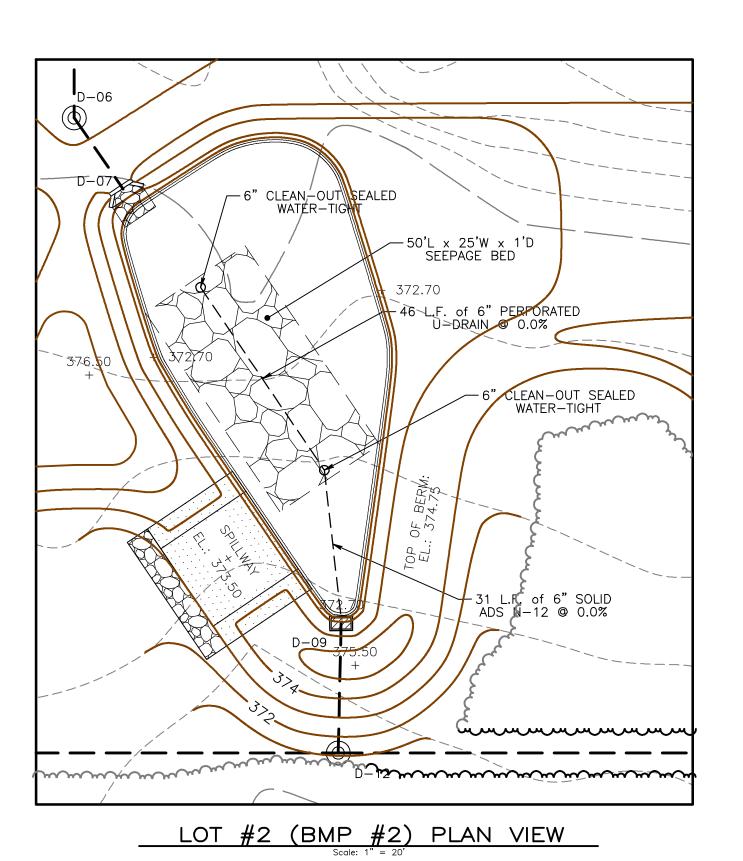
NOTES:

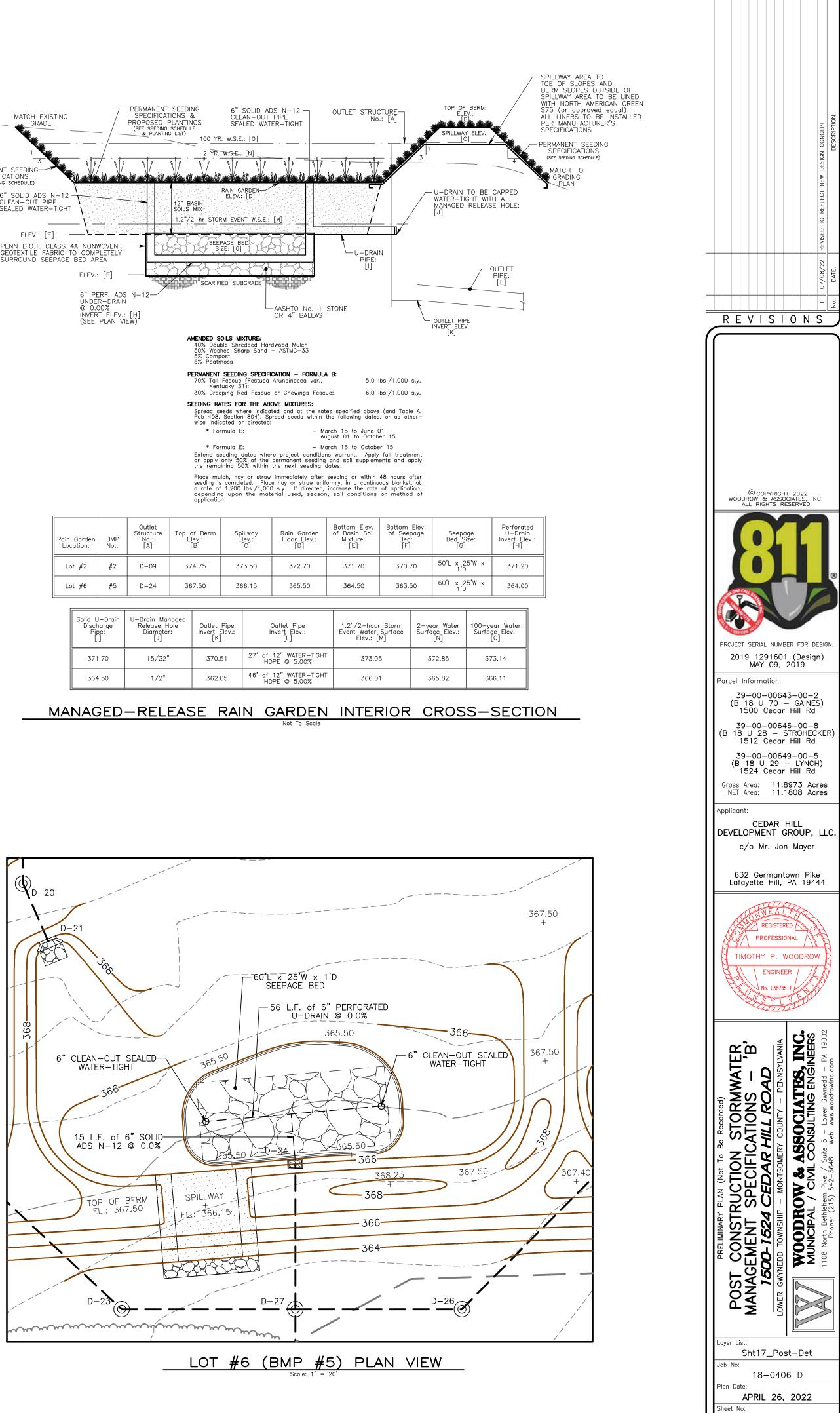
1. HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.

2. DISPLACED LINER WITHIN SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.

4. THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

(PADEP EROSION and SEDIMENT POLLUTION CONTROL PROGRAM MANUAL – MARCH 2012) (STANDARD CONSTRUCTION DETAIL #7–13) BASIN EMERGENCY SPILLWAY with TRM LINING Not To Scale

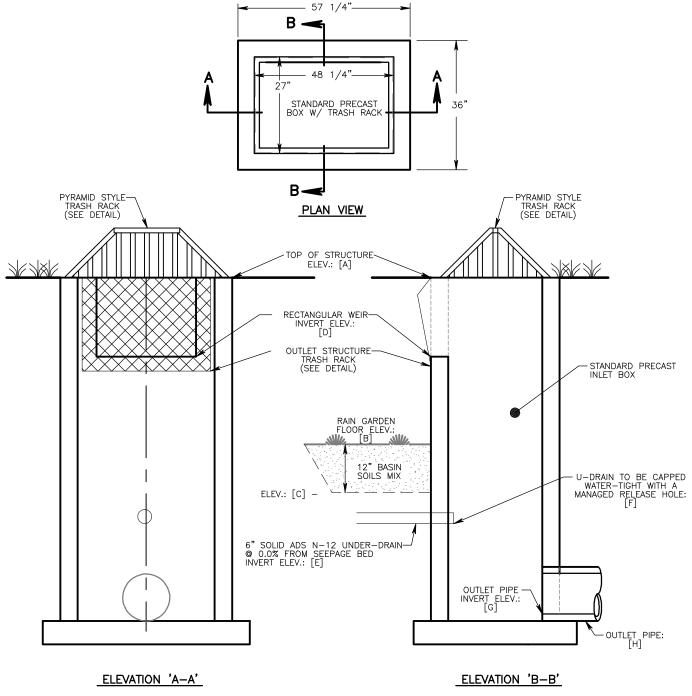




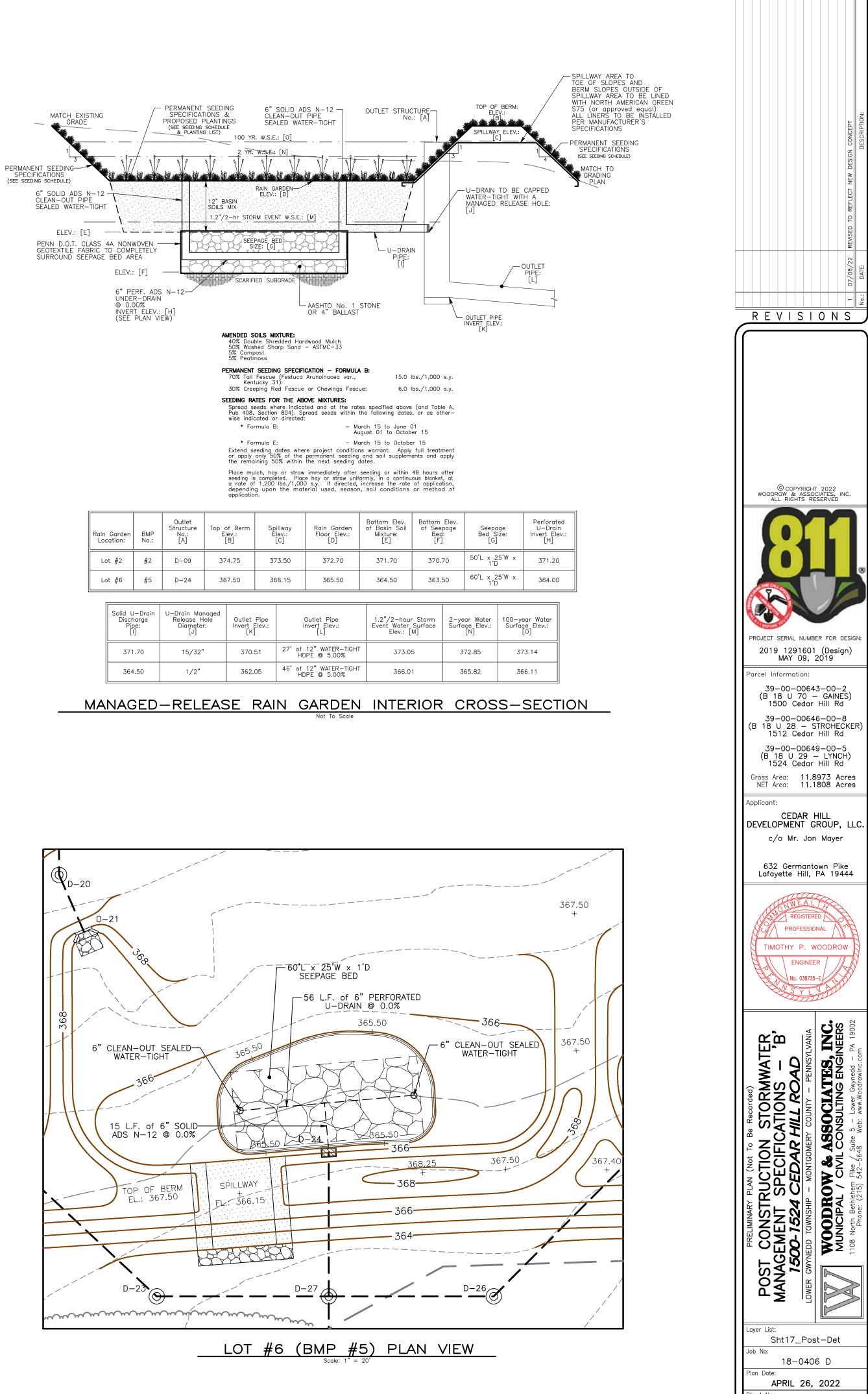
17 of 25

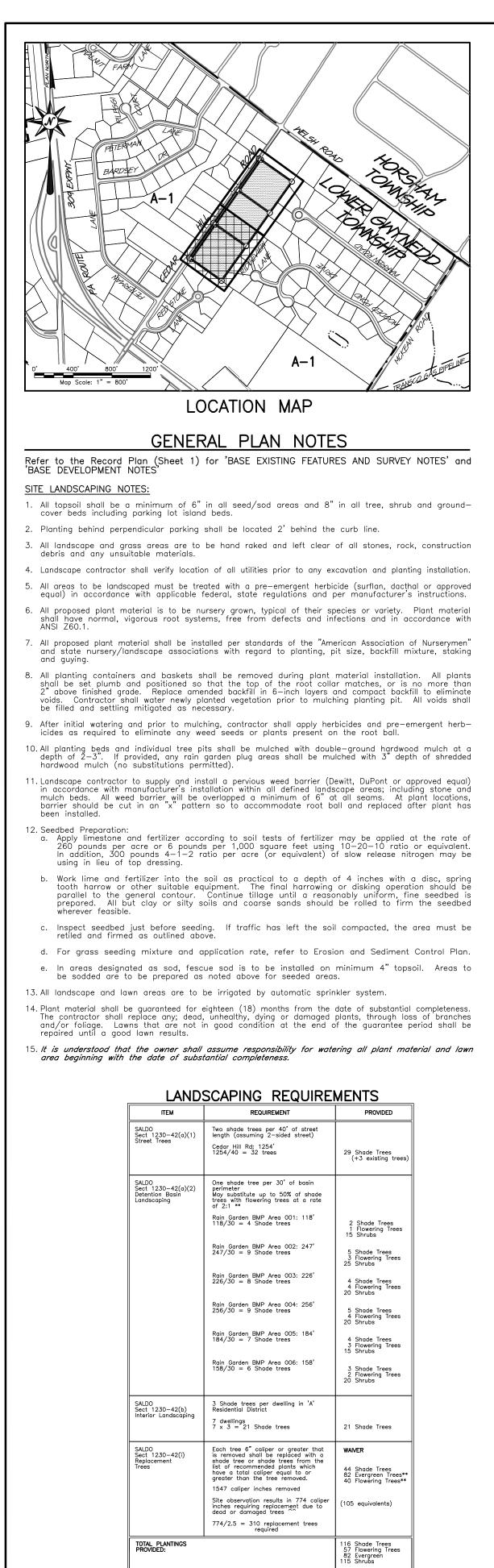
							OUTLET PIF INVERT ELE [G]	PE V.:	OUTLET PIPE:
		_ELEVA	<u>TION 'A-A'</u>				_ELEVATIO	<u>)N 'B-B'</u>	
Rain Garden Location:	BMP No.:	Top of Structure Elev.: [A]	Rain Garden Floor Elev.: [B]	Bottom Elev. of Basin Soil Mixture: [C]	Rectangular Weir Invert Elev.: [D]	U—Drain Invert Elev.: [E]	U–Drain Managed Release Hole Diameter: [F]	Outlet Pipe Invert Elev.: [G]	Outlet Pipe: [H]
Lot #2	#2	373.50	372.70	371.70	1.40' WEIR @ ELEV.: 373.10	371.70	15/32"	370.51	27' of 12" WATER-TIGHT HDPE © 5.00%
			365.50	364.50	1.00' WEIR @	364.50	1/2"	362.05	46' of 12" WATER-TIGHT HDPE © 5.00%

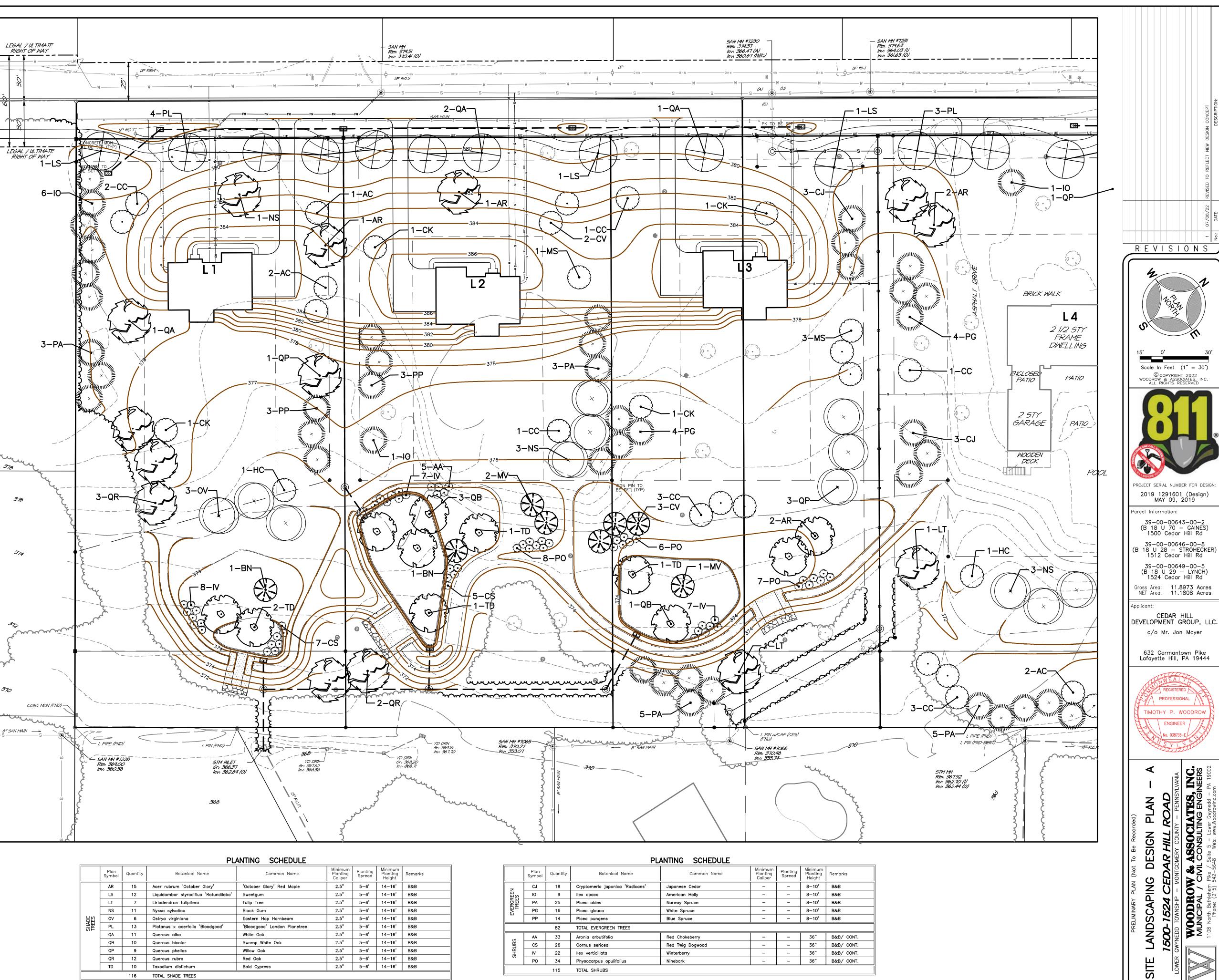
Not to Scale

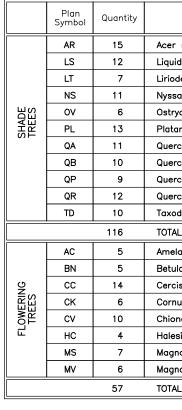


	Lot #2		#2	D-09		
	Lot #6		# 5	D-24		
L	г					
			J–Drain harge be: I]	U—Drain Mar Release H Diameter [J]		
	3		.70	15/32"		
	364		⊦. 50	1/2"		
MANAGED-REL						









PLAN LEGEND

** Evergreen and flowering trees proposed at a rate of 2:1 and shrubs proposed at a rate of 10:1 to promote greater diversity.

■ Tract Boundary Line - - - Existing Right-of-Way Line _____ – ____ – ____ Existing Right-of-Way Centerline • — — • — — Municipal Boundary Line _____ Existing Topographic Contour RsB Existing Soil Series Limits ____ 👐 ____ Mapped Wetlands Limit

^ Per Arborist report dated 2/24/2021

----- Existing Storm Sewer Piping -----s------s------s Existing Sanitary Sewer Piping Existing Woodlands Dripline

Botanical Name	Common Name	Minimum Planting Caliper	Planting Spread	Minimum Planting Height	Remarks
er rubrum 'October Glory'	'October Glory' Red Maple	2.5"	5-6'	14–16'	B&B
uidambar styraciflua 'Rotundiloba'	Sweetgum	2.5"	5-6'	14–16'	B&B
iodendron tulipifera	Tulip Tree	2.5"	5-6'	14-16'	B&B
ssa sylvatica	Black Gum	2.5"	5-6'	14–16'	B&B
trya virginiana	Eastern Hop Hornbeam	2.5"	5-6'	14–16'	B&B
itanus x acerfolia 'Bloodgood'	'Bloodgood' London Planetree	2.5"	5-6'	14–16'	B&B
ercus alba	White Oak	2.5"	5-6'	14–16'	B&B
ercus bicolor	Swamp White Oak	2.5"	5-6'	14–16'	B&B
ercus phellos	Willow Oak	2.5"	5-6'	14–16'	B&B
ercus rubra	Red Oak	2.5"	5-6'	14–16'	B&B
kodium distichum	Bald Cypress	2.5"	5-6'	14–16'	B&B
TAL SHADE TREES					
nelanchier canadensis	Serviceberry	-	4-5'	8-10'	B&B, Multi-stem
tula nigra	River Birch	-	4–5'	8–10'	B&B, Multi-stem
rcis canadensis	Eastern Redbud	-	4–5'	8-10'	B&B, Single leader
rnus kousa	Chinese Dogwood	-	4–5'	8–10'	B&B, Single leader
ionanthus virginicus	Fringetree	-	4–5'	8-10'	B&B, Single leader
lesia carolina	Carolina Silverbell	-	4–5'	8–10'	B&B, Single leader
gnolia x soulangeana	Saucer Magnolia	-	4–5'	8–10'	B&B, Single leader
gnolia virginiana	Sweetbay Magnolia	-	4–5'	8–10'	B&B, Multi-stem
TAL FLOWERING TREES					

iver List

b No:

an Date

heet No:

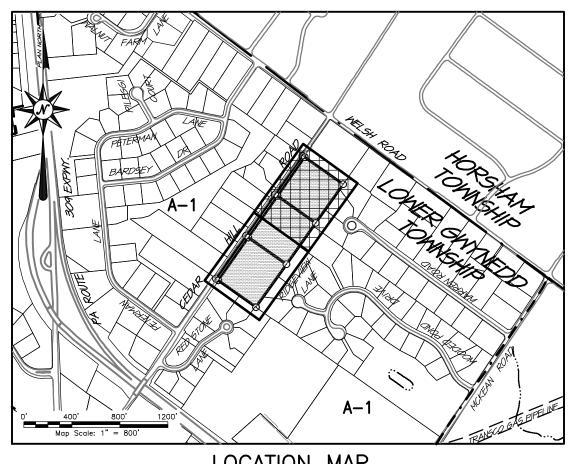
Sht18_Land-A

18-0406 D

APRIL 26, 2022

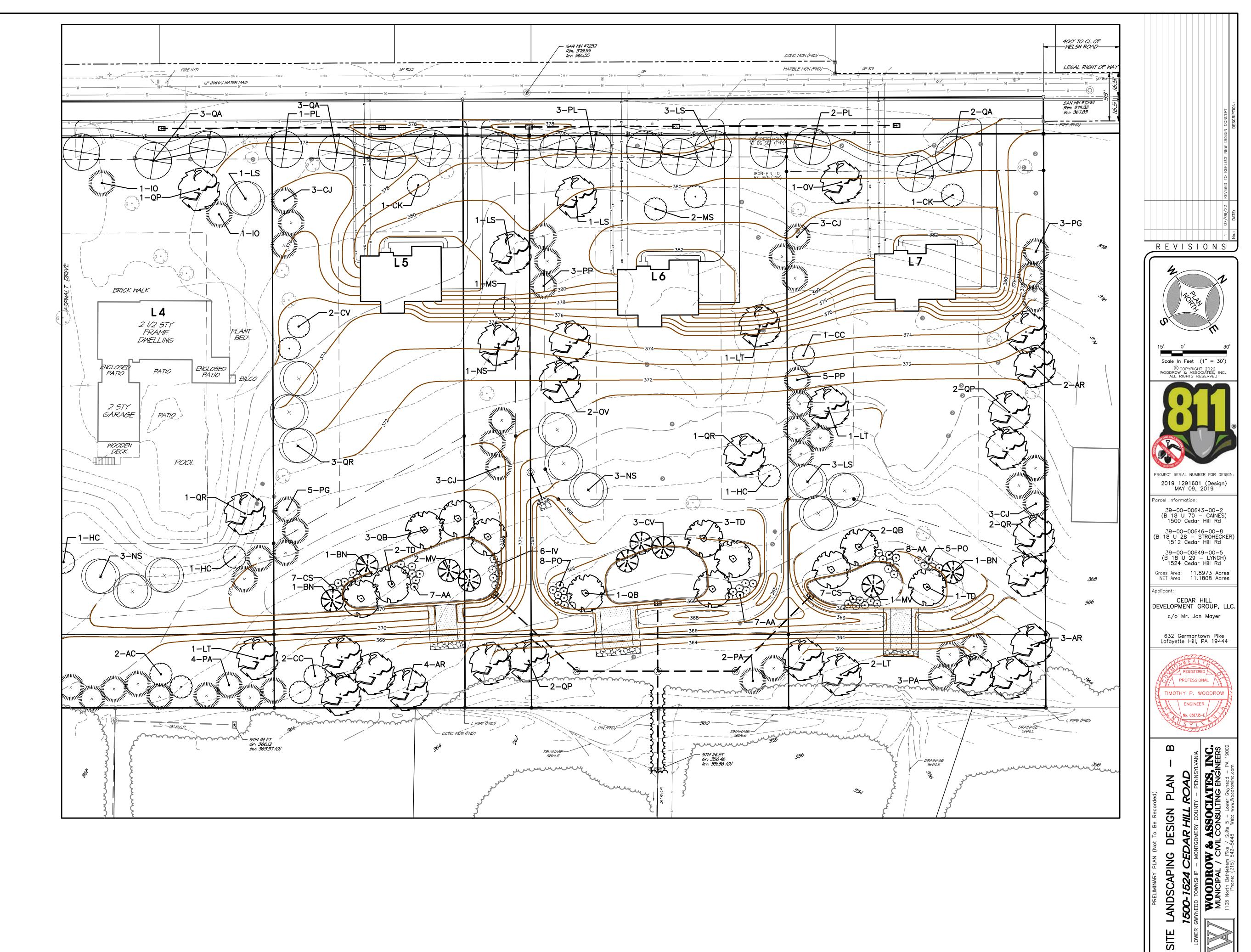
18 of 25

	Plan Symbol	Quantity	Botanical Name	Common Name
7	CJ	18	Cryptomeria japonica 'Radicans'	Japanese Cedar
SEE	10	9	llex opaca	American Holly
REE	PA	25	Picea abies	Norway Spruce
EVERGREEN TREES	PG	16	Picea glauca	White Spruce
	PP	14	Picea pungens	Blue Spruce
		82	TOTAL EVERGREEN TREES	
(0	AA	33	Aronia arbutifolia	Red Chokeberry
SHRUBS	CS	26	Cornus sericea	Red Twig Dogwood
HR H	IV	22	llex verticillata	Winterberry
0,	PO	34	Physocarpus opulifolius	Ninebark
		115	TOTAL SHRUBS	



LOCATION MAP





Sht19_Land-B

18-0406 D

APRIL 26, 2022

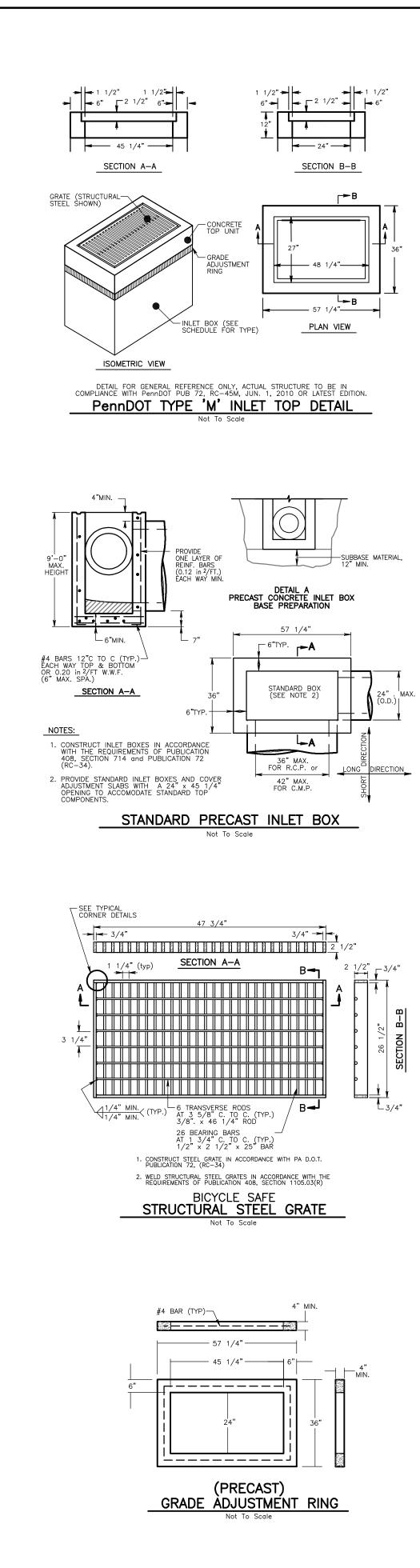
19 of 25

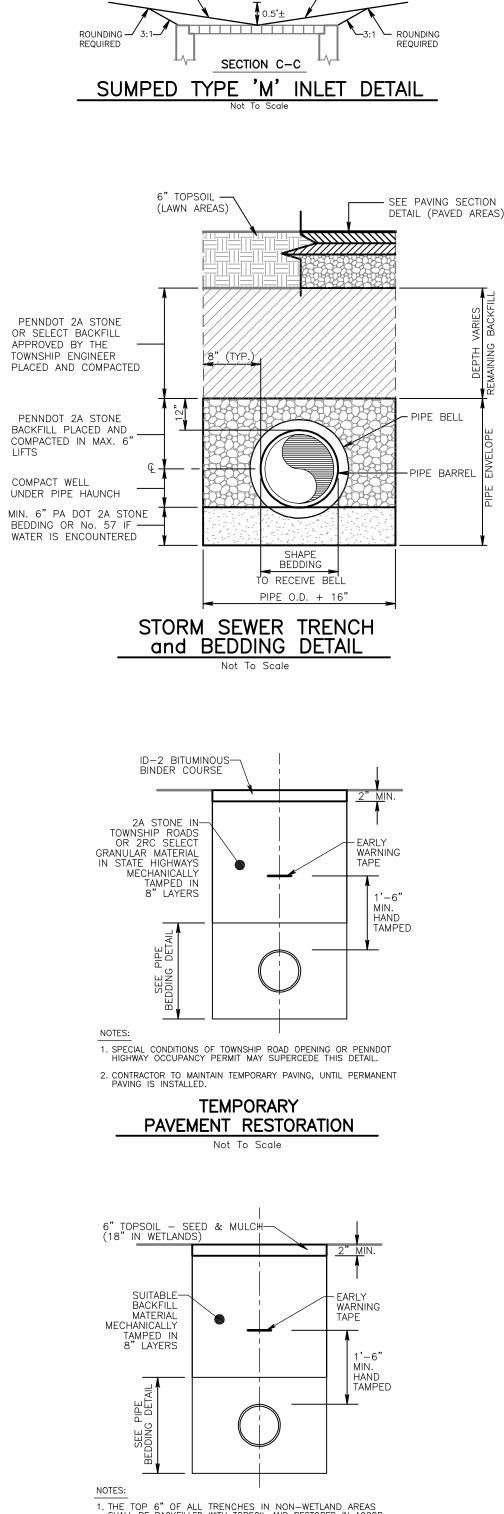
ayer List:

Job No:

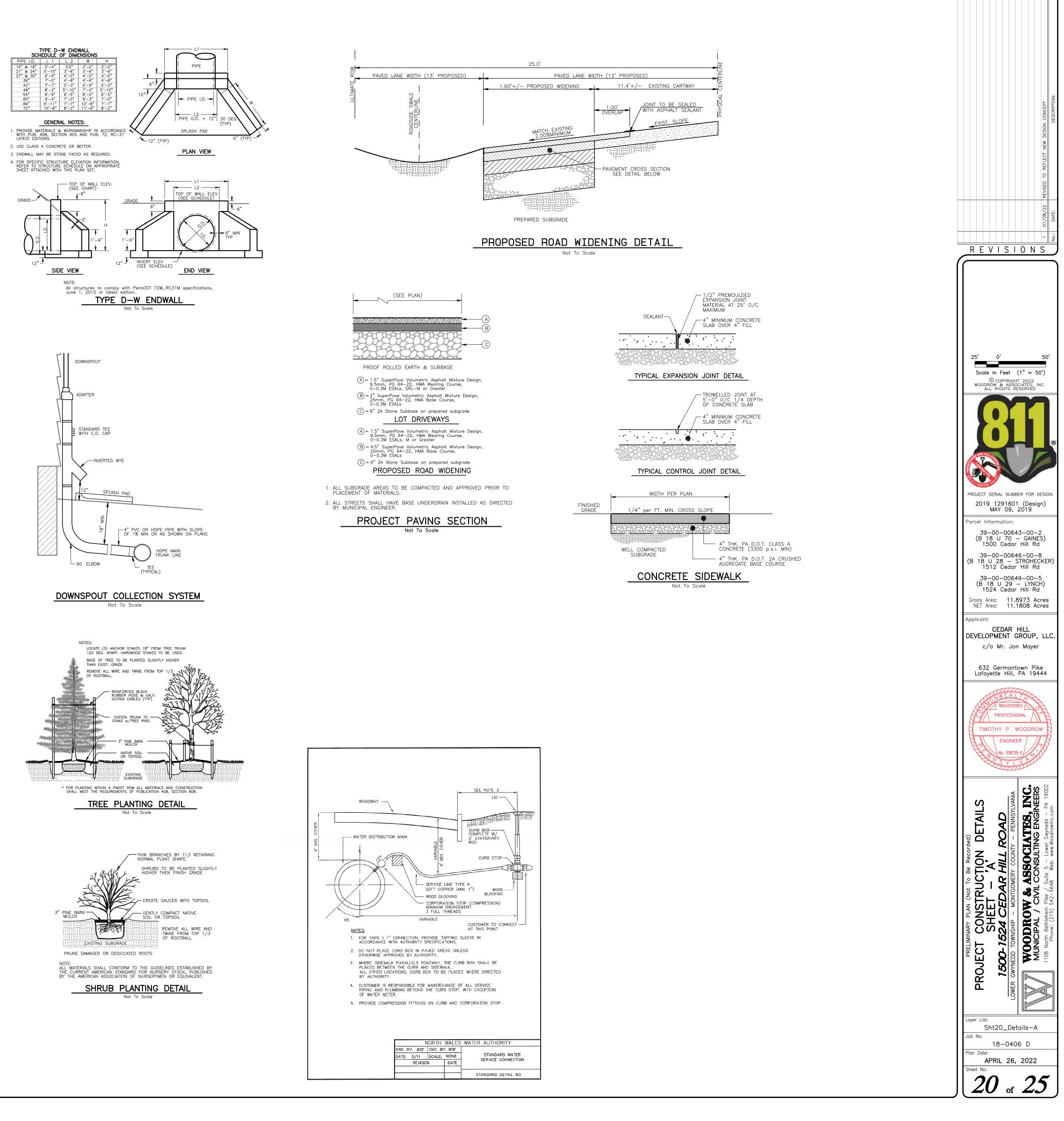
'lan Date:

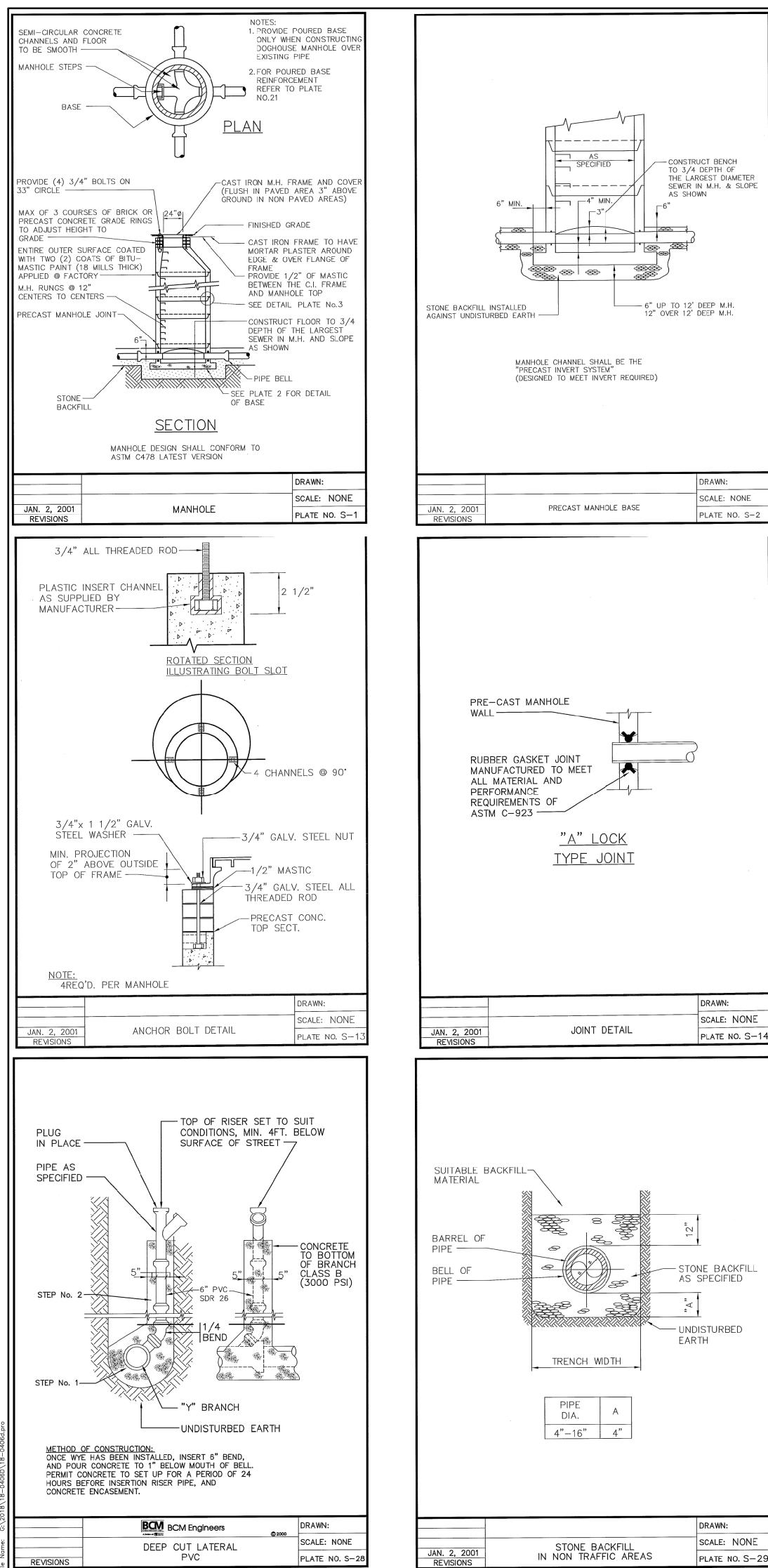
Sheet No:

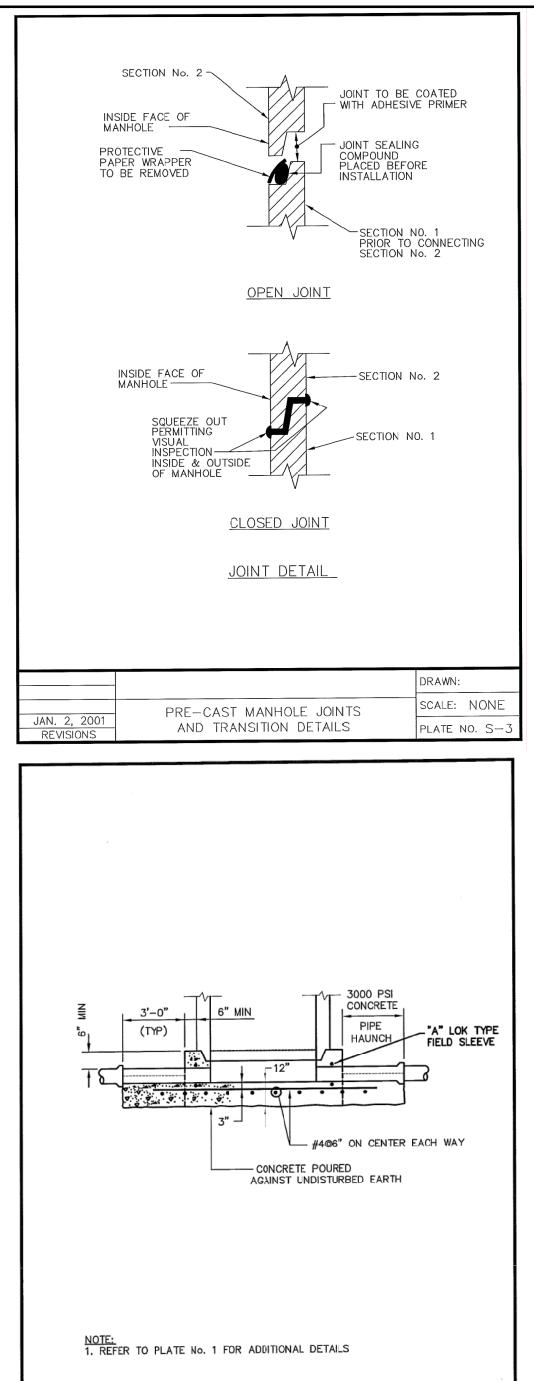


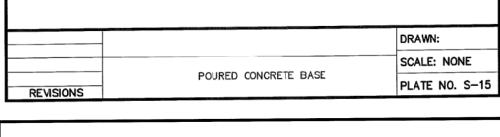


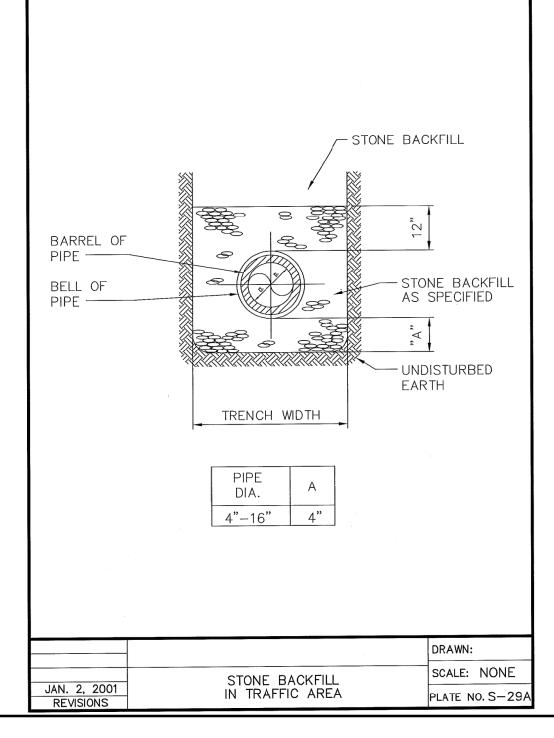
1. THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RESTORED IN ACCOR-DANCE WITH SPECIFICATIONS NOTED ON PLANS. 2. THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED WITH PREVIOUSLY STRIPPED TOPSOIL AND RE-STORED IN ACCORDANCE WITH SPECIFICATIONS NOTED ON PLANS. **RESTORATION IN** UNPAVED AREAS Not To Scale

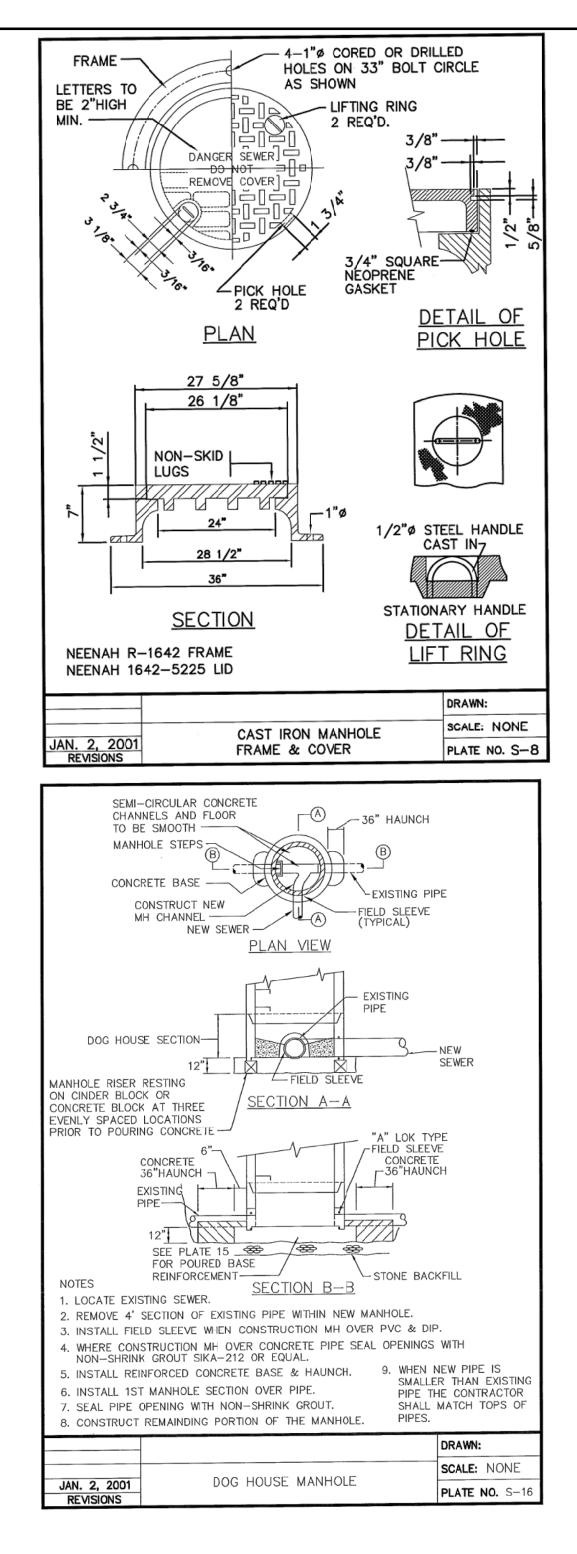


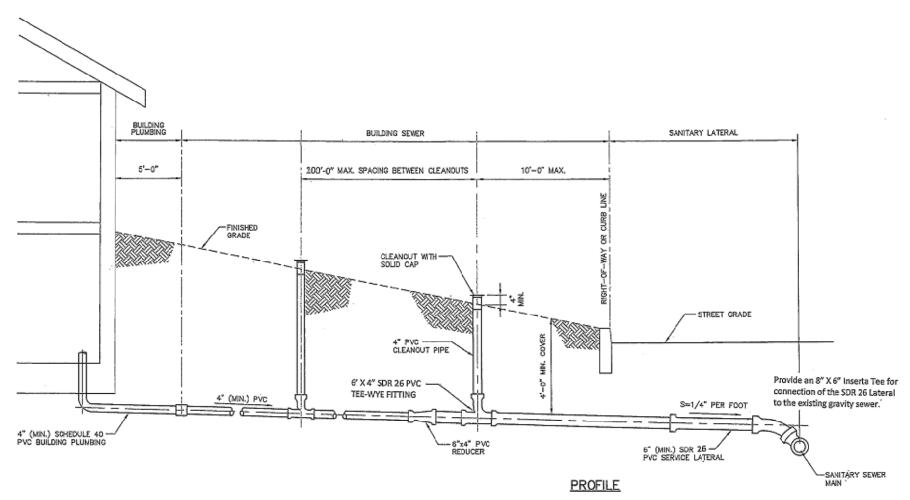


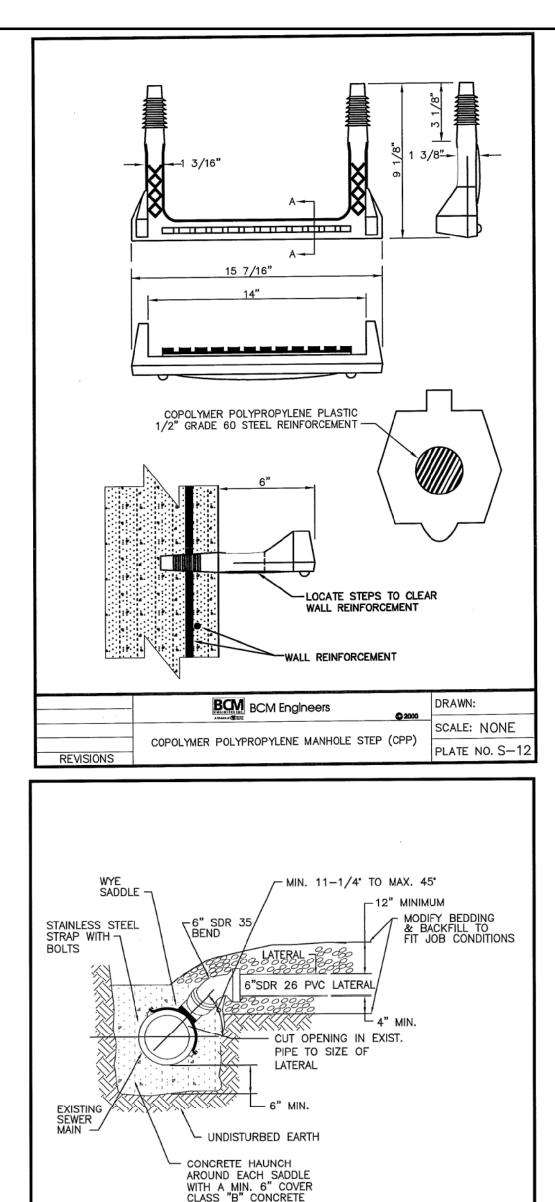




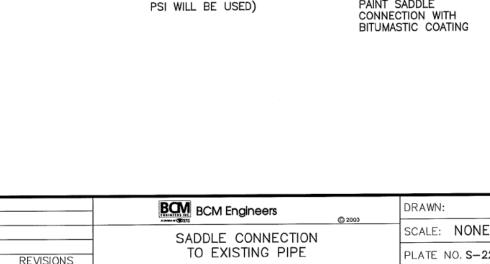












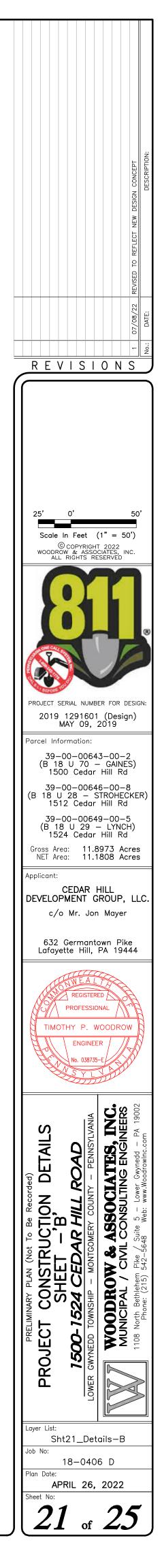
(3000 PSI ALL TRENCHES OTHER THAN STATE

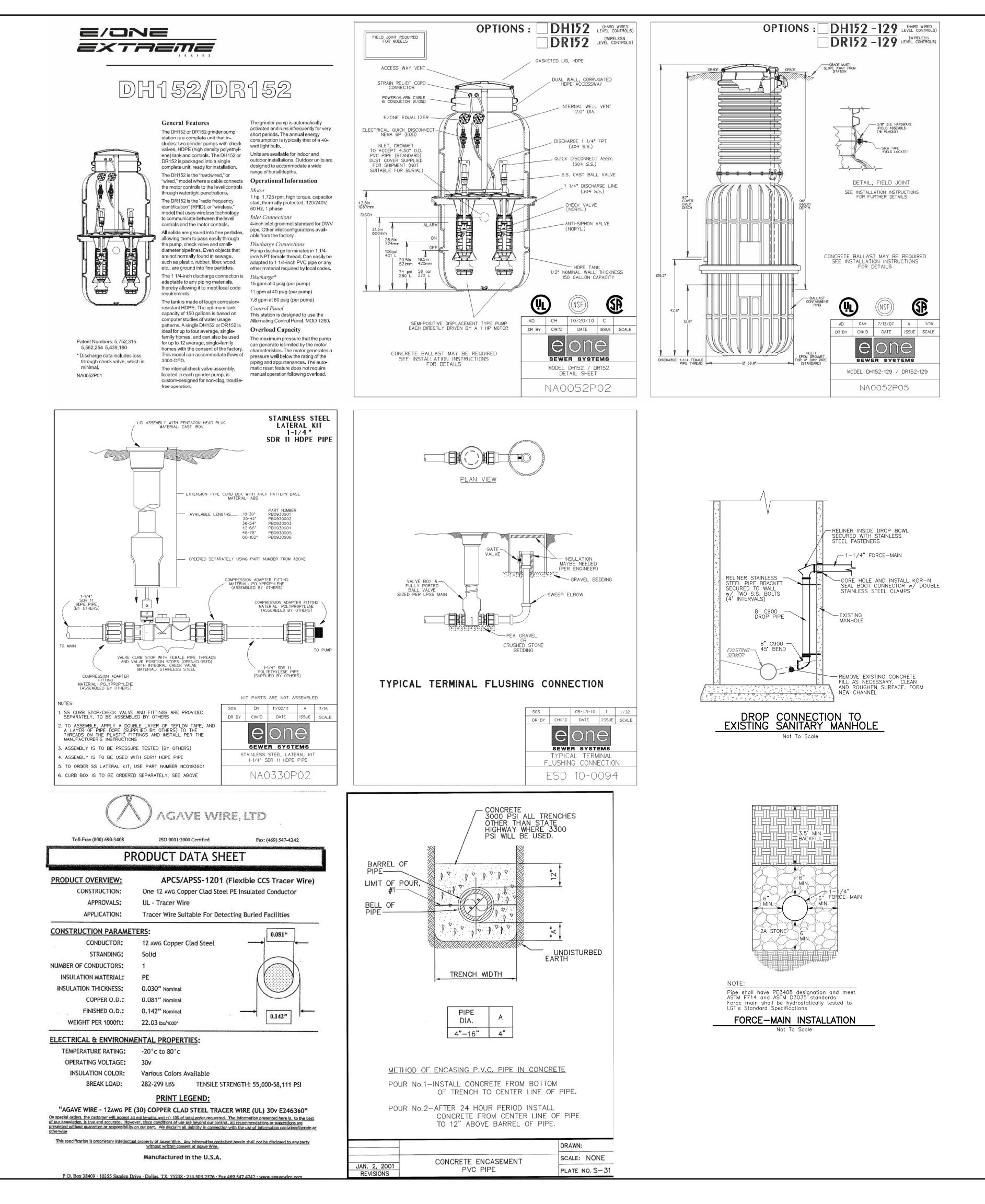
HIGHWAYS WHERE 3300

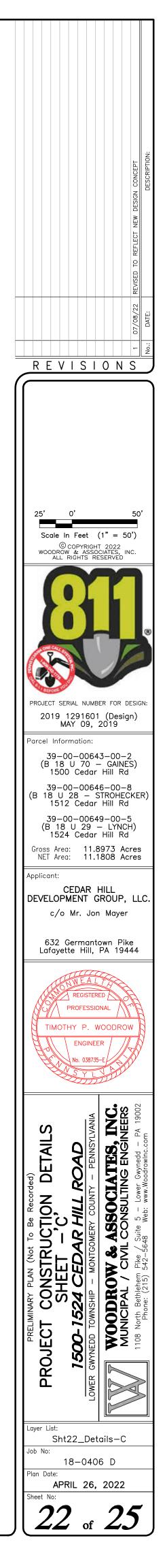
TYPICAL BUILDING SEWER INSTALLATION

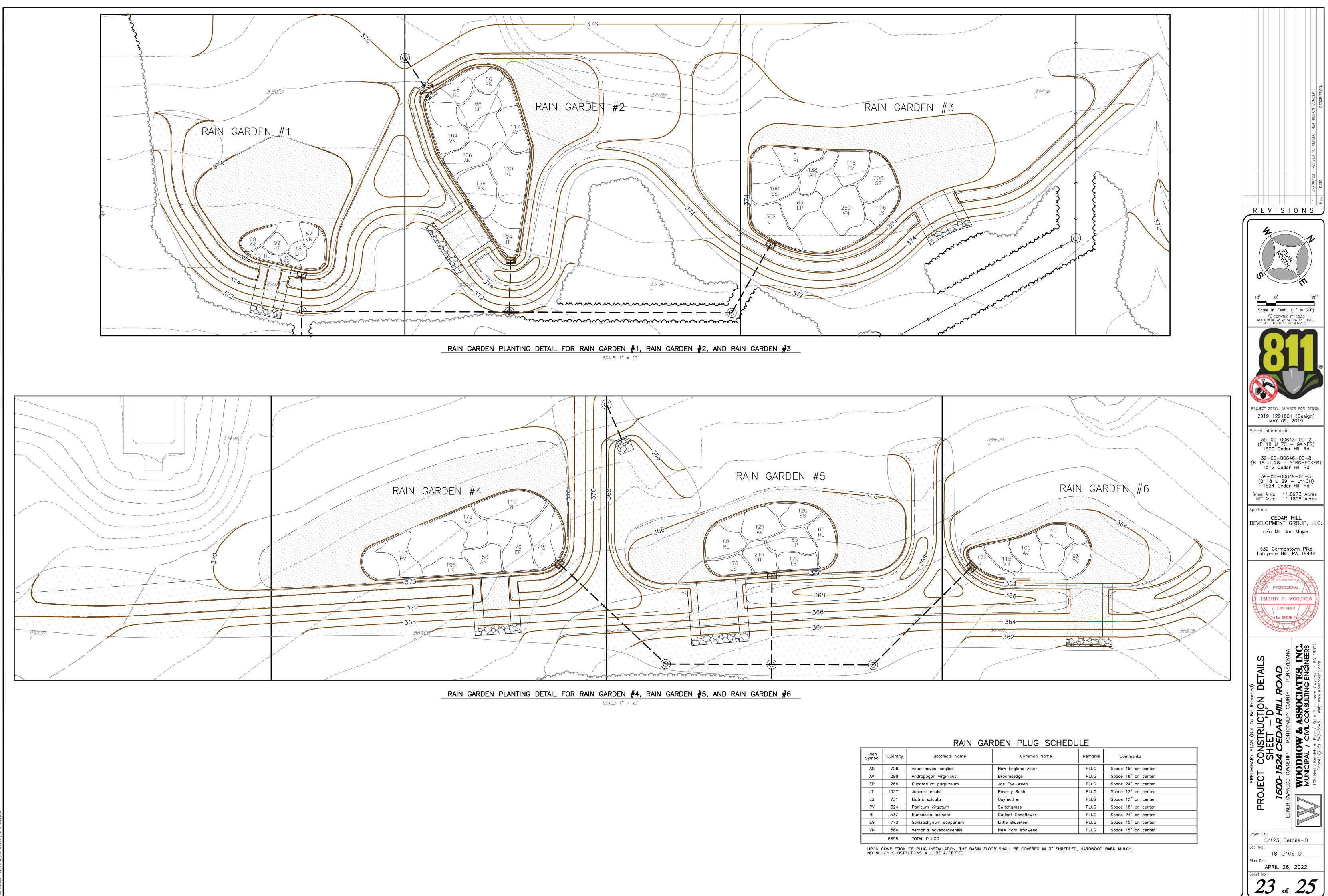
NO SCALE

Lower Gwynedd Township Sewer Lateral Profile

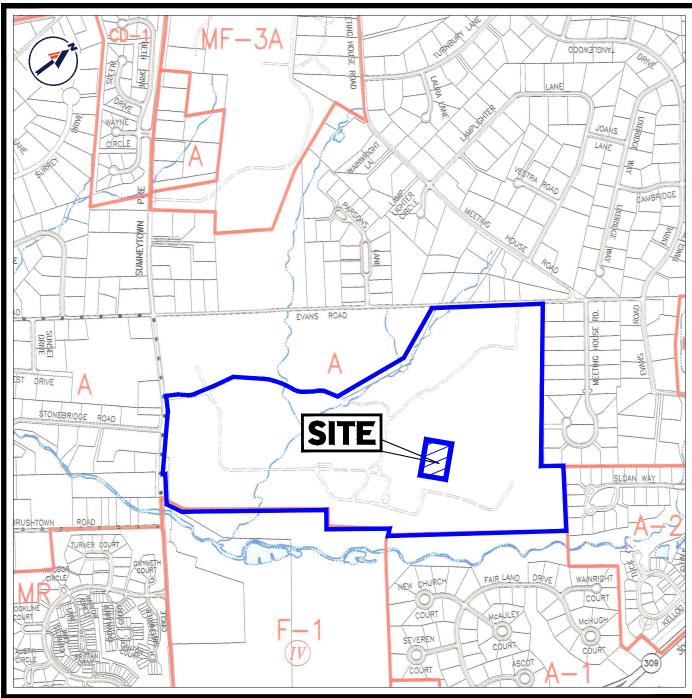








Plan Symbol	Quantity	Botanical Name	Common Name	Remarks	Comments
AN	726	Aster novae—angliae	New England Aster	PLUG	Space 15" on center
AV	298	Andropogon virginicus	Broomsedge	PLUG	Space 18" on center
EP	286	Eupatorium purpureum	Joe Pye-weed	PLUG	Space 24" on center
JT	1337	Juncus tenuis	Poverty Rush	PLUG	Space 12" on center
LS	731	Liatris spicata	Gayfeather	PLUG	Space 12" on center
PV	324	Panicum virgatum	Switchgrass	PLUG	Space 18" on center
RL	537	Rudbeckia lacinata	Cutleaf Coneflower	PLUG	Space 24" on center
SS	770	Schizachyrium scoparium	Little Bluestem	PLUG	Space 15" on center
VN	586	Vernonia noveboracensis	New York Ironweed	PLUG	Space 15" on center
	5595	TOTAL PLUGS			

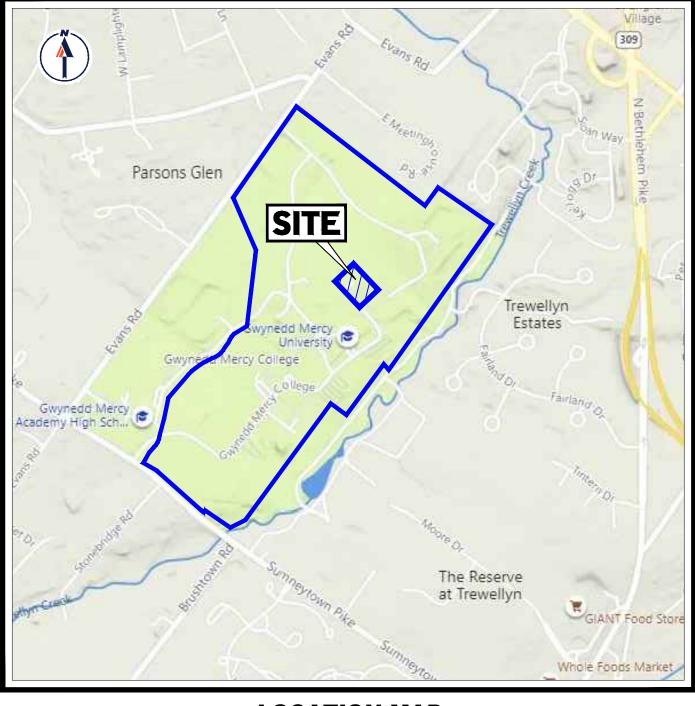


WAIVER OF LAND DEVELOPMENT PLANS

PROPOSED COURTYARD IMPROVEMENTS **GWYNEDD MERCY UNIVERSITY**

1325 SUMNEYTOWN PIKE LOWER GWYNEDD TOWNSHIP MONTGOMERY COUNTY COMMONWEALTH OF PENNSYLVANIA **BLOCK 8, UNIT 24** APN #39-00-03955-00-2

ZONING MAP SCALE: 1" = 1,000' SOURCE: LOWER GWYNEDD TWP.



LOCATION MAP SCALE: 1" = 1,000' SOURCE: BING MAPS

PREPARED BY



MT		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION. DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER.				
	-	REVISIONS					
⊢	~	REVISIONS	DRAWN BY				
REV	DATE	COMMENT PER FIRE MARSHAL	CHECKED BY				
1	06/02/2023	PER FIRE MARSHAL COMMENTS	GJH				
		w what's below .					
	KNU	Call before you dig.					
		PENNSYLVANIA LL 811 BEFORE ANY EXCAVATIO S ON PRIVATE OR PUBLIC LAND					
		1-800-242-1776 www.pa1call.org					
N		PPROVED FC)R				
	CON	ISTRUCTION					
	THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY						
	REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONSTRUCTION</u> <u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.						
REVIEV	V AND APPROVA DOCUMENT	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE.					
PRO	JECT No.:	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE.	0063.00 MAM				
PRO DRA CHE DAT	JECT No.: WN BY: CKED BY: E:	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2	0063.00 MAM GJH 27/2023				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.:	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220	0063.00 MAM GJH 27/2023				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT:	L. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/: PAA220063.01-Cl	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT:	IL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-CI	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT:	IL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/: PAA220063.01-CI ER OF LAN ELOPMENT	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT:	IL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-CI	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT:	IL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/: PAA220063.01-CI ER OF LAN ELOPMENT	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: WAIV	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/: PAA220063.01-CI ELOPMENT PLANS FORFOR	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: WAIV	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI CER OF LAN ELOPMENT PLANS FORFOR WYNEDD	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (A/2) PAA220063.01-CI CER OF LANS ELOPMENT PLANS FOR FOR FOR SWYNEDD MERCY	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI CER OF LAN ELOPMENT PLANS FOR FOR FOR WYNEDD MERCY NIVERSITY	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-CI ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD IPROVEMENTS	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD PRO	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (7) PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA20 PAA2	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD PRO	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER (LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CROFLANS ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD PROVEMENTS INCE HALL TRIPLEX	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD PRO	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROP(IM RESIDE 1325 S LOWER (MONTG)	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (7) PAA220063.01-CI (7) PAA220063.01-CI (7) PAA220063.01-CI (7) PAA220063.01-CI (7) PAA220063.01-CI (7) PAA220063.01-CI (7) PAA220 (7) PAA220063.01-CI (7) PAA220 (7) PAA20 PAA20 (7) PAA20 (7) PAA20 (7) PAA20	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD PRO	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROP(IM RESIDE 1325 S LOWER (MONTG)	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA	0063.00 MAM GJH 27/2023 NDS-1A				
PRO DRA CHE DATI CAD PRO	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROP(IM RESIDE 1325 S LOWER (MONTG)	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (CROFLAN) PAA220063.01-CI (CROFLAN) PAA220063.01-CI (CROFLAN) PAA220063.01-CI (CROFLAN) PAA220063.01-CI (CROFLAN) PAA220 (CROPMENT) PAA220 (CROFLAN) PAA20 (CROFLAN) PAA20 (0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VAND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV O UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI CR OF LANS ELOPMENT PLANS FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (FOR JANS FOR FLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (FOR FLANS FOR FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA HEER SWYNEDD TOWNSH OMERY COUNTY, PA	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (2) PAA2	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (2) PAA2	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (2) PAA2	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (2) PAA2	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (CR OF LAN) PAA220063.01-CI (2) PAA2	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA2000F PAA220063.01-CI PAA220063.01-CI PAA200PMENTS PAA200P	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220	0063.00 MAM GJH 27/2023 NDS-1A				
PRODRACHE	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA2000F PAA220063.01-CI PAA220063.01-CI PAA200PMENTS PAA200P	0063.00 MAM GJH 27/2023 NDS-1A				
	VANDAPPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA220 PAA220063.01-CI PAA2000F PAA220063.01-CI PAA220063.01-CI PAA200PMENTS PAA200P	0063.00 MAM GJH 27/2023 NDS-1A				
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O I 1325 S LOWER O I 1325 S LOWER O I 1325 S LOWER O I 1325 S LOWER O I I 1325 S LOWER O I I I I I I I I I I I I I I I I I I I	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 CR OF LANS PAA220063.01-CI FOR FOR FOR FOR SED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SINCE HALL TRIPLEX SINCE	0063.00 MAM GJH 27/2023 NDS-1A				
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: WAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO 1600 MAN CHA Phon Fax: WW. BOH GEOK PROFE INSTRUCTOR	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 TPAA220063.01-CI PAA2000 PAA20	0063.00 MAM GJH 27/2023 NDS-1A				
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: WAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO 1600 MAN CHA Phon Fax: WW. BOH GEOK PROFE INSTRUCTOR	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 CR OF LANS PAA220063.01-CI FOR FOR FOR FOR SED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SINCE HALL TRIPLEX SINCE	0063.00 MAM GJH 27/2023 NDS-1A				
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: WAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO 1600 MAN CHA Phon Fax: WW. BOH GEOK PROFE INSTRUCTOR	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 TPAA220063.01-CI PAA2000 PAA20	0063.00 MAM GJH 27/2023 NDS-1A				
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: WAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO 1600 MAN CHA Phon Fax: WW. BOH GEOK PROFE INSTRUCTOR	LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 CR OF LANS PAA220063.01-CI PAA2000 PAA20	0063.00 MAM GJH 27/2023 NDS-1A				
		LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-CI PAA2000	0063.00 MAM GJH 27/2023 NDS-1A				
		LITIS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 CR OF LANS PAA220063.01-CI PAA2000 PAA20	0063.00 MAM GJH 27/2023 NDS-1A				

REVISION 1 - 06/02/2023

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING PLAN	C-401
UTILITY PLAN	C-501
SOIL EROSION AND SEDIMENT POLLUTION CONTROL PLAN	C-601
SOIL EROSION AND SEDIMENT POLLUTION CONTROL NOTES & DETAILS	C-602
LIGHTING PLAN	C-701
LANDSCAPE PLAN	C-702
DETAILS SHEET	C-901, C-902
FIRE TRUCK CIRCULATION PLAN	C-903

GENERAL NOTES

- **DEMOLITION NOTES** (Rev. 1/2023)

 - SPECIFIC NOTES.
 - ADJACENT TO THE RIGHT-OF-WAY.

 - ITEMS TO BE DEMOLISHED REMOVED AND/OR TO REMAIN WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
 - THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND
 - CONTRACTOR AND THE PUBLIC THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING
 - BETTER CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE
 - AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.

 - ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
 - STATUTES LAWS ORDINANCES AND CODES 10. PRIOR TO COMMENCING ANY DEMOLITION. THE CONTRACTOR MUST:
 - WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK HOURS PRIOR TO THE COMMENCEMENT OF WORK INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED
 - . IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.

 - ACTIVITIES
 - ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON
 - WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND PROFESSIONAL OF RECORD AND BOHLER, THE
 - DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.
 - WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
 - SUCH REPORTS AND RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER 14. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE. NECESSARY AND REQUIRED TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.
 - RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST
 - RIGHT-OF-WAY
 - CONTRACTOR'S SOLE COST LE CONTRACTOR MUST EMPTY EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST

GRADING NOTES

- GENERAL SPECIFIC NOTES.
- IURISDICTION OVER THIS PROJECT
- THE CONTRACTOR COMMENCING ANY WORK.
- BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING.
- ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO DISCREPANCY(IES) AND/OR CONFLICT(S).
- TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. SITE SPECIFIC
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE IS PROVIDED IN BOTH PAVED AND LAWN AREAS AFTER CONSTRUCTION. THE MINIMUM AWN AREAS. ANY LOCALIZED DEPRESSIONS MUST BE ELIMINATED.
- RULES, STATUTES, LAWS, ORDINANCES, AND CODES.
- RETAINING WALL DESIGNS (BY OTHERS)

- THESE PLANS ARE SOLED Y BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING PENNSYLVANIA LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER . IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS, ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING. BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF
- CONSTRUCTION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS BUILES REGULATIONS STATUTORY REQUIREMENTS CODES LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE
- MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL ELECTRICAL PLUMBING AND FIRE SUPPRESSION PLANS WHERE APPLICABLE) THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER ARCHITECT AND PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT
- LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, IF ANY CONFLICTS, DISCREPANCIES. OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING PROFESSIONAL OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE
- DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED
- FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS. THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT DISCREPANCY OR AMBIGUITY THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS. PRIOR TO PROCEEDING WITH ANY FURTHER WORK, IF A GEOTECHNICAL REPORT WAS NOT CREATED. THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL. COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.
- PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC.
- WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS
- SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY
- DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION. AND IN CONFORMANCE WITH APPLICABLE CODES. LAWS. RULES REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME, THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE PROFESSIONAL OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY SAME BEING WHOLLY OUTSIDE OF PROFESSIONAL OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME.
- THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE PROFESSIONAL OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY. DEFEND AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES. COSTS. INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS.
- THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S AILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES CLAIMS AND DAMAGES THAT PROFESSIONAL OF RECORD AND BOHLER SUFFER AND ANY AND ALL COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS RELATED TO SAME.
- ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL MBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER , AND ITS PAST, PRESENT AND FUTURE DWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES AFFILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND. IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED LINDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST PRESENT AND FUTURE OWNERS OFFICERS DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS EMPLOYEES AFEILIATES SUBSIDIARIES AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, IABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT. INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY PROFESSIONAL OF RECORD, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO
- ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER NOR THE PRESENCE OF BOHLER AND/OR ITS PAST PRESENT AND FUTURE OWNERS OFFICERS DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS EMPLOYEES AFEILIATES
- SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE
- AS DESCRIBED ABOVE WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS. SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME, BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS. AS CONDITIONS PERMIT, ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY
- BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN PROFESSIONAL OF RECORD'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH
- FEDERAL STATE AND LOCAL REQUIREMENTS. FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER PARTIES. HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO
- APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS. AND/OR ANY OTHER AGENCY
- WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. PROFESSIONAL OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK. HE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO THEY AGREE TO JOINTLY INDEPENDENTLY SEPARATELY COLLECTIVELY AND SEVERALLY INDEMNIEY DEFEND PROTECT AND HOLD PROFESSIONAL OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT PROFESSIONAL OF RECORD SUFFERS AND COSTS THAT PROFESSIONAL OF RECORD INCURS AS A RESULT OF SAID FAILURE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES. INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP. INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES. AS APPROPRIATE AND FURTHER THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER, THE USE OF THE
- VORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE. EITHER EXPRESSED OR IMPLIED. UNDER ANY CIRCUMSTANCES.

1 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON JNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL

(Rev. 1/2023)

PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK, ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE

STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, WUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIR CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER. COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY

THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. THE CONTRACTOR MUST IN WRITING RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJEC INY SUCH CONCERNS MUST BE CONVEYED TO THE PROFESSIONAL OF RECORD AND BOHLER , IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE PROFESSIONAL OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN

THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED. REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES,

A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS

LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES PROTECT AND MAINTAIN IN OPERATION. ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION

ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE PROFESSIONAL OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND

IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA

. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER 2. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC 3. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM. OR INCIDENTAL TO, DEMOLITION ACTIVITIES, BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST E PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHEI SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMI

GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION 15. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE. THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS 16. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME O EXCAVATION, STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED. INCLUDING BUT NOT LIMITED TO, THE PUBLIC 17. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED. ABANDONED IN PLACE. OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND

WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH

(Rev. 1/2023)

. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING TH GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE PROFESSIONAL OF RECORD AND THE OWNER PRIOR TO

THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL

REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED BEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES LAWS ORDINANCES AND CODES WHICH ARE IN FEFECT AND WHICH ARE APPLICARLE TO THE PROJECT SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL OMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING, OF ANY THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND

SLOPES FOR IMPROVEMENTS ARE 1% ON ALL CONCRETE SURFACES, 1.5% MINIMUM IN ASPHALT (EXCEPT WHERE ADA LIMITS SLOPE), AND 2% IN THE CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES. WHERE THE GRADING ALONG AND ADJACENT TO A BUILDING ARE SCHEMATIC DUE TO A GENERIC BUILDING FOOTPRINT. THE GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE THE MINIMUM REVEAL AS REQUIRED BY THE ARCHITECT AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ALL GRADING AND MINIMUM SLOPES AND SEPARATIONS MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ALL OTHER APPLICABLE REQUIREMENTS.

. THE TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL, WHICH MAY INCLUDE CAP UNITS AND FOOTINGS. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURE DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THE WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED BY THE MUNICIPALITY PRIOR TO THEIR CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL ENSURE THAT FENCING, SUIDERAIL, UTILITIES, AND OTHER SITE FEATURES IN THE VICINITY OF THE WALL(S), SHALL BE CONSIDERED AND INCORPORATED INTO THE 12. ALL DISTURBED TOPSOIL ON THE SITE IS TO BE REDISTRIBUTED ON SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. REMOVAL OF TOPSOIL IS NOT ALLOWED, UNLESS OTHERWISE SPECIFIED BY THE SITE GEOTECHNICAL ENGINEER DUE TO THE SOIL'S UNSUITABILITY FOR PLACEMENT.

ACCESSIBILITY DESIGN GUIDELINES

ALL ACCESSIBLE (A K A ADA) COMPONENTS AND ACCESSIBLE BOUTES MUST BE CONSTRUCTED TO MEET AT A MINIMUM. THE MORE STRINGENT OF (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH. WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES

- THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES. PUBLIC TRANSPORTATION. PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE. BUT ARE NOT LIMITED TO THE FOLLOWING ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%). AN ACCESSIBLE RAMP MUST BE PROVIDED, ALONG THE ACCESSIBLE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END
- OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION, RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES, HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS,
- WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS ANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES IN BARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTICY THE PROFESSIONAL OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
- THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR
- REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

DRAINAGE AND UTILITY NOTES

GENERAL

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIF ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIEV AND CONFIRM
- THOSE LOCATIONS AND SERVICES WITH LOCAL LITULITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND MISSIONS IN WRITING, TO THE PROFESSIONAL OF RECORD.
- THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC SANITARY AND STORM TELEPHONE CABLE FIBER OPTIC CABLE FTC WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE WHICHEVER IS GREATER THE CONTRACTOR MUST USE REFER TO AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION. AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION.
- THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH PRIOR TO COMMENCEMENT OF CONSTRUCTION . STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINI THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF AL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE. JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY
- NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME. ALL FILL COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS
- DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREELILY NOTE ANY INSTALLATIONS THAT DEVIATE IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S). WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY JPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR
- MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY
- COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. 1. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT. PRIOR TO COMMENCING CONSTRUCTION.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES LAWS ORDINANCES AND CODES

SITE-SPECIFIC

- 13 STORM AND SANITARY PIPE I ENGTHS INDICATED IN THE PLANS ARE NOMINAL AND ARE MEASURED FROM THE CENTERS OF INLETS AND MANHOLES 14. UNLESS OTHERWISE NOTED, ALL NEW UTILITIES/SERVICES, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, TELECOM, GAS, ETC. MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDERS INSTALLATION SPECIFICATIONS AND STANDARDS
- 15. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS, MUST BE REPAIRED IN ACCORDANCE WITH THE REFERENCED MUNICIPAL, COUNTY, AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY(IES) HAVING JURISDICTION VARIOUS ASPECTS OF THE UTILITY DESIGNS DEPICTED ON THE PLANS ARE SCHEMATIC IN ORDER TO PROVIDE PLAN CLARITY OR TO CONVEY A
- DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY CONFIGURE ALL STRUCTURES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL SERVICE PROVIDER OR MANUFACTURER REQUIREMENTS IN ORDER TO ACHIEVE PROPER SITING OPERATION CONNECTIONS SEPARATIONS, AND ACCESSES. THE CONTRACTOR SHALL REVIEW THE PLAN SPECIFICATIONS AND PREPARE STRUCTURE DESIGNS THAT INCORPORATE ANY AND ALL INTEGRAL COMPONENTS, SUCH AS TRASH RACKS, GATES, VALVES, INTERNAL OR EXTERNAL LININGS, WATER QUALITY DEVICES, SUMPS, RESTRAINTS, STEPS, FRAMES AND GRATES, PIPE/CONDUIT CONNECTIONS, MATERIALS, ETC. SHOULD DISCREPANCIES OR CONFLICTS ARISE UPON THE DESIGN OF THESE STRUCTURES OR INCORPORATION OF THE VARIOUS ELEMENTS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD OR BOHLER IN WRITING.

ORM DRAINAGE

- UNLESS INDICATED OTHERWISE, STORM MAINS MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SOIL TIGHT JOINTS. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS SPECIFIED, IT MUST CONFORM TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND BE TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SOIL TIGHT JOINTS. PIPE FOR ROOF DRAINS SHALL BE HDPE, SDR 35 PVC, OR PVC SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS SHALL BE PROVIDED AND CONFORM TO ASTM F477
- 18. A MINIMUM OF FOUR FEET (4') OF HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM STRUCTURES AND OTHER UTILITIES. A MINIMUM OF 18" OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAIN AND STORM SEWER. 19. UNLESS SPECIFIC MUNICIPAL DETAILS DICTATE OTHERWISE, ALL STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST
- RECENT REVISION OF PENNDOT PUBLICATION 408 "SPECIFICATIONS", PUBLICATION 72M "STANDARDS FOR ROADWAY CONSTRUCTION" 20. ALL INLETS SHALL BE PROVIDED WITH BICYCLE SAFE GRATES.
- 21. ALL STORM PIPE CONNECTIONS TO STRUCTURES SHALL BE MADE WATER TIGHT

SITE LAYOUT NOTES

(Rev. 1/2023)

(Rev. 1/2023)

(Rev. 1/2020)

1 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT. . ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A

PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS,

SITE SPECIFIC NOTES

2. PROPERTY OWNER:

UNLESS NOTED CLEARLY OTHERWISE

EXISTING PROPERTY INFORMATION: APN #39-00-03955-00-2 1325 SUMNEYTOWN PIKE, LOWER GWYNEDD, PA 19437

ZONED A - RESIDENTIAL DISTRICT

GWYNEDD MERCY UNIVERSITY 1325 SUMNEYTOWN PIKE, LOWER GWYNEDD, PA 19437

APPLICANT WYNEDD MERCY UNIVERSITY

1325 SUMNEYTOWN PIKE, LOWER GWYNEDD, PA 19437

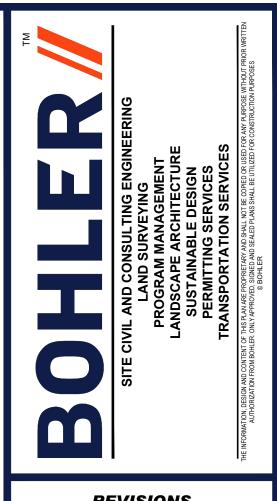
4. HORIZONTAL DATUM IS BASED ON PENNSYLVANIA STATE PLANE SOUTH COORDINATES, NAD 83. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TEMPORARY BENCH MARKS SET:

- TBM-A: MAG NAIL SET IN PAVEMENT ELEVATION=341.66
- TBM-B: MAG NAIL SET IN PAVEMENT ELEVATION=314.82
- TBM-C: MAG NAIL SET IN PAVEMENT ELEVATION=289.41
- TBM-D' MAG NAIL SET IN PAVEMENT
- ELEVATION=304.59

5. THE WETLANDS AND WATERS DELINEATION FLAGS WERE PLACED IN THE FIELD BY VALLEY ENVIRONMENTAL SERVICES, INC. IN JANUARY 2021.

6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE A (THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD). NO BASE FLOOD ELEVATIONS DETERMINED), ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD; WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD)AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER FEMA FIRM MAP NO. 42091CO278G. 7 ALL CURB AND PAVEMENT RADILARE 5' UNLESS OTHERWISE NOTED

8. ALL PROPOSED PINS AND MONUMENTS SHALL BE PLACED AND CERTIFIED BY A LICENSED PENNSYLVANIA PROFESSIONAL SURVEYOR.



	REVISIONS								
REV	DATE	COMMENT	DRAWN BY						
			CHECKED BY						
1	06/02/2023	PER FIRE MARSHAL	MAM						
	00/02/2023	COMMENTS	GJH						



PENNSYLVANIA YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-242-1776

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC EVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DRAWN BY: CHECKED BY DATE CAD I.D.:

PROJECT:

4/27/20 PAA220063.01-CNDS-1

PAA220063.0

GJF

WAIVER OF LAND DEVELOPMENT **PLANS**

— FOR — GWYNEDD MERCY

UNIVERSITY PROPOSED COURTYARD

IMPROVEMENTS **RESIDENCE HALL TRIPLEX**

1325 SUMNEYTOWN PIKE LOWER GWYNEDD TOWNSHIP MONTGOMERY COUNTY, PA

BOHLER

1600 MANOR DRIVE, SUITE 200 **CHALFONT, PA 18914** Phone: (215) 996-9100 Fax: (215) 996-9102 www.BohlerEngineering.com



SHEET TITLE:



REFERENCES AND CONTACT INFORMATION 2. ARCHITECTURAL DESIGN PLANS, DATED: 04/21/2023

PLANS BY CONTROL POINT ASSOCIATES, INC. BY: REGAN/KLINE/CROSS ARCHITECTS 1600 MANOR DRIVE, SUITE 100, CHALFONT, PA 18914 7670 QUEEN STREET, SUITE 200 ENTITLED: "ALTA/NSPS LAND TITLE SURVEY GWYNEDD MERCY WYNDMOOR, PA 19038 ENTITLED: GMU SITE RENOVATIONS UNIVERSITY" FILE NO: 02-200400 DATED: 1/21/21, LAST REVISED 3/1/23 SHEETS 1-10 OF 10 UTILITIES: THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM. INC. (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST SERIAL NUMBER(S): 20203433418 UTILITY COMPANY PHONE NUMBER COMCAST CABLE COMMUNICATIONS, INC. 215-918-3137 COMCAST CABLEVISION 215-961-380 CROWN CASTLE 724-416-2000 LOWER GWYNEDD TOWNSHI 215-646-5302 NORTH WALES WATER 215-699-483 610-292-8057 TRANS CONTINENTAL GAS PIPE CORP. 610-644-7373

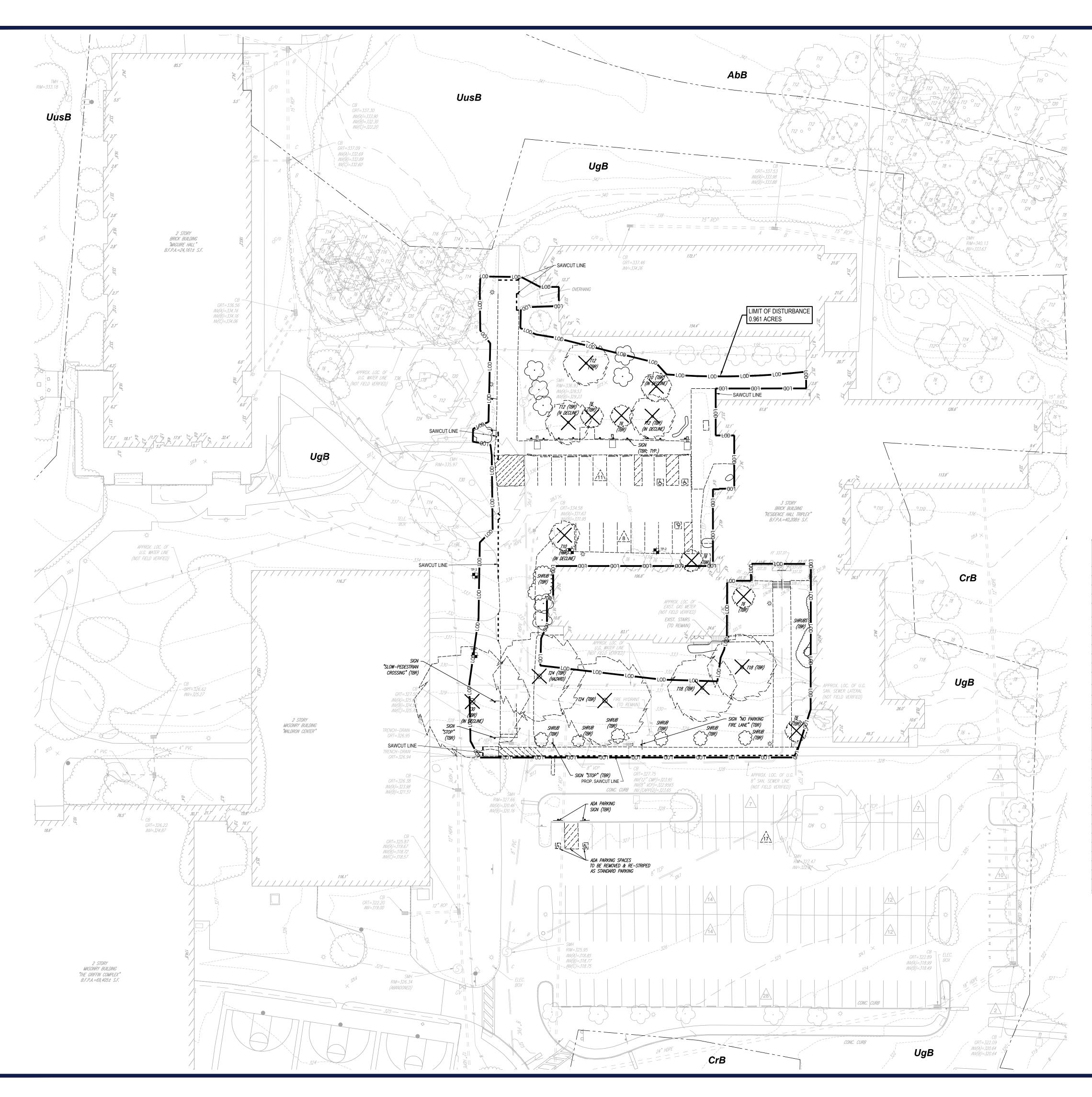
VERIZON

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

215-657-9260

C-102

SHEET NUMBE



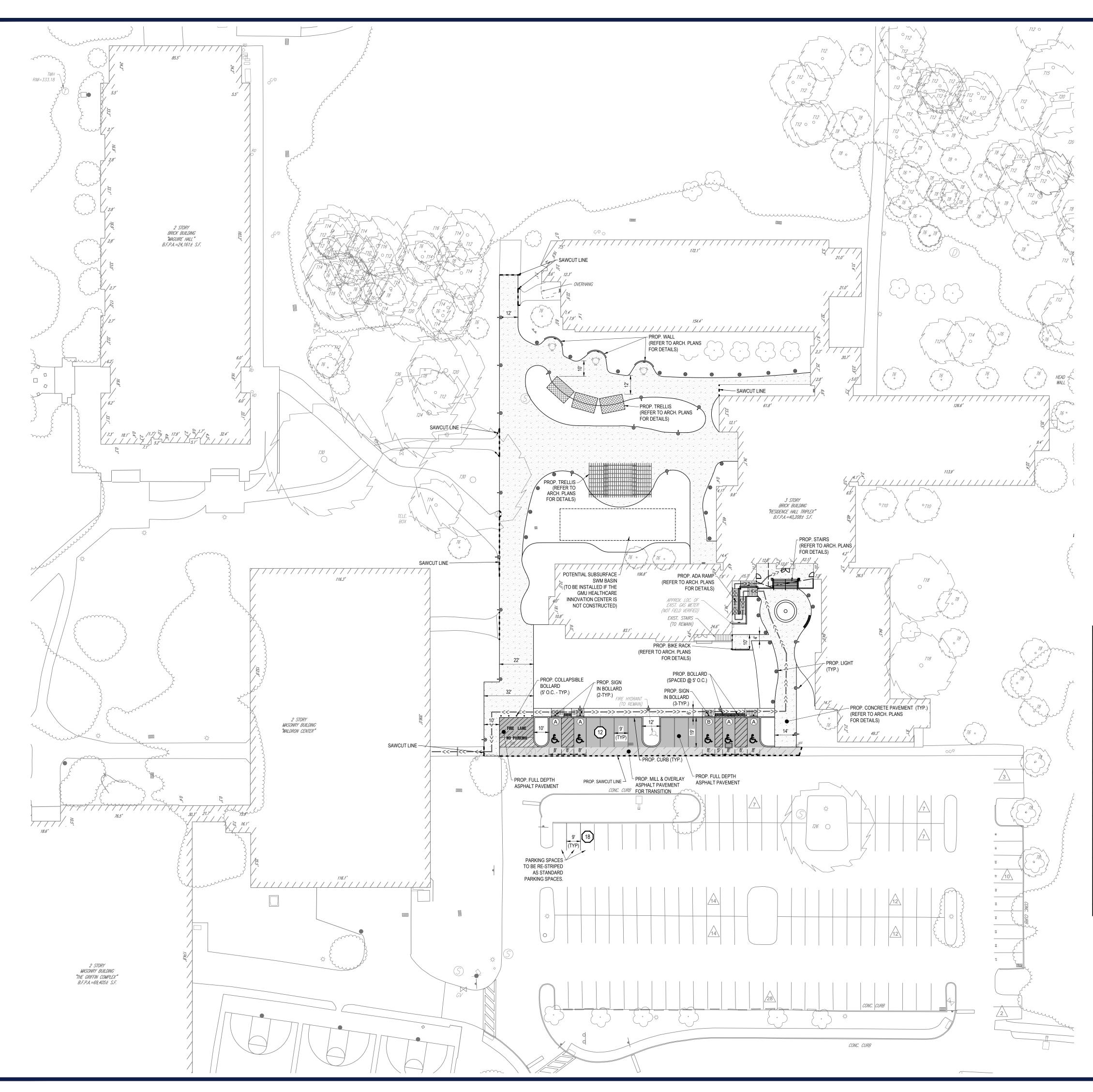
LEGEND	
EXISTING	
PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	——————————————————————————————————————
GUIDE RAIL	I
TREELINE	
ACCESSIBLE SYMBOL	Ē.
CONCRETE MONUMENT/ IRON PIN	• •
SIGN	
PARKING COUNT	10
AREA LIGHT	
TREE	e de la companya de l
DRAINAGE INLET	
STORM/SANITARY MANHOLE	D S
WATER/GAS VALVES	WV GV
ROOF DRAIN/CLEANOUT	0 <i>RD</i> 0 <i>CO</i>
FIRE HYDRANT	V
UTILITY POLE W/ LIGHT	- 0
UTILITY POLE	
OVERHEAD UTILITY WIRES	OH
ELECTRIC LINE	E
TELEPHONE LINE	Τ
GAS LINE	G
WATER LINE	W
SANITARY SEWER	<i>S</i>
STORM PIPE	= = = = =
TEST PIT	TP-1

LEGEND		
TO BE REMOVED		
EASEMENT LINE		
BUILDING		
RETAINING WALL		
CONCRETE CURB		
FLUSH CURB		
FENCE	—X	
GUIDE RAIL	1	
TREELINE	-	
ACCESSIBLE SYMBOL	ۇر	
CONCRETE MONUMENT/ IRON PIN	· O	
SIGN	-	
PARKING COUNT	<u>/10</u>	
AREA LIGHT	e	
TREE		
DRAINAGE INLET		
STORM/SANITARY MANHOLE	(\widehat{D}) (\widehat{S})	
WATER/GAS VALVES		
ROOF DRAIN/CLEANOUT	o RD o CO	
FIRE HYDRANT	Y	
UTILITY POLE W/ LIGHT	~=== = -0	
UTILITY POLE	-0-	
OVERHEAD UTILITY WIRES	OH	
ELECTRIC LINE	—————E————	
TELEPHONE LINE	<i>I</i>	
GAS LINE	G	
WATER LINE	W	
SANITARY SEWER		
STORM PIPE	========	



	The second secon	PERMITTING SERVICES PERMITTING SERVICES TRANSPORTATION SERVICES THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRETARY AND SHALL NOT BE COPIED FOR CONSTRUCTION PURPOSES AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SHALL NOT BE COPIED FOR CONSTRUCTION PURPOSES 0 BOHLER.
	REVISIONS	
	REV DATE COMMENT	DRAWN BY
	1 06/02/2023 PER FIRE MARS COMMENTS	HAL MAM
		GJH
	011	
	Know what's below.	
	Call before you di PENNSYLVANIA YOU MUST CALL 811 BEFORE ANY EX	CAVATION
	WHETHER IT'S ON PRIVATE OR PUB 1-800-242-1776 www.pa1call.org	
	NOT APPROVEI CONSTRUCT	-
	THIS DRAWING IS INTENDED FOR MUNICIPAL	AND/OR AGENCY
	REVIEW AND APPROVAL. IT IS NOT INTENDED A DOCUMENT UNLESS INDICATED OTH	
	PPO IECT No -	PA A 220000 00
	PROJECT No.: DRAWN BY: CHECKED BY:	PAA220063.00 MAM GJH
	DRAWN BY: CHECKED BY: DATE:	MAM
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT:	MAM GJH 4/27/2023 63.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L	MAM GJH 4/27/2023 63.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT:	MAM GJH 4/27/2023 63.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME	MAM GJH 4/27/2023 63.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME PLANS	MAM GJH 4/27/2023 663.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME PLANS	MAM GJH 4/27/2023 663.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME PLANS	MAM GJH 4/27/2023 063.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME PLANS FOR FOR GWYNEDI MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME PLANS FOR FOR GWYNEDI MERCY UNIVERSIT	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF L DEVELOPME PLANS FOR FOR GWYNEDI MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D CY YARD S IPLEX PIKE
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR FOR BROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D C Y ARD S IPLEX PIKE WNSHIP
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPMED PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM	MAM GJH 4/27/2023 063.01-LDVP-1A CAND ENT D C Y ARD S SIPLEX PIKE WNSHIP TY, PA
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR GWYNEDD NOR GWYNEDD NOROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOW MONTGOMERY COUN	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D CY YARD S IPLEX PIKE WNSHIP TY, PA R//
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR GWYNEDD MERCY UNIVERSIO PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOW MONTGOMERY COUN	MAM GJH 4/27/2023 663.01-LDVP-1A AND ENT O C Y YARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR GWYNEDD MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUR	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR GWYNEDD MERCY UNIVERSIO PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUN	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR GWYNEDD MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUR	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR GWYNEDD MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUR	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR MERCY UNIVERSION PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT BOBBELE IGO MANOR DRIVE, SU CHALFONT, PA 18 Phone: (215) 996-5 Fax: (215) 996-5 Fax: (215) 996-5	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR MERCY UNIVERSION PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT BOBLES ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN ISSUMMERTOW	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR MERCY UNIVERSION PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT BOBLES ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT ISSUMMERTOWN ISSUMMERTOW	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA200 PROJECT: WAIVER OF LA DEVELOPMEN PLANS FOR FOR FOR NERCY UNIVERSION NERCY UNIVERSION PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN COWER GWYNEDD TO MONTGOMERY COUR ISON MANOR DRIVE, SU CHALFONT, PA18 Phone: (215) 996-5 Fax: (215) 996-5 WW.BOHIEFENGINEET	MAM GJH 4/27/2023 063.01-LDVP-1A AND ENT D TY ARD S IPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS FOR FOR FOR FOR MERCY UNIVERSIT NOVER GWYNEDD TOM MONTGOMERY COUNT IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT BBOBLES IGOO MANOR DRIVE, SU CHALFONT, PA 18 Phone: (215) 996-5 Fax: (215) 996-5 Fax: (215) 996-5 Fax: (215) 996-5	MAM GJH 4/27/2023 63.01-LDVP-1A AND ENT AND ENT C ARD SiPLEX PIKE WNSHIP TY, PA R// SiPLEX PIKE WNSHIP TY, PA R// SiPLEX PIKE WNSHIP TY, PA
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA200 PROJECT: WAIVER OF LA DEVELOPMEN PLANS FOR FOR FOR NEWYNEDD TO MONTOORERST INPROVEMENTS RESIDENCE HALL TR IS25 SUMNEYTOWN INPROVEMENTS RESIDENCE HALL TR IS25 SUMMEYTOWN INPROVEMENTS RESIDENCE HALL TR IS25 SUMMEYTOWN INPROVEMENTS INPRO	MAM GJH 4/27/2023 63.01-LDVP-1A
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA200 PROJECT: WAIVER OF LA DEVELOPMENT PLANS PLANS PROPOSED COURTY MERCY UNIVERSIT PROPOSED COURTY MPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN OWER GWYNEDD TO MONTGOMERY COUR BOBLES ISSUMMERTOWN COMER SWYNEDD TO MONTGOMERY COUR ISSUMMERTOWN COMER GWYNEDD TO MONTGOMERY COUR ISSUMMERTOWN COMER SWYNEDD TO MONTGOMERY COUR ISSUMMERTOWN COMER SWYNEDD TO MONTGOMERY COUR ISSUMMERTOWN COMER SWYNEDD TO MONTGOMERY COUR ISSUMMERTOWN COMER SWYNEDD TO MONTGOMERY COUR ISSUMMERTOWN COMERCIES ISSUMMERTOWN INFORMATIO	MAM GJH 4/27/2023 63.01-LDVP-1A AND ENT C AND SIPLEX PIKE WNSHIP TY, PA R JITE 200 914 9100 9102 JITE 200 914
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA200 PROJECT: WAIVER OF LA DEVELOPMEN PLANS FOR FOR GWYNEDD MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TO MONTGOMERY COUR BBOHLE IGOO MANOR DRIVE, SU CHALFONT, PA 18 Phone: (215) 996-0 Fax: (215) 906-0 Fax: (215) 906-0 Fax	MAM GJH 4/27/2023 63.01-LDVP-1A AND ENT C AND SIPLEX PIKE WNSHIP TY, PA R JITE 200 914 9100 9102 JITE 200 914
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA200 PROJECT: WAIVER OF LA DEVELOPME PLANS PLANS FOR FOR GUNNERCY UNIVERSIT PROPOSED COURT MPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TO MONTGOMERY COURS INFORMERY COMMANOR DRIVE, SU CHALFONT, PA 18 Phone: (215) 996-6 Fax: (215) 996-6 Forw. BohlerEngineer G. HALFONT, PA 18 Phone: (215) 996-6 Forw. BohlerEngineer FROFESSIONAL ENG PLANS SHEET TITLE: SHEET TITLE:	MAM GJH 4/27/2023 63.01-LDVP-1A AND ENT AND SIPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102 fing.com
	DRAWN BY: CHECKED BY: DATE: CAD I.D.: PAA2200 PROJECT: WAIVER OF LA DEVELOPME PLANS PLANS FOR FOR GWYNEDD MERCY UNIVERSIT PROPOSED COURTY IMPROVEMENTS RESIDENCE HALL TR 1325 SUMNEYTOWN LOWER GWYNEDD TOM MONTGOMERY COUNT MONTGOMERY COUNT MONTGOMERY	MAM GJH 4/27/2023 63.01-LDVP-1A AND ENT AND SIPLEX PIKE WNSHIP TY, PA R// JITE 200 914 9100 9102 fing.com

REVISION 1 - 06/02/2023



IMPERVIOUS COVERAGE (WITHIN WORK AREA)

EXISTING	PROPOSED	NET CHANGE
18,970 SF	23,068 SF	+4,098 SF
(0.435 AC.)	(0.530 AC.)	+(0.095 AC)

PARKING SPACES (WITHIN WORK AREA)

EXISTING	PROPOSED	NET CHANGE
147 STANDARD	141 STANDARD	MINUS 6 STANDARD
5 ADA	5 ADA	SAME ADA TOTAL

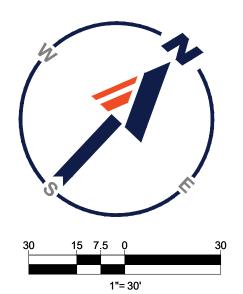
LEGEND		
EXISTI	NG	
PROPERTY LINE		
R.O.W. LINE		
ADJACENT PROPERTY LINE		
EASEMENT LINE		
BUILDING		
RETAINING WALL		
CONCRETE CURB		
FLUSH CURB		
FENCE	——————————————————————————————————————	
GUIDE RAIL		
TREELINE		
ACCESSIBLE SYMBOL	Ĕ.	
CONCRETE MONUMENT/ IRON PIN	. O	
SIGN	-	
PARKING COUNT	10	
AREA LIGHT		
TREE	·	
DRAINAGE INLET		
STORM/SANITARY MANHOLE	D S	
WATER/GAS VALVES	$\overset{WV}{\bowtie} \overset{GV}{\bowtie}$	
ROOF DRAIN/CLEANOUT	0 RD 0 ^{CO}	
FIRE HYDRANT	V	
UTILITY POLE W/ LIGHT	÷	
UTILITY POLE	-0-	
OVERHEAD UTILITY WIRES	OH	

LEGEND
PROPOSED

PROPOSED	
PROPERTY LINE	
R.O.W. LINE	
EASEMENT LINE	
SETBACK LINE	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	——————————————————————————————————————
GUIDE RAIL	
TREELINE	munn
ACCESSIBLE SYMBOL	S.
CROSSWALK	
SIDEWALK	
RAMP	
SIGN	
BOLLARD	¢
PARKING COUNT	$\langle 10 \rangle$
AREA LIGHT	@ -0
DRAINAGE INLET	
FULL DEPTH ASPHALT PAVEMENT	
MILL & OVERLAY PAVEMENT	
ADA ACCESSIBLE ROUTE	->>>>

LEGEND
PROPOSED SIGNAGE
A PROPOSED "RESERVED PARKING" SIGN (R7-8) & "RESERVED PARKING PENALTIES" SIGN (R7-8F) & VAN ACCESSIBLE SIGN (R7-8P)

B PROPOSED "RESERVED PARKING" SIGN (R7-8) & "RESERVED PARKING PENALTIES" SIGN (R7-8F)





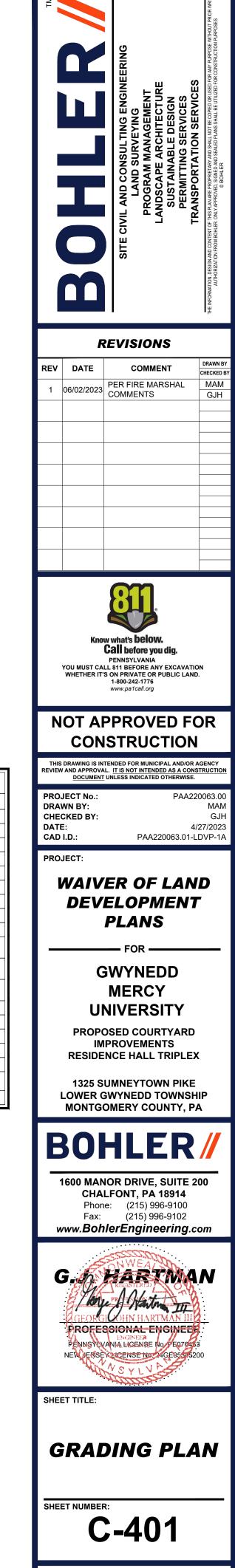


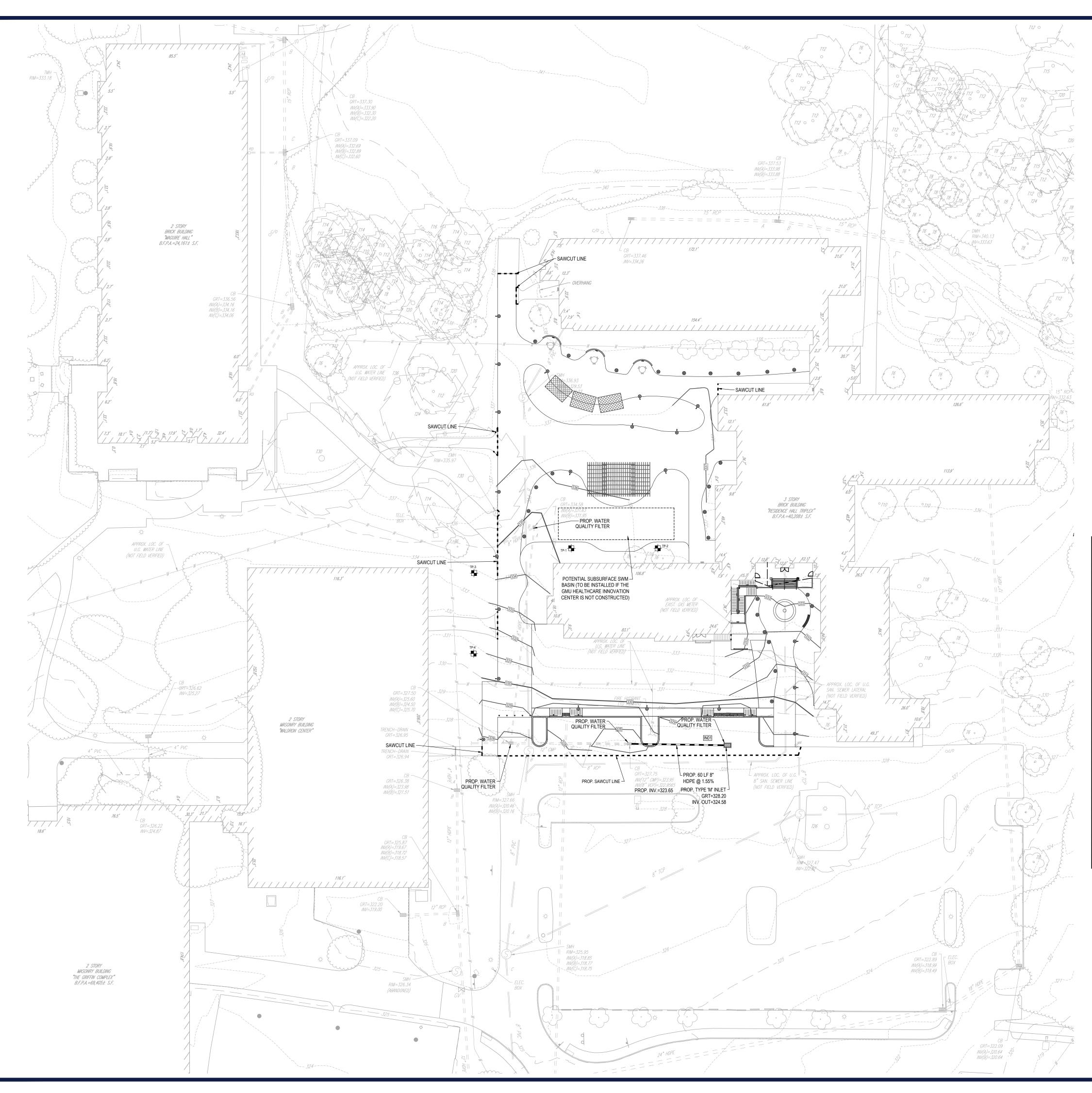
22\PAA220063.01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PAA220063.01-LDVP-1A----->LAYOUT: C-401 GR

LEGEND		
EXISTING		
PROPERTY LINE		
R.O.W. LINE		
ADJACENT PROPERTY LINE		
EASEMENT LINE		
BUILDING		
RETAINING WALL		
CONCRETE CURB		
FLUSH CURB		
FENCE	——————————————————————————————————————	
GUIDE RAIL		
TREELINE		
ACCESSIBLE SYMBOL		
CONCRETE MONUMENT/	. O	
IRON PIN SIGN		
PARKING COUNT		
AREA LIGHT		
TREE		
DRAINAGE INLET		
STORM/SANITARY MANHOLE	D S	
WATER/GAS VALVES		
ROOF DRAIN/CLEANOUT	o RD o ^{CO}	
FIRE HYDRANT	V	
UTILITY POLE W/ LIGHT	÷O	
UTILITY POLE	-0-	
OVERHEAD UTILITY WIRES	OH	
ELECTRIC LINE	E	
TELEPHONE LINE		
GAS LINE	G	
WATER LINE	W	
SANITARY SEWER		
STORM PIPE	= = = = =	

LEGEND	
PROPOSED	
PROPERTY LINE	
R.O.W. LINE	
EASEMENT LINE	<u> </u>
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	——————————————————————————————————————
GUIDE RAIL	I
TREELINE	munn
ACCESSIBLE SYMBOL	&
CROSSWALK	
RAMP	
SIGN	- v -
BOLLARD	٠
AREA LIGHT	•
DRAINAGE INLET	
STORM PIPE	
SPOT ELEVATION	123.00 TC 123.50 BC 123.00
ADA ACCESSIBLE ROUTE	->>>>

1"= 30'





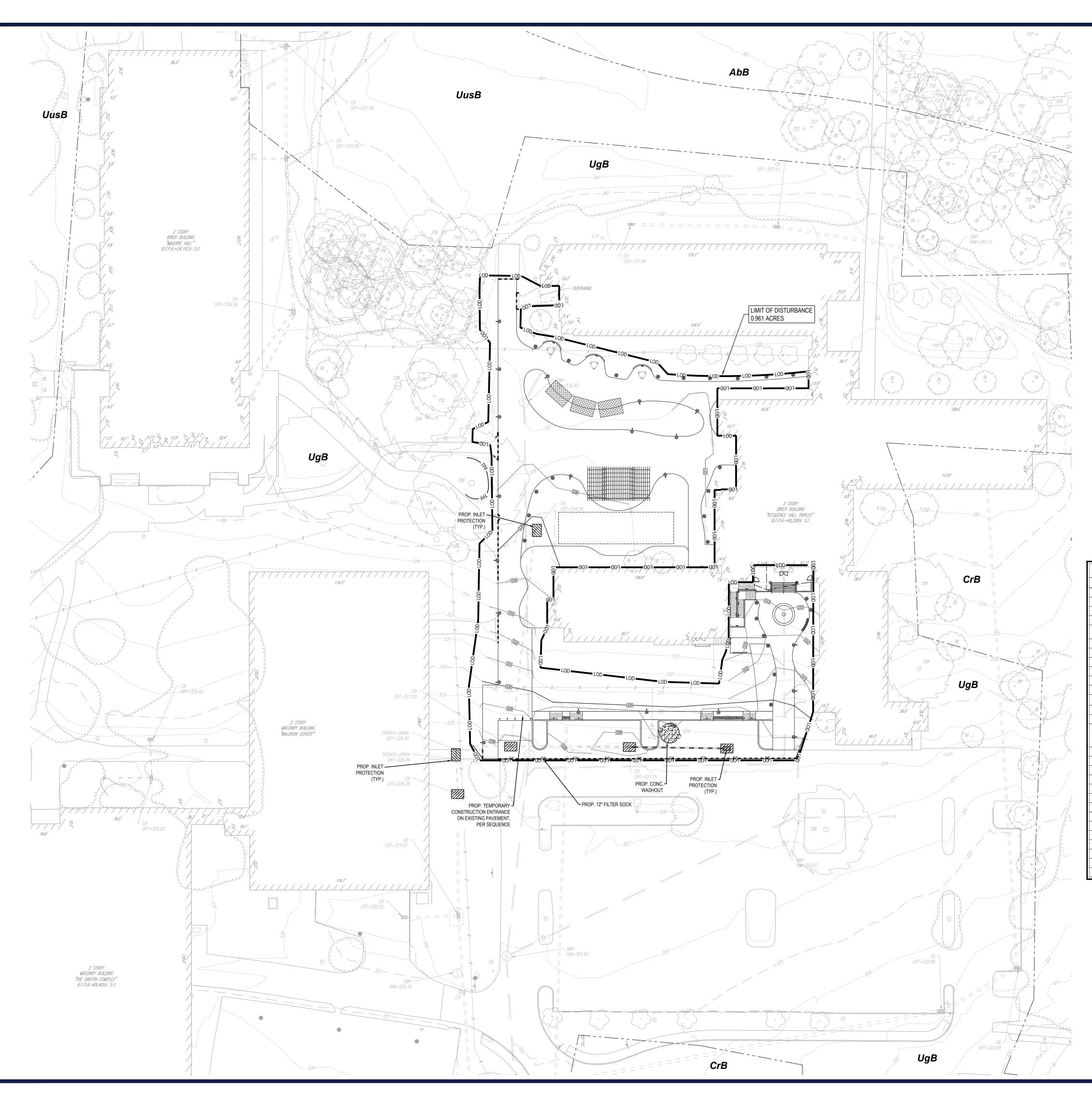
LEGEND		
EXISTING		
PROPERTY LINE		
R.O.W. LINE		
ADJACENT PROPERTY LINE		
EASEMENT LINE		
BUILDING		
RETAINING WALL		
CONCRETE CURB		
FLUSH CURB		
FENCE	X	
GUIDE RAIL		
TREELINE		
CONCRETE MONUMENT/ IRON PIN	o o	
SIGN		
AREA LIGHT	-	
TREE	e de la companya de l	
DRAINAGE INLET		
STORM/SANITARY MANHOLE	D S	
WATER/GAS VALVES	WV GV	
ROOF DRAIN/CLEANOUT	o RD o ^{CO}	
FIRE HYDRANT	V	
UTILITY POLE W/ LIGHT		
UTILITY POLE		
OVERHEAD UTILITY WIRES	OH	
ELECTRIC LINE	E	
TELEPHONE LINE	<i>T</i>	
GAS LINE	G	
WATER LINE	W	
SANITARY SEWER	S	
STORM PIPE	= = = = =	
TEST PIT	- T P-1	

LEGEND						
PROPOSED						
PROPERTY LINE						
R.O.W. LINE						
EASEMENT LINE						
RETAINING WALL						
CONCRETE CURB						
FLUSH CURB						
FENCE	——————————————————————————————————————					
GUIDE RAIL	I					
TREELINE	mun					
RAMP						
SIGN	— <u>v</u> —					
BOLLARD	*					
AREA LIGHT	©~ ©					
DRAINAGE INLET						
STORM PIPE						



			7
MT		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS FLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER
	5	REVISIONS	
			DRAWN BY
REV	DATE	COMMENT PER FIRE MARSHAL	CHECKED BY MAM
1	06/02/2023	COMMENTS	GJH
_			
_			
<u> </u>			
_			
_			
-			
		011	
	Kno	w what's below .	
	KIIU	Call before you dig. PENNSYLVANIA	
		LL 811 BEFORE ANY EXCAVATIO S ON PRIVATE OR PUBLIC LAND	
		1-800-242-1776 www.pa1call.org	
		PPROVED FO	סו
	-	ISTRUCTION	Л
THIS		TENDED FOR MUNICIPAL AND/OR A	GENCY
			TRUCTION
	AND APPROVA	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE.	
PRO	AND APPROVA	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE.	0063.00 MAM
PRO. DRA	JECT No.: WN BY: CKED BY:	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220	0063.00
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.:	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220	0063.00 MAM GJH 27/2023
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E:	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2	0063.00 MAM GJH 27/2023
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT:	AL. I <u>T IS NOT INTENDED AS A CONS</u> UNLESS INDICATED OTHERWISE. PAA220 4/: PAA220063.01-LI	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: WAIV	LI. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI ELOPMENT	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: WAIV	AL. I <u>T IS NOT INTENDED AS A CONS</u> UNLESS INDICATED OTHERWISE. PAA220 4/: PAA220063.01-LI	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: WAIV	LI. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI ELOPMENT	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: VAIV	LI. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI ELOPMENT PLANS	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT No.: WN BY: CKED BY: E: I.D.: JECT: VAIV	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI ELOPMENT PLANS FORFOR	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI ELOPMENT PLANS FORFOR WYNEDD	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	AL. IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI CONTRACTIONS PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	AND APPROVA DOCUMENT JECT No.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI ELOPMENT PLANS FOR FOR FOR WYNEDD MERCY NIVERSITY	0063.00 MAM GJH 27/2023 DVP-1A
PRO DRA CHE DATI CAD	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 4/2 PAA220063.01-LI AA220063.01-LI AA220063.01-LI FOR FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD IPROVEMENTS	0063.00 MAM GJH 27/2023 DVP-1A
PRO. DRA ¹ CHE4 DATI CAD	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER (AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (7) PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA20 PAA2	0063.00 MAM GJH 27/2023 DVP-1A
PRO. DRA' CHE' DATI CAD PRO.	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER (MONTGO	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (7) PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA20 PA	0063.00 MAM GJH 27/2023 DVP-1A
PRO. DRA' CHE' DATI CAD PRO.	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER (MONTGO	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (7) PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA20 PA	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV O UI PROPO IM RESIDE 1325 S LOWER O MONTGO	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 A/2 PAA220063.01-LI WARCY PLANS FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV O UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (7) PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA20 PA	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOL	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-LI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (2) PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA20 PA	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-LI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA HEER SWYNEDD TOWNSH OMERY COUNTY, PA HEER SOR DRIVE, SUITE 20 LFONT, PA 18914 INC: (215) 996-9100 (215) 996-9102	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-LI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA HEER SWYNEDD TOWNSH OMERY COUNTY, PA HEER SOR DRIVE, SUITE 20 LFONT, PA 18914 INC: (215) 996-9100 (215) 996-9102	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-LI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA HEER SWYNEDD TOWNSH OMERY COUNTY, PA HEER SOR DRIVE, SUITE 20 LFONT, PA 18914 INC: (215) 996-9100 (215) 996-9102	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO 1600 MAN CHA Phon Fax: WW.BOM	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-LI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA HEER SWYNEDD TOWNSH OMERY COUNTY, PA HEER SOR DRIVE, SUITE 20 LFONT, PA 18914 INC: (215) 996-9100 (215) 996-9102	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOOI 1600 MAN CHA Phon Fax:	AL IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (4/2) PAA220063.01-LI (CR OF LAN) ELOPMENT PLANS FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSH OMERY COUNTY, PA HEER SWYNEDD TOWNSH OMERY COUNTY, PA HEER SOR DRIVE, SUITE 20 LFONT, PA 18914 INC: (215) 996-9100 (215) 996-9102	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOO 1600 MAN CHA Phon Fax: WW.BOM	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (2) PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220 PAA220063.01-LI PAA20063.01-LI PAA20063	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV OU PROPO IM RESIDE 1325 S COVER O MONTGO BOO 1600 MAN CHA Phon Fax: WW.BOM	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA2200 PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA20063.01-LI PAA2000	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV OU PROPO IM RESIDE 1325 S COVER O MONTGO BOO 1600 MAN CHA Phon Fax: WW.BOM	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA2200 PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA20063.01-LI PAA2000	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV DEV OU PROPO IM RESIDE 1325 S COWER C MONTGO BOO 1600 MAN CHA Phon Fax: WW.BOM	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA2200 PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA20063.01-LI PAA2000	0063.00 MAM GJH 27/2023 DVP-1A
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O IN RESIDE 1325 S LOWER O IN RESIDE 1325 S LOWER O IN RESIDE	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (2) PAA220063.01-LI PAA200063.01-LI PAA200063.01-LI PAA200063.01-LI PAA20063.01-LI PAA20006	
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O IN RESIDE 1325 S LOWER O IN RESIDE 1325 S LOWER O IN RESIDE	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA220063.01-LI PAA2200 PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA220 PAA220063.01-LI PAA20063.01-LI PAA2000	
	AND APPROVA DOCUMENT JECT NO.: WN BY: CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER O IN RESIDE 1325 S LOWER O IN RESIDE 1325 S LOWER O IN RESIDE	LI IT IS NOT INTENDED AS A CONS UNLESS INDICATED OTHERWISE. PAA220 (2) PAA220063.01-LI PAA200063.01-LI PAA200063.01-LI PAA200063.01-LI PAA20063.01-LI PAA20006	

REVISION 1 - 06/02/2023



LEGEI	ND
PROPOS	ED
LIMIT OF DISTURBANCE	LOD
COMPOST FILTER SOCK	—— FS——
TREE PROTECTION FENCE	—— TPF——
CONCRETE WASHOUT	
INLET PROTECTION	

LEGE	ND					
EXISTING						
PROPERTY LINE						
R.O.W. LINE						
ADJACENT PROPERTY LINE						
EASEMENT LINE						
BUILDING						
RETAINING WALL						
CONCRETE CURB						
FLUSH CURB						
FENCE	X					
GUIDE RAIL	T					
TREELINE						
CONCRETE MONUMENT/ IRON PIN	⊡ ©					
SIGN						
AREA LIGHT						
TREE	· .					
DRAINAGE INLET						
STORM/SANITARY MANHOLE	D S					
WATER/GAS VALVES						
ROOF DRAIN/CLEANOUT	o RD o ^{CO}					
FIRE HYDRANT	V					
UTILITY POLE W/ LIGHT						
UTILITY POLE	-0-					
OVERHEAD UTILITY WIRES	OH					
ELECTRIC LINE	E					
TELEPHONE LINE	<i>T</i>					
GAS LINE	G					
WATER LINE	W					
SANITARY SEWER	S					
STORM PIPE	= $=$ $=$ $=$					

LEGEND					
PROPOSED					
PROPERTY LINE					
R.O.W. LINE					
EASEMENT LINE					
RETAINING WALL					
CONCRETE CURB					
FLUSH CURB					
FENCE	——————————————————————————————————————				
GUIDE RAIL	I				
TREELINE	mmmm				
RAMP					
SIGN	- v -				
BOLLARD	۵				
AREA LIGHT	∞ ••⊙				
DRAINAGE INLET					
STORM PIPE					



ΤM		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE MITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES
	F	PEVISIONS	
DEM.			DRAWN BY
REV	DATE	COMMENT PER FIRE MARSHAL	CHECKED BY MAM
	06/02/2023	COMMENTS	GJH
-			
-			
		811.	
	Kno	w what's below. Call before you dig.	
		PENNSYLVANIA LL 811 BEFORE ANY EXCAVATIO S ON PRIVATE OR PUBLIC LAND. 1-800-242-1776	
		1-000-242-1776 www.pa1call.org	
Ν	ΟΤ ΑΙ	PPROVED FC	DR
	CON	STRUCTION	
	AND APPROVA	TENDED FOR MUNICIPAL AND/OR A AL. IT IS NOT INTENDED AS A CONST UNLESS INDICATED OTHERWISE.	
	JECT No.:	PAA220	0063.00
DRA	WN BY:		MAM
	CKED BY: E:		MAM GJH 27/2023
CHE DATE CAD	CKED BY: E:	4/2 PAA220063.01-LI	MAM GJH 27/2023
CHE DATE CAD PRO	CKED BY: E: I.D.: JECT:		MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO	CKED BY: E: I.D.: JECT:	PAA220063.01-LI	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO	CKED BY: E: I.D.: JECT: VAIV DEV	PAA220063.01-LI	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO	CKED BY: E: I.D.: JECT: VAIV DEV	PAA220063.01-LI ER OF LAN	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO	CKED BY: E: I.D.: JECT: VAIV DEV	FOR FOR	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO		FOR FOR WYNEDD MERCY	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO		FOR FOR	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO		FOR FOR WYNEDD MERCY NIVERSITY	MAM GJH 27/2023 DVP-1A
CHE DATE CAD PRO		FOR FOR MERCY	MAM GJH 27/2023 DVP-1A
CHEC DATE CAD PRO		FOR FOR MERCY NIVERSITY	MAM GJH 27/2023 DVP-1A
CHEC DATE CAD PRO		FOR FOR FOR FOR SED COURTYARD INVERSITY DSED COURTYARD IPROVEMENTS SINCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI	MAM GJH 27/2023 DVP-1A
CHEC DATE CAD PRO		FOR FOR FOR FOR FOR FOR FOR FOR FOR FOR	MAM GJH 27/2023 DVP-1A
	CKED BY: E: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER (MONTGO BOI	FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA	
	CKED BY: I.D.: JECT: VAIV DEV UI PROPO IM RESIDE 1325 S LOWER (MONTGO BOO 1600 MAN CHA Phon	FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INVERSITY DSED COURTYARD INCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA	
	CKED BY: I.D.: JECT:	FOR FOR FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD INVERSITY DSED COURTYARD	MAM GJH 27/2023 DVP-1A
	CKED BY: I.D.: JECT:	PAA220063.01-LI FR OF LANS PLANS FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS SINCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA HLER NOR DRIVE, SUITE 20 LFONT, PA 18914 IN: (215) 996-9100 (215) 996-9102	MAM GJH 27/2023 DVP-1A
	CKED BY: I.D.: JECT:	PAA220063.01-LI FR OF LANS PLANS FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS SINCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA HLER NOR DRIVE, SUITE 20 LFONT, PA 18914 IN: (215) 996-9100 (215) 996-9102	MAM GJH 27/2023 DVP-1A
	CKED BY: I.D.: JECT:	PAA220063.01-LI FR OF LANS PLANS FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS SINCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA HLER NOR DRIVE, SUITE 20 LFONT, PA 18914 IN: (215) 996-9100 (215) 996-9102	MAM GJH 27/2023 DVP-1A
	CKED BY: I.D.: JECT: VAIV DEV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOI 1600 MAN CHA Phon Fax: WW.Boh	PAA220063.01-LI ER OF LAN ELOPMENT PLANS FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE WINEYTOWN PIKE	MAM GJH 27/2023 DVP-1A
	CKED BY: I.D.: JECT: VAIV DEV DEV UI PROPO IM RESIDE 1325 S LOWER O MONTGO BOI 1600 MAN CHA Phon Fax: WW.Boh	TAREADER TOTAL TER OF LANS FOR FOR FOR SWYNEDD MERCY NIVERSITY DSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLER NOR DRIVE, SUITE 20 LFONT, PA 18914 ME 125) 996-9102 DEFENSION (215) 996-9102 (215) 996-910 (215) 906-910 (215) 906-910 (215) 906-910 (215) 906-910 (215) 906-910 (215) 906-910 (215)	MAM GJH 27/2023 DVP-1A
	CKED BY: I.D.: JECT: VAIV DEV DEV UI PROPO IM RESIDE 1325 S LOWER C MONTGO BOO 1600 MAN CHA Phon Fax: WW.BOM CHA Phon Fax: WW.BOM	PAA220063.01-LI ER OF LANS FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLEER AUXINE (215) 996-9102 ICTED 996	MAM GJH 27/2023 DVP-1A
		PAA220063.01-LI ER OF LANS FOR FOR FOR SUPPORTS NUERSITY DSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA HLER OR DRIVE, SUITE 20 LISI 996-9102 DEFENSION (215) 996-910 DEFENSION (215) 996-910 DEFENSION (215) 996-910 D	
		PAA220063.01-LI ER OF LANS FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLEER AUXINE (215) 996-9102 ICTED 996	
		PAA220063.01-LU EROFLANS FOR FOR FOR SUPPORTS NUCERSITY DSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE SWYNEDD TOWNSHI OMERY COUNTY, PA HLER OR DRIVE, SUITE 20 LIST 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING IEFEN	
		PAA220063.01-LI ER OF LANS FOR FOR FOR SWYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE WINEYTOWN PIKE WINEYTOW	
		PAA220063.01-LI ER OF LAN ELOPMENT PLANS FOR FOR WYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLER OR DRIVE, SUITE 20 CITS) 996-9102 IEFENDINE FILO (215) 996-9102 IEFENDINE FILO (215) 996-9102 IEFENDINE (215) 996-910 IEFENDINE (215) 996-910 IEFENDINE (215) 996-910	
		PAA220063.01-LI ER OF LANS FOR FOR FOR FOR SED COURTYARD DSED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLER OR DRIVE, SUITE 20 LFONT, PA 18914 I.E. (215) 996-9100 (215) 996-9102 IEFENGINEERING (215) 996-9102 IEFENGINEERING IEFENGINEERIN	
		PAA220063.01-LI ER OF LAN ELOPMENT PLANS FOR FOR WYNEDD MERCY NIVERSITY OSED COURTYARD PROVEMENTS NCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLER OR DRIVE, SUITE 20 CITS) 996-9102 IEFENDINE FILO (215) 996-9102 IEFENDINE FILO (215) 996-9102 IEFENDINE (215) 996-910 IEFENDINE (215) 996-910 IEFENDINE (215) 996-910	

1"= 30

GENERAL CONSERVATION NOTES AND SPECIFICATIONS

GENERAL INFORMATION

- THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST
- BEING PROPERLY FILTERED ANY SEDIMENT THAT IS TRACKED ONTO THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE
- DISTURBED AREAS ON WHICH FARTHMOVING ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY, EITHER TEMPORARILY OR PERMANENTLY, INCLUDING THE RESTORATION OF DRIVEWAYS, STOCKPILES, OFF-SITE UNDERGROUND UTILITY LINES AND GRADED PERIMETER AREAS. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SUBGRADES IS CONSIDERED ADEQUATE PROTECTION
- AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDED OR MULCHED. WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEED
- AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES. IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY
- MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&SP PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
- THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNER AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT. A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SPOIL, BORROW OR OTHER WORK AREA NOT DETAILED ON THE PERMITTED PLANS. WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO BE REMOVED FROM SITE.
- ALL MATERIALS TO BE RECYCLED OR DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS. STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN
- APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SOIL STABILIZATION THROUGHOUT CONSTRUCTION. ADDITIONAL MEASURES REQUIRED TO ENSURE ON-SITE AND OFF-SITE STABILIZATION IN AND ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO COST TO THE OWNER. IMMEDIATE NOTIFICATION SHALL BE GIVEN TO THE
- OWNER AND ENGINEER SHOULD ADDITION STABILIZATION MEASURES BE NECESSARY. IN ACCORDANCE WITH THE NPDES AND/OR SWPPP REQUIREMENTS FOR THE PROJECT.

II. STANDARD FOR LAND GRADING

- DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRADES, WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT
- A.1. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FULL SLOPES ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
- INSTALLATION REQUIREMENTS TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETABLE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF
- MATERIALS B.2. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND
- STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS
- REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION. B.4. ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION. B.5. (SEE I. D.)
- III. STANDARD FOR UTILITY TRENCH EXCAVATION
- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE
- LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND
- BACKFILLING THAT CAN BE COMPLETED THE SAME DAY, DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX. OF SIX DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE INSTALLED PIPE. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO
- A FACILITY FOR REMOVAL OF SEDIMENT (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING. THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED
- AREAS WILL BE DONE IMMEDIATELY WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FORM CLEARING AND GRUBBING AND SITE
- RESTORATION AND STABILIZATION OPERATIONS ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- /. STANDARD FOR TEMPORARY STABILIZATION
- A. STANDARD FOR TEMPORARY STABILIZATION WITH FIBERMULCH A.1. MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING IN ADDITION. STABILIZATION WITH FIBER MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
- PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE GRADE AS NEED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.

OF 1 TON PER ACRE (MINIMUM) OR PER MANUFACTURER'S SPECIFICATIONS.

A.4. PROTECTIVE MATERIALS TO BE USED: A.4.a. UNROTTED SMALL-GRAIN UN-CHOPPED STRAW OR HAY AT 3.0 TONS PER ACRE (4 TONS PER ACRE BETWEEN NOVEMBER 1 AND MARCH 1) SPREAD UNIFORMLY AND ANCHORED WITH LIQUID MULCH BINDER. BINDER PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS A.4.b. HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL LIQUID MULCH BINDERS' APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. PRODUCTS TO BE INSTALLED AT A RATE

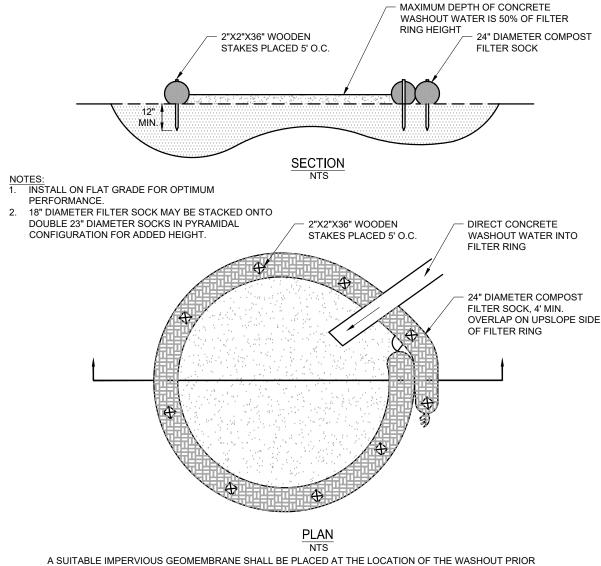
SEEDING SPECIFICATIONS

- 1 SFEDING DATES
- A SEEDING SHALL OCCUR BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 15TH AND NO. LATER THAN OCTOBER 15TH. B. IF SEEDING CANNOT BE CONDUCTED DURING THE TIMEFRAMES NOTED ABOVE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE LOCAL CONSERVATION DISTRICT AND ALL APPROPRIATE AGENCIES TO DETERMINE AN ACCEPTABLE MEANS IN WHICH TO STABILIZE THE SITE THROUGH THE NEXT GROWING SEASON.
- SEED MIXTURES: SEED MIXTURE TO BE USED ON THIS SITE SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE NOTED ON THE PLANS. RATES ARE IN THE FORM OF POUNDS PER ACRE (LB/A) PER PURE LIVE SEED (POUNDS / ACRE PLS). CONTRACTOR WILL NEED TO ADJUST ACCORDINGLY BASED ON THE SEED GERMINATION AND PURITY RATING (SEE ITEM #3 BELOW) A. TEMPORARY SEED MIXTURES: DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN TWELVE (12) MONTHS MUST BE SEEDED WITH A TEMPORARY
- SEED MIXTURE AS FOLLOWS: ANNUAL RYE (40 POUNDS / ACRE PLS)
- OR SPRING OATS (96 POUNDS / ACRE PLS) OR WINTER RYE (168 POUNDS / ACRE PLS)
- (REFERENCE: PENN STATE "EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND", TABLE 5) B. PERMANENT SEEDING SHALL CONSIST OF A NURSE CROP PLUS A PERMANENT SEED MIXTURE, AS FOLLOWS:
- I. NURSE CROP (SELECT ONE): ANNUAL RYE (10 POUNDS / ACRE PLS)
- OR SPRING OATS (64 POUNDS / ACRE PLS) OR WINTER RYE (56 POUNDS / ACRE PLS
- (REFERENCE: PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL, LATEST EDITION, TABLE 11.4, SEED MIX #1) II. PERMANENT SEED MIX:
- TALL FESCUES (60 POUNDS / ACRE PLS) OR FINE FESCUE (35 POUNDS / ACRE PLS) OR KENTUCKY BLUEGRASS (25 POUNDS / ACRE PLS) PLUS REDTOP (3 POUNDS / ACRE PLS)
- OR PERENNIAL RYEGRASS (15 POUNDS / ACRE PLS) (REFERENCE: PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL, LATEST EDITION, TABLE 11.4, SEED MIX #2) PURE LIVE SEED: MINIMUM PLS RATING ACCEPTED SHALL BE 85% PLS. SEED RATE MAY NEED TO BE
- ADJUSTED BASED ON THE PLS RATING OF THE SEED. A. SEED USED FOR THE PURPOSE OF PERMANENT STABILIZATION SHALL BE LABELED WITH GERMINATION AND PURITY PERCENTAGES. UNLABELED SEED WILL BE REJECTED. SEED SHALL NOT BE USED MORE THAN ONE (1) YEAR BEYOND THE LABEL DATE.
- DETERMINING THE PERCENT PURE LIVE SEED (PERCENT PLS) OF A LABELED SEED: MULTIPLY BY THE PERCENTAGE OF PURE SEED BY THE PERCENTAGE OF GERMINATION AND DIVIDE THE RESULT BY 100 ((%PURE X %GERMINATION)/100)
- DETERMINING THE ACTUAL SEED RATE: SIMPLY DIVIDE THE PERCENT PLS RATING OF THE SEED INTO THE PLS REQUIRED, AS NOTED ABOVE. THE RESULT IS THE POUNDS OF SEED REQUIRED. FOR EXAMPLE: IF THE REQUIRED RATE IS 64 POUNDS PLS, AND THE SEED IS RATED AT 35% PLS, DIVIDE 64 BY 0.35 TO GET 182.9 POUNDS, WHICH IS THE AMOUNT OF THAT SEED REQUIRED PER ACRE APPLICATION OF SEED: SEEDING SHALL BE APPLIED AND ESTABLISHED IN ACCORDANCE WITH THE
- "EROSION AND SEDIMENT POLITION CONTROL PROGRAM MANUAL" AS PUBLISHED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER QUALITY PROTECTION (MOST RECENT EDITION). A. SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 - OCTOBER 15
- SEED SHALL BE APPLIED IN A NON-COMPACTED, ROUGHENED TOPSOIL SEED MAY BE APPLIED THROUGH ANY OF THE FOLLOWING MEANS AND METHODS, OR OTHER ACCEPTED INDUSTRY PRACTICES, UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS: I. DRILL SEEDING II. BROADCAST SEEDING (TWO DIRECTIONS)
- III. HYDROSEEDING (TWO DIRECTIONS) ALL SEED SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED UNTIL A 70% PERENNIAL COVER IS ACHIEVED. I TEMPORARY STABILIZATION WITH STRAW
- 1. STRAW MULCH SHALL BE APPLIED ON TOP OF THE FRESHLY SEEDED AREAS AT A RATE OF 3 TONS PER ACRE (4 TONS PER ACRE BETWEEN NOVEMBER 1ST AND MARCH 1ST). 2. STRAW SHALL BE STABILIZED WITH A WOOD OR PAPER FIBER MULCH AND TACKIFIER
- SOLUTION IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS. II. TEMPORARY/PERMANENT STABILIZATION WITH EROSION CONTROL MATTING/BLANKETS (WHERE SPECIFIED) 1. MATTING/BLANKETS SHALL BE INSTALLED IN AREAS AS NOTED ON THE EROSION & SEDIMENT
- CONTROL PLAN OR WITHIN 50 FEET OF PONDS, STREAMS OR WETLANDS. THE PRODUCT SHALL BE INSTALLED AND STAPLED ON TOP OF THE SEEDING IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- 2. AREAS WITH MATTING/BLANKETS SHALL NOT BE TRACKED (CATWALKED) AFTER INSTALLATION
- 3. MATTING/BLANKETS SHALL BE VISUALLY INSPECTED DAILY TO ENSURE THAT THE PRODUCT IS FUNCTIONING PROPERLY, IS HELD FAST TO THE SOIL SURFACE AND IS IN GOOD
- CONDITION E. ONCE SEED HAS BEEN SET, VEHICULAR TRAFFIC OR OTHER SOURCES OF COMPACTION SHALL BE AVOIDED
- IRRIGATION: NEW SEED APPLICATIONS SHOULD BE SUPPLIED WITH ADEQUATE WATER, A MINIMUM OF 1/2" TWICE A DAY, UNTIL VEGETATION IS WELL ESTABLISHED (A MINIMUM OF 75% COVER)

- B. STANDARD FOR TEMPORARY STABILIZATION WITH SEED DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN TWELVE (12) MONTHS MUST BE SEEDED AND MULCHED IMMEDIATELY WITH A TEMPORAR'
- ALL AREAS TO BE PERMANENTLY SEEDED SHALL ALSO RECEIVE TEMPORARY SEEDING B.2. CONCURRENTLY.
- SEEDBED PREPARATION FOR TEMPORARY SEEDING B.3.A. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
- B 3 B APPLY AGRICULTURAL LIME AT A RATE OF 1 TONE PER ACRE B.3.C. APPLY 10-10-10 FERTILIZER A RATE OF 500 POUNDS PER ACRE B.3.D. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4)
- C. SEEDING: SEE SEEDING SPECIFICATIONS
- V. STANDARD FOR PERMANENT STABILIZATION
- A. SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER SITE PREPARATION A.1.a. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE
- A.1.b. SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO BETWEEN 5.5 AND 7 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES. A.1.c. IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED OR
- OTHERWISE LOOSENED TO A DEPTH OF 3-5 INCHES TO PROVIDE A GOOD BOND WITH THE TOPSOIL. A.2. APPLYING TOPSOIL
- A.2.a. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE A.2.b. ALL DISTURBED TOPSOIL ON-SITE IS TO BE REDISTRIBUTED ON-SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. NO REMOVAL OF TOPSOIL IS ALLOWED UNLESS APPROVED BY THE FOWNSHIP. UNIFORM APPLICATION TO A DEPTH OF 6-8 INCHES (UNSETTLED) IS RECOMMENDED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE.
- SEEDBED PREPARATION A.3.a. A SOIL TEST SHALL BE CONDUCTED TO ACCURATELY DETERMINE NECESSARY SOIL AMENDMENTS. A.3.b. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE. A.3.c. SOIL MODIFICATIONS:
- A.3.c.1. APPLY 10-20-20 RATED FERTILIZER AT A RATE OF 1000 POUNDS PER ACRE OR 25 POUNDS PER 000 SQUARE FEET, OR AS DIRECTED BY SOIL TEST.
- A.3.c.2. APPLY AGRICULTURAL LIME AT A RATE OF 6 TONS PER ACRE OR 240 POUNDS PER 1000 SQUARE FEET, OR AS DIRECTED BY SOIL TEST. A.3.d. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES
- CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED. A.3.e. REMOVE FROM THE SURFACE ALL STONES ONE INCH (1") OR LARGER IN ANY DIMENSION, REMOVE
- ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL. A.3.f. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE
- AREA MUST BE RE-TILLED AND FIRMED AS ABOVE. SEEDING: SEE SEEDING SPECIFICATIONS
- SEED BED AREAS SHALL ALSO BE STABILIZED USING AN APPROVED METHOD (EG: HYDROMULCHING) AS OUTLINED IN ITEM IV.A. HEREIN.
- B. STANDARD FOR PERMANENT STABILIZATION WITH SOD B.1. METHODS AND MATERIALS
- B.1.a. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD. B.1.b. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
- B.1.C. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH) B.1.d. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT
- WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 0% OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE B.1.e. A SOD OF KENTUCKY 31 TALL FESCUE WITH BLUEGRASS, OR A FESCUE BLEND IS PREFERRED.
- B.1.f. ONLY MOIST, FRESH UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS B.2. SITE PREPARATIONS: SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER (ITEM V.A. ABOVE)
- SOD PLACEMENT B.3.a. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- B.3.b. PLACE SOD STRIPS WITH SNUG EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION. B.3.c. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS. WHICH WOULD CAUSE DRYING OF THE ROOTS.
- B.3.d. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES OR A BIODEGRADABLE FASTENER. B.3.e. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER-CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO
- ANCHOR NETTING IN CHANNEL WORK. B.3.f. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM
- MOISTURE FOR AT I FAST TWO WEEKS FOLLOW-UP INSPECTION: AFTER THE FIRST GROWING SEASON, THE SOD SHOULD BE INSPECTED TO DETERMINE IF ADDITIONAL FERTILIZATION OR LIMING IS NEEDED

SEQUENCE OF CONSTRUCTION

- 1. USE EXISTING PAVEMENT FOR CONSTRUCTION ENTRANCE AS DESIGNATED ON THE PLANS. CONTRACTOR TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE LOD AND PREVENT DIRT TRACKING
- PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.
- 4. INITIATE STORM SEWER, AND SUBSURFACE BASIN IF REQUIRED PER PLAN NOTES, INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE.
- 5. INSTALL ALL CURBING SHOWN IN THIS PHASE AND INSTALL STONE BASE COURSE IN THE WALKWAY AND PARKING AREAS. NOTES AND SPECIFICATIONS.
- 7. INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS. 8. INSTALL FINAL VEGETATION AND LANDSCAPING SPECIFIED ON THE LANDSCAPE PLAN.
- STABILIZED IMMEDIATELY
- MATERIAL OR WASTE AT THIS SITE.
- 11.DEMOBILIZE.



TO INSTALLING THE SOCKS. CONCRETE WASHOUT NOTES: -UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER

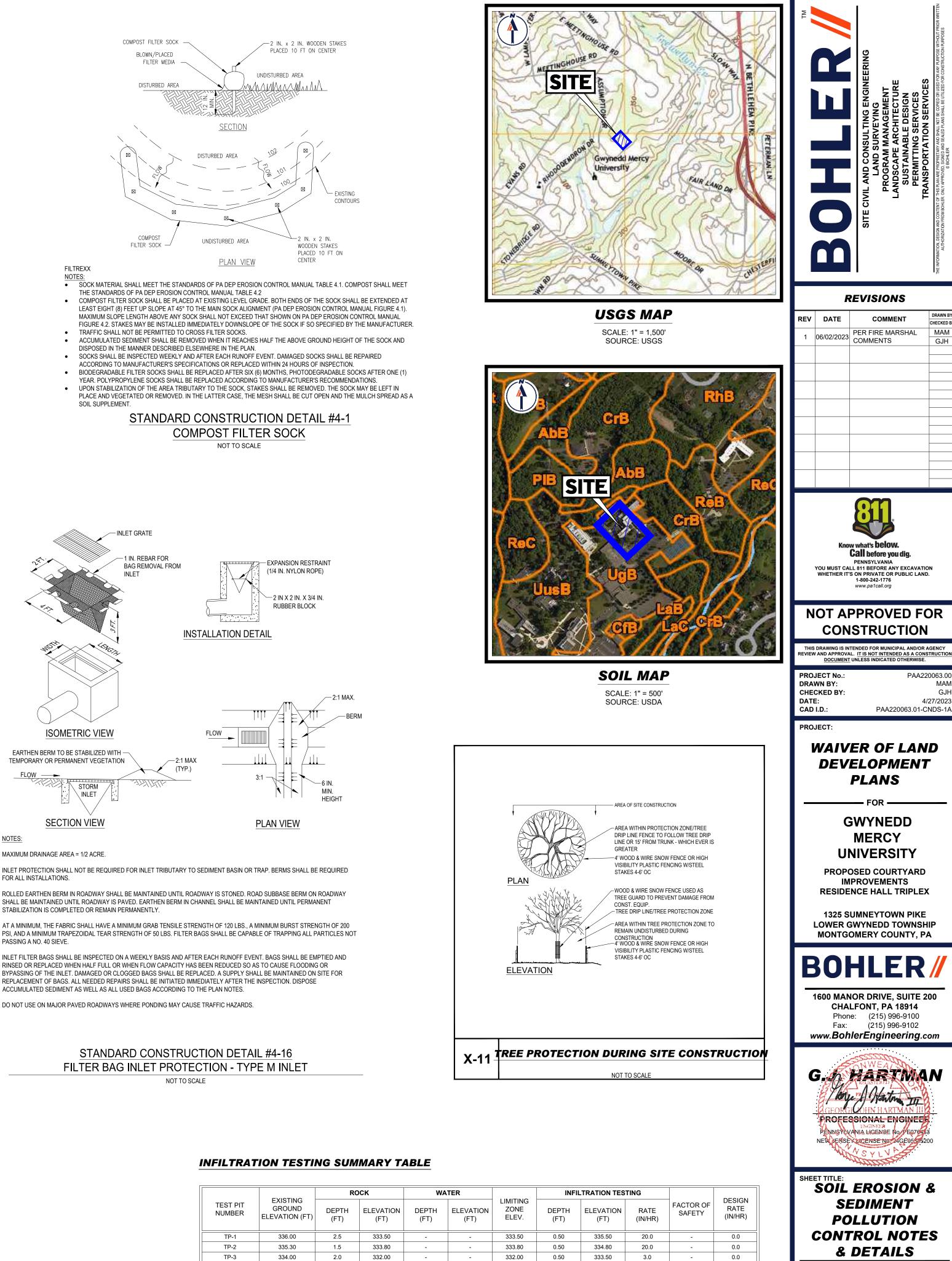
ANY SURFACE WATERS. -WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS

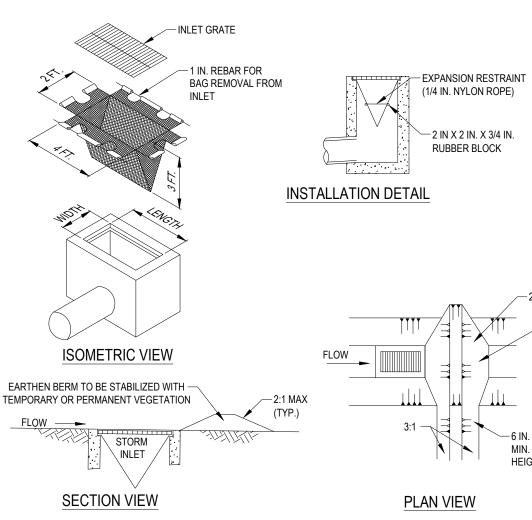
-SHOULD BE A MINIMUM OF 10 FEET WIDE AND PROVIDE AT LEAST 12 INCHES OF FREEBOARD ABOVE THE LIQUID AND SOLID WASTE ANTICIPATED BETWEEN CLEANOUT INTERVALS. -THE PIT SHOULD BE LINED WITH PLASTIC SHEETING OF AT LEAST 10-MIL THICKNESS (WITH NO HOLES

OR TEARS) TO PREVENT LEACHING OF LIQUIDS INTO THE GROUND. -ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.

-ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY -PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

TYPICAL COMPOST SOCK WASHOUT INSTALLATION SCALE: N.T.S.





NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TEST PIT NUMBER	EXISTING GROUND ELEVATION (FT)	DEP (FT
TP-1	336.00	2.5
TP-2	335.30	1.5
TP-3	334.00	2.0
TP-4	330.50	2.0
NOTES:		

328.50

WATER WILL PERCOLATE DOWN, HIT ROCK AND SIT OR RESURFACE ELSEWHERE.

2. INSTALL ALL PERIMETER COMPOST FILTER SOCKS, TREE PROTECTION FENCING, INLET PROTECTION WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE

3. INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. THE CONCRETE WASHOUT MUST BE INSTALLED BEFORE ANY CONCRETE CAN BE POURED ON-SITE. CONTRACTOR MUST PERFORM BULK OF EARTHWORK TO BALANCE CUTS AND FILLS TO THE GREATEST EXTENT POSSIBLE. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS AND SEEDING SPECIFICATIONS IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS.

6. INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPE AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE. THEY MUST BE STABILIZED. ALL LANDSCAPE AREAS MUST BE STABILIZED AND PERMANENT SEEDING OR PLACEMENT OF SOD MUST BE APPLIED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED IN THE GENERAL CONSERVATION

9. UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS), REMOVE EROSION AND SEDIMENT CONTROL FACILITIES INCLUDING PERIMETER COMPOST FILTER SOCKS, TREE PROTECTION FENCING, INLET PROTECTION. ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE

10. CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING

TESTING WAS PERFORMED BY WHITESTONE ASSOCIATES ON 03/16/2023. PER COORDINATION WITH WHITESTONE, THE HIGHLY VARIABLE INFILTRATION RATES ARE NOT AN ACCURATE REFLECTION OF THE INFILTRATION ON SITE. THE AREA ABOVE THE SHALLOW ROCK IS MOSTLY BACKFILL WHICH HAS A LOT OF VOID SPACE, SO THE

1.00

329.50

0.0

328.50

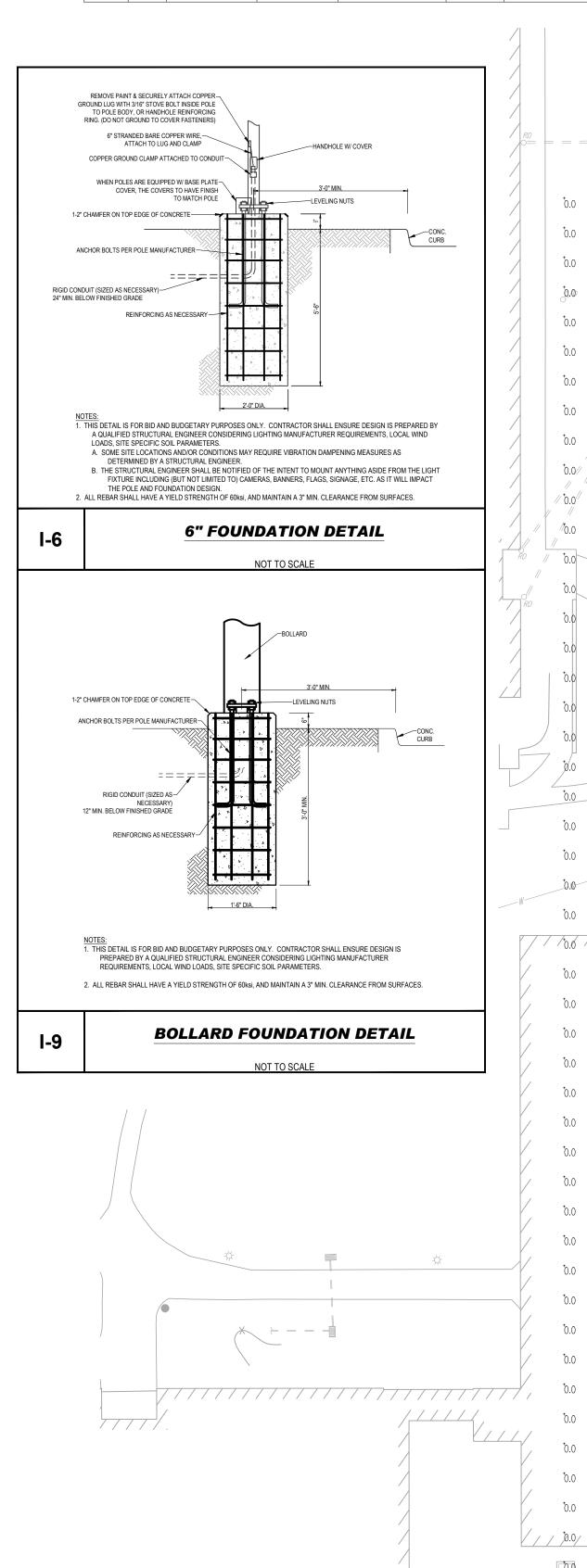
C-602

SHEET NUMBER

0.0

LUMINAIRE SCHEDULE

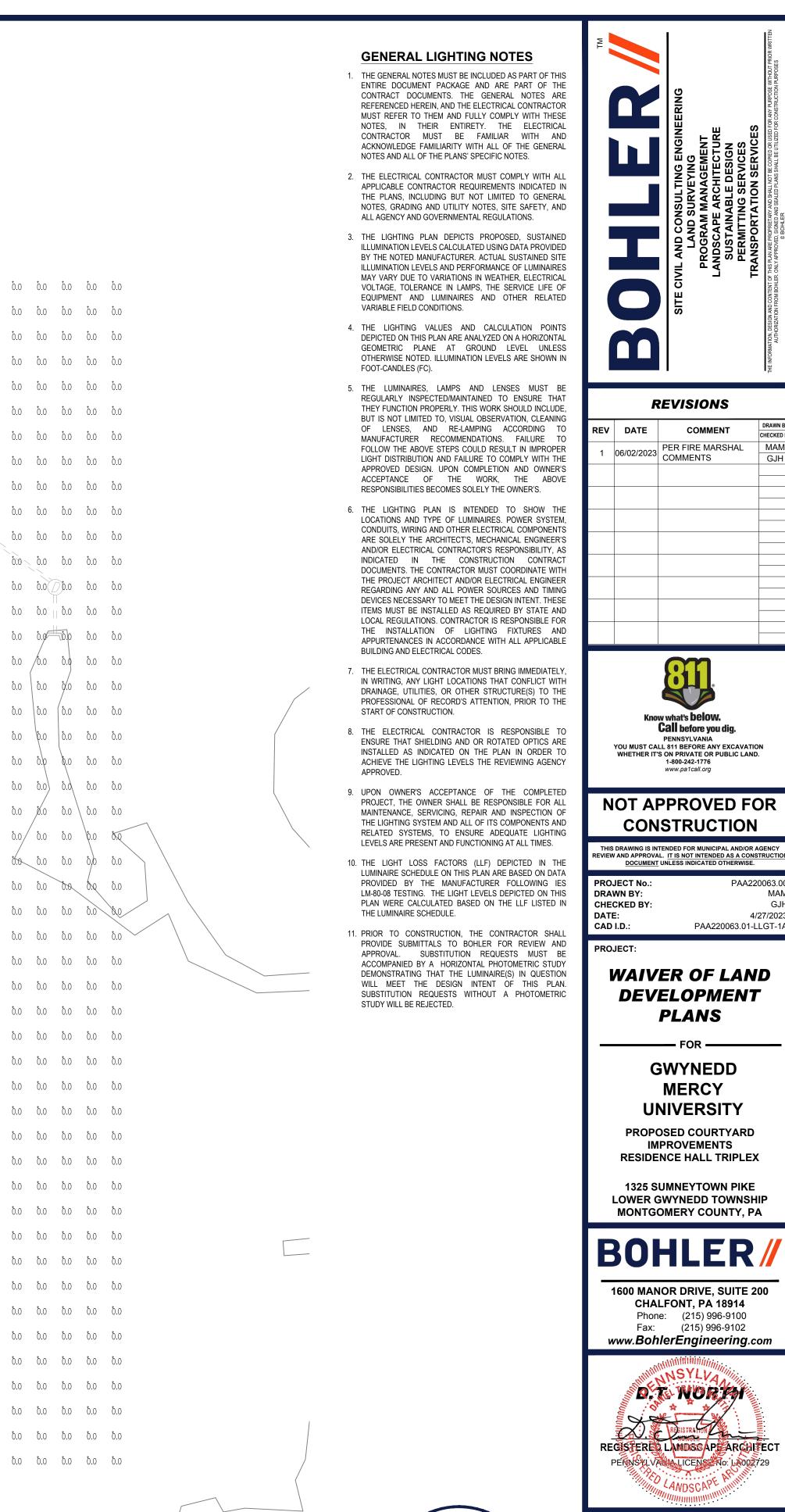
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION
L1	21	14'-0" AFG	SINGLE	7851	0.900	LOUIS POULSEN NYHAVN PARK POST, ZERO UP-LIGHT (LED 3000K-7851-120-277V/60HZ)
L2	25	3'-9" AFG	SINGLE	412	0.900	LOUIS POULSEN BYSTED BOLLARD, COOPER (LP-BYSTED)
L3	9	2'-6" AFF	SINGLE	266	0.900	KUZCO CASA WALL LIGHT, GRAY (EW71305-GY)
ex	3		SINGLE		0.900	EXISTING LUMINAIRE MODELED FOR ILLUSTRATIVE PURPOSES



 to.0
 <thto.0</th>
 to.0
 to.0
 <tht
 to.0
 <thto.0</th>
 to.0
 to.0
 <tht ō.0 ō.0 ō.0 ō.0 ō.0 ō.0 ō.0 ō.0 ō.1 ō.1 ō.2 ō.4 i.0 ʒ.0 š.7 5. 0.0/ 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.5 1.2 3.6 11.4 8.9 / 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 <u>w</u>0.1 0.1 <u>0.2 0.5</u> 1.2 2.7 5.1 4.7
 to.0
 <thto.0</th>
 to.0
 to.0
 <tht 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.5 1.1 2.7 5.2 4.9
 to.0
 <thto.0</th>
 to.0
 to.0
 <tht
 b.0
 b.0
 b.0
 b.0
 b.0
 b.0
 b.1
 b.1
 b.2
 b.4
 b.1
 b.4
 b.4
 b.4
 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.4 0.8 2.0 4.3/ 3.90.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.3 0.6 1.1 1.6 1.6
 0.0
 0.0
 0.0
 0.0
 0.0
 0.1
 0.2
 0.3
 0.6
 1.2
 1.8
 1.8
 to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.1 to.1 to.2 to.4 to.1 to.3 to 13.0 to 10
 0.0
 0.0
 0.0
 0.0
 0.0
 0.1
 0.1
 0.2
 0.4
 1.0
 2.6
 5.8
 5.2
 <u>70.6 0.6 0.6 0.0 0.0 0.6 0.6 0.0 0.1 0.1 0.1 0.2 0.3 0.7 1.5 2.4 2.2</u>
 to.0
 <thto.0</th>
 to.0
 to.0
 <tht
 b.0
 b.0
 b.0
 b.0
 b.0
 b.1
 b.1
 b.2
 b.3
 b.8
 1.7
 3.1
 2.7

 to.0
 <thto.0</th>
 to.0
 to.0
 <tht ō.o ō.o ō.o ō.o ō.o ō.o ō.o ō.o ō.o ō.1 ō.1 ∫d.2 ō.4 <u>↓.o , ʒ.4 12.8</u> う.3
 to.0
 <thto.0</th>
 to.0
 to.0
 <tht ¯ ō.0 ¯ ō.1 ¯ ō.1 _ ♂.3 ¯ ō.8 ¯ 2 6 (‡0;1) ¯ 10;7 / ½;6 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 /0,2 0.4 0.9 1.7 1.7 1.0 Ď.0 Ď.0 Ď.0 Ď.0 Ď.0 Ď.0 Ď.0 Ď.0 Ď.1 Ď,1 Ď.2 ♣14 Ď.5 Ď.5 Ď.4 0.0 | 0.0 | 0.0 | 0.0 = 0.0

	CALCULATION LABEL ALL POINTS	CALCTYPE		WG MAX 1.77 31.1	MIN 0.0	AVG/MIN N.A.	MAX/ N.A.	MIN						
							÷.							
0 [°] 0.0 [°] 0.0 [°] 0.0 [°] 0.0 [°] 0.0	ō.o ō.o ō.o ō.o ō.	0 ō.0 ō.0 ō.0	ō.0 ō.0 ō.0	ō.o ō.o ō.o	[†] 0.0 [†] 0.0	ō.o ō.o ō.	0 0.0	ō.0 ō.0	ō.o ō.o	ō.o ō.	0 Ō.O Ō.() [†] 0.0	[†] 0.0 [†] 0.	.0 0.0
0 0.0 0.0 0.0 0.0 0.0 0 0.0 0.0 0.0 0.0	to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	o ō.o ō.o ō.o oō.o <u>ō</u> .o _ <u>ō.o</u>		0.0 0.0 0.0 0.0 0.0 0.0		0.0 0.0 0. 0.0 0.0 0.		0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0	0.0 0. 0.0 0.	0 ō.0 ō.(0 ō.0 ō.(0.0 0.0	b.o b. b.o b.	0 0.0 .0 0.0
5 6.0 6.0 6.0 6.0 6.0 4 1 fp.1 fo.1	2 ⁷ 0.0	0.0 0.0 0.0 0.0 0.0	^{5.0} ^{5.0} ^{5.0}	ō.o ō.o ō.o	0.0 -0.0	€.0 <u>_</u> 0.0 <u>_</u> 0.0 <u></u> €.0 <u></u> 0.0 <u></u>	0☆	0.0 0.0 ₩ 0.0 ±0.6	0.0 0.0 ₫.0 ₫.0	to.o to. to.o to.	0 ō.0 ō.0 0 ō.0 ō.0	0.0 0.0	to.o to. to.o to.	0 ō.0 .0 ō.0
2 0.2 0.1 0 1.4 0.2						t.o t. t.o t.	+	ō.0 ō.0 ō.0 ō.0	b.0 b.0 b.0 b.0	0.0 0. 0.0 0.	+ +	+	told told told told told told	0 ⁵ .0 .0 ^{5.0}
5 2.3 5.9 <u>13.8</u> 1 3.0 3.4 3.4					1	0.0 t.	0 ō.0 0 ō.0	ō.o ō.o ō.o ō.o	ō.o ō.o ō.o ō.o	ъ.о ъ. ъ.о ъ.	0 0.0 0.0	, 	ō.о ō. ō.о ō.	.0 ō.0 .0 ō.0
9 3.2 2.0 1.1 L2 L3 7 2.9 5 13.9 0.9 0.5	<u>/////////////////////////////////////</u>	//////////////////////////////////////	<u>/////</u>	<u>//////</u>	ō.o	ō.o ō.o ō.	> 0 0.0 +	to to	t.o t.o	to.0 to.	0 0.0 0.0) Ō.O	b.0 b.	0.0 0.0
1 3.7 4.2 3.9 L2	-3 0.3 0.3 0.3 0. 31. 0.6 0.7 L3.7 0. L2 L2 L		0.1 0.1 0.1 	0.1 0.0 0.0 0.2 0.1 0.1 L2 L2	0.0	0.0 0.0 0.	0.0 0.0	0.0 0.0 ō.0 ō.0	0.0 0.0 ō.0 ō.0	0.0 0. ō.0 ō.	0 0.0 0.0 0 0.0 0.0) 0.0) 0.0	0.0 0.	.0 0.0 .0 0.0
3 4.7 9,5 3 11.6 3.6 1.3 9 3.9 6.9 6.9 1.2	0.9 20 20 20 20 5.6 5. 1.1 2.1 4.5 7.3 4.	<u>6 2.1 <u>●</u> 2.8 2.<u>●</u> 8 3.1 3.4 3.0 ⁻</u>	1.1 2 0.6 1.6 0.8 0.4	<u>●.2</u> <u>1.5</u> <u>●.2.1</u> 0.8 <u>3.1</u> 6.7	ex	0.0 D.		0.0 0.0 0.0 0.0	b.0 b.0 b.0 b.0	0.0 0. 0.0 0.	0 0.0 0.0 0 0.0 0.0) Ö.O) Ō.O	0.0 0. 0.0 0.	0 0.0 .0 0.0
5 3.2 2.6 2.4 1.5 0.0 3.0 1.5 1 0.9 0.9	τ.6 4.3 12.4 1 12.4 8.	L1 🎗 🌔			/								δ. δ.	÷
9 1.9 1.1 0.9 1.0 1.1 6 1.2 1.1 1.4 2.0 1.8	1.6 4.1 12.2 10.1 8. 1.6 2.3 4.0 4.7 5.	2 10.5 10.4 4.7 9 7.8 5.2 2.5	i.3 d.3									′ /	δ. δ.	
8 ^{1.4} ^{1.5} L2 ^{3.4} ⁷ L1 ^{4.7} 8 ^{2.} L2 ² ⁄ ₄ ^{5.4} ^{16.0} ⁵ ⁄ ₄	1.19.11.19.11.19.11.12.10.11.13.61 8. 2.11.11.11.11.12.10.11.13.61 5. 2.11.11.11.11.12.13.22 10.11.13.21 10.11.13.21 10.11.13.21 10.11.13.21 10.11.13.21 10.11.13.21 10.11.13.21 10.11	5 8.4 3.5 1.7 P 1.6 L 1, J.2 3.1 2	₹.2 0.6 L 2 0.9 0.3		,	·	/ / / /			/ / / /	/ / / / /		ō.0 ō. ō.0 ō.	0 ō.0 .0 ō.0
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.4 018 0.9 1.7 3. -0.7 0.5 0.5 0.5 0.8 1.	L2/◎ 4 3.3 1.8 2.6	/ , ,		,	t.o t.		ō.o ō.o ō.o ō.o	b.o b.o b.o b.o b.o b.o	ъ.о ъ. ъ.о ъ.	ο δ.ο δ.α) Ō.O	б.о б. б.о б.	.0 Ō.0
$ \begin{array}{c c} & \mathbf{L2}^{2} & 1.4 & 0.7 \\ 3 & 4.5 & 1.5 & 0.5 \\ 1.5 & 0.5 & 0.5 \end{array} $	0.4 0.3 0.3 0.4 0.	5 10.6 1.0 1.5	, ,			t.o C	RCHITE	LIGHTIN CTURAL		ъ.о ъ. ъ.о ъ.	 0	+	ъ.о ъ. ъ.о ъ.	
5 ¹ .1 11 0.8 0.4 0.2 0.2	0.2 0.2 0.2 0.3 0. 0.1 0.2 0.2 0.3 0.	5 1.4 1.5 1.6	, 			E F	7 7		ō.o ō.o	0.0 0.			δ.0 δ.	.0 Ō.0
$\begin{array}{cccccccccccccccccccccccccccccccccccc$		· · · ·		15.6 17.6 17.3 15.9 14.3 11.3 12 L2			ō.o				0.0 0.0 0.0 0 Ō.0 Ō.(
1 2.1 0.7 4 2.1 0.7		L3 (6 TYP) <	/ H	$L^{2}_{3.6} \xrightarrow{3.2} L^{2}_{3.6} L^{2}_{2.3} \xrightarrow{3.2} L^{2}_{3.1}$							0 0.0 0.0 0.0 0.0 			
7 1.4 0.6 0.3 ////	0.2 0.2 0.2 0.2 0.	2 0.2 0.2 0.3	b.3 L2- L2- ΓL2 δ.3 b.4 b.9	 3.0 4.8 4.8 4.8 4.8 4.8 4.8 4.8 4.8 4.8 5.8 5.5 12.8 							0 <mark> </mark> 0.0 0.0			
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$			\ L	_2	Υ.						o ゆ.o す.(o p.o す.(
9 1.7 1.0 1.5 4.0 L1 6.6 7 1.1 0.9 1.0 6.4	LI	= -		w l			<u>ð.</u> 0	b.o <u>b</u> .o			o 0,0 5.0			
RE LÂNG 0.7 1.2 3.0 4.6		8 1.8 1.6 3.1	4.8 27 1.4	1.9 5.0 10.6	5.0 1.2			·						
2 0.8 0.4 0.3 0.4 0.4 0 0.5 0.2 0.2 b.2 0.2	<u>0.4</u> 0.4 <u>0.4</u> 0.4 0.	4 0.4 0.4 0.4	<u>ð.5</u> <u>ð.5</u> <u>ð.5</u>	1.0 2.1 3.1	ž.0 [†] .8	ð.3 ð.1 ð.	0 Ō.O	ð.0 ð.0	o <i>c/0</i> ð.0 ð.0	ð.0 ð.	0 0.0 0.0) Ō.O	ð.o ð.	.0 Ō.0
4 0.2 0.1 0.1 <u>0.1 0.1</u>	<u> </u>	<u>1 0.1 0.1 0.1</u>	Ď.1 Ď.1 Ď.2	ō.2 ō.3 ō.3	ð.3 ð.2	ð.1 ð.1 ð.	0 Ō.0	ð.0 ð.0	ð.0 ð.0	ð.o ð.	0 0.0 0.0) ð.0	ð.o ð.	.0 Ō.0
2 0 0 0.1 0.1 0.1 0.1 1 0.1 0.1 0.0 0.0 0.0	. <u></u>	0.0 0.0 0.0 0.0	t.0 t.0 t.1	0.1 0.1 O.1	δ.1 δ.0	φ. <u>ο</u> φ.ο φ.	0. <u>0</u>	<u>ð.o ð.o</u>	<u>ð.o</u> ð.o	ð.o ð.	0 (<u>ð.0 </u> <u>ð.(</u>) ð.0	ð.o ð.	.0 ð.0
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$						b.o b.o <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>								
	b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0	b.0 b.0 b.0 b.0 b.0 b.0	b.0 b.0 b.0 b.0 b.0 b.0	b.0 b.0 b.0 b.0 b.0 b.0		b.o b.o b.o b.o b.o b.o		δ.0 δ.0 δ.0 δ.0	b.0 b.0 b.0 b.0		0.0 <u> </u> 0.0 <u>0</u> 0 0.0 <u> </u> 0.0 <u>∞</u> 0		ბ.ი ბ. ბ.ი ბ.	
	b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0		b.0 b.0 b.0 b.0 b.0	b.o b.o b.o b.o b.o b.o		b.o b.o <td></td> <td></td> <td></td> <td></td> <td>0 <u>0 0.0 0.0</u> 0 <u>0.0 0.0</u></td> <td></td> <td>ბ.ი ბ. ბ.ი ბ.</td> <td></td>					0 <u>0 0.0 0.0</u> 0 <u>0.0 0.0</u>		ბ.ი ბ. ბ.ი ბ.	
											+ 25 21	_		
											6	-		
)		
	<u> _ </u> ☆				*									
d d	4													



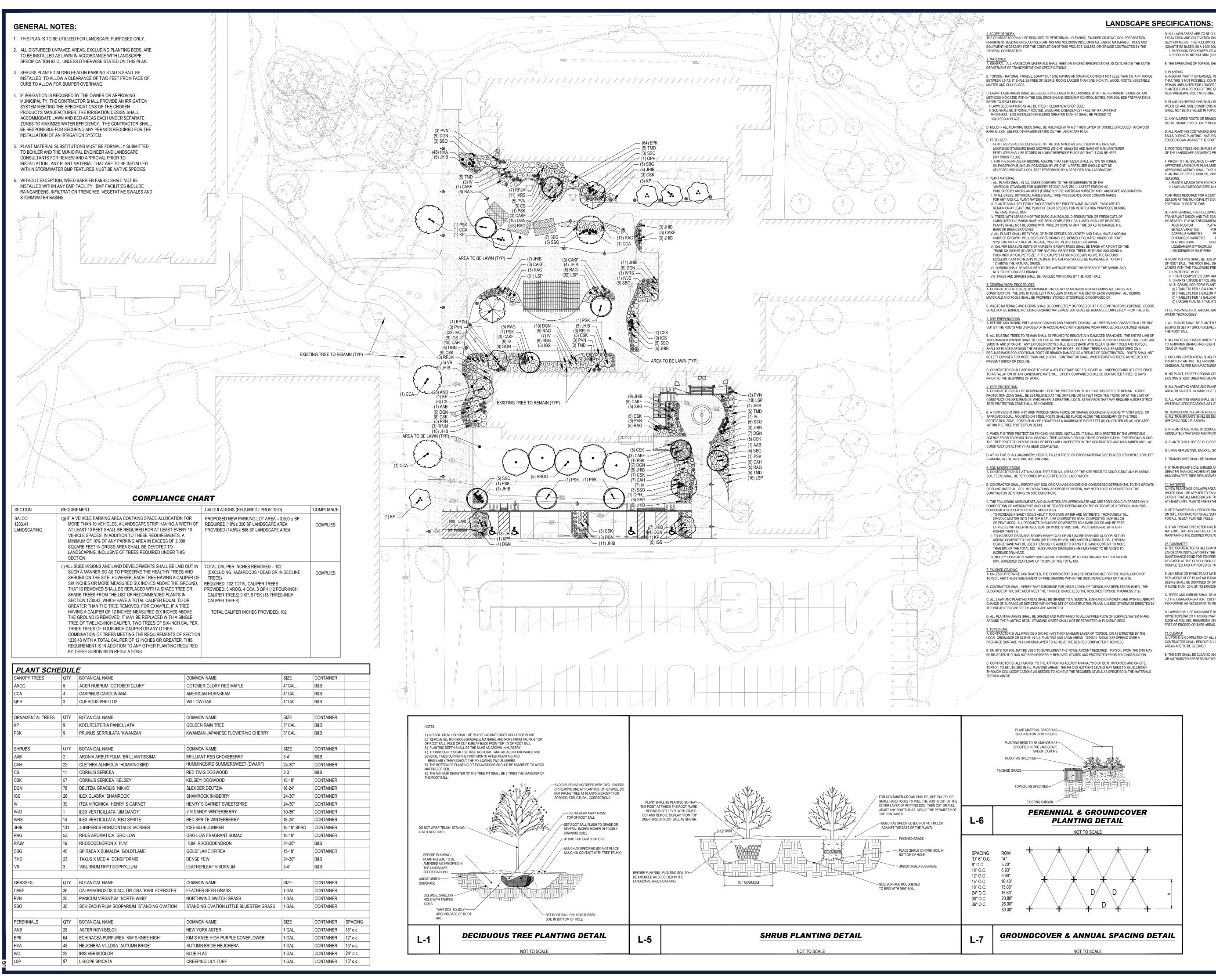
_____W_____W_____W____

SHEET TITLE:

1"= 30'



REVISION 1 - 06/02/2023





D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE (WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]): 1. 20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER II. 20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

A. INSOFAR THAT IT IS FEASIBLE. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVEN THAT THIS IS NOT POSSIBLE, CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NO REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN

WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING

CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

F. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVA OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED. F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON TH APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. T

APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. TH PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING I. PLANTS: MARCH 15TH TO DECEMBER 15TH II. LAWN AND MEADOW SEED MIXES: MARCH 1ST TO MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 15TH

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIAT SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREAT INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA BETULA VARIETIES POPULUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES

CRATAEGUS VARIETIES KOELREUTERIA QUERCUS VARIETIES LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOS LIRIODENDRON TULIPIFERA ZELKOVA VARIETIE

H. PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

1 PART PEAT MOSS II. 1 PART COMPOSTED COW MANURE BY VOLUME III. 3 PARTS TOPSOIL BY VOLUME IV. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: A) 2 TABLETS PER 1 GALLON PLANT

B) 3 TABLETS PER 5 GALLON PLANT C) 4 TABLETS PER 15 GALLON PLANT

) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHL

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST

L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS. N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED

AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB. O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE ATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED) A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE SPECIFICATION 2.F. ABOVE) B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL

ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10TH AND JUNE 30TH.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTIN

WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE

N SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMEND FOR ALL NEWLY PLANTED TREES. C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT

MATERIAL BUT ANY FAILURE OF THE SYSTEM DOES NOT FUMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

A. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A AINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. A PLANT SHALL BE CONSIDERED "DEAD OR DYI F MORE THAN 30% OF ITS BRANCHES ARE DEAD.

TO THE OWNER/OPERATOR. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE D. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING, FERTILIZING, WEEDING, MOVING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.



REVISIONS

REV	DATE	COMMENT	DRAWN BY CHECKED BY
1	06/02/2023	PER FIRE MARSHAL	MAM
	00/02/2023	COMMENTS	GJH



PENNSYLVANIA YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-242-1776 www.pa1call.org

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	PAA220063.00
DRAWN BY:	MAM
CHECKED BY:	GJH
DATE:	4/27/2023
CAD I.D.:	PAA220063.01-LLGT-1A
PROJECT:	

WAIVER OF LAND DEVELOPMENT PLANS

— FOR —

GWYNEDD MERCY UNIVERSITY

PROPOSED COURTYARD IMPROVEMENTS **RESIDENCE HALL TRIPLEX**

1325 SUMNEYTOWN PIKE LOWER GWYNEDD TOWNSHIP MONTGOMERY COUNTY, PA

BOHL

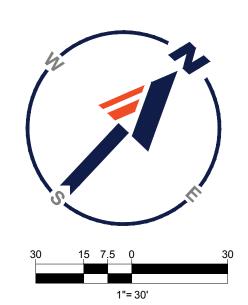
1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100 Fax: (215) 996-9102 www.BohlerEngineering.com



SHEET TITLE:



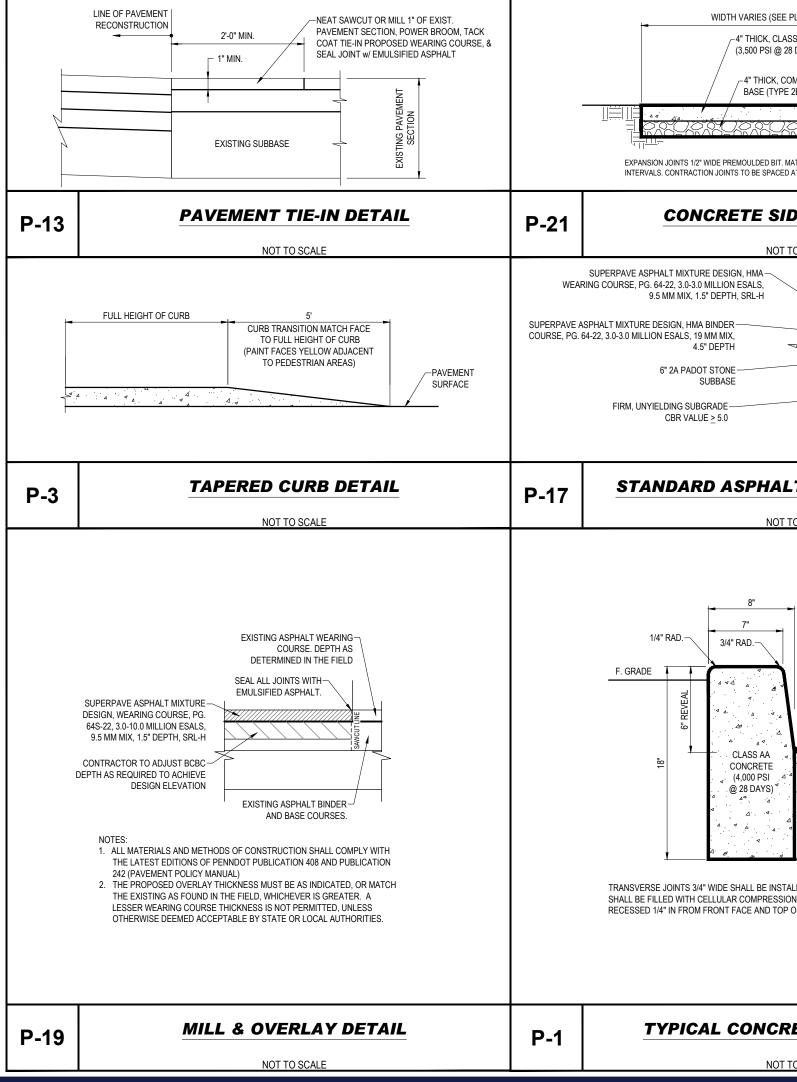
REVISION 1 - 06/02/2023



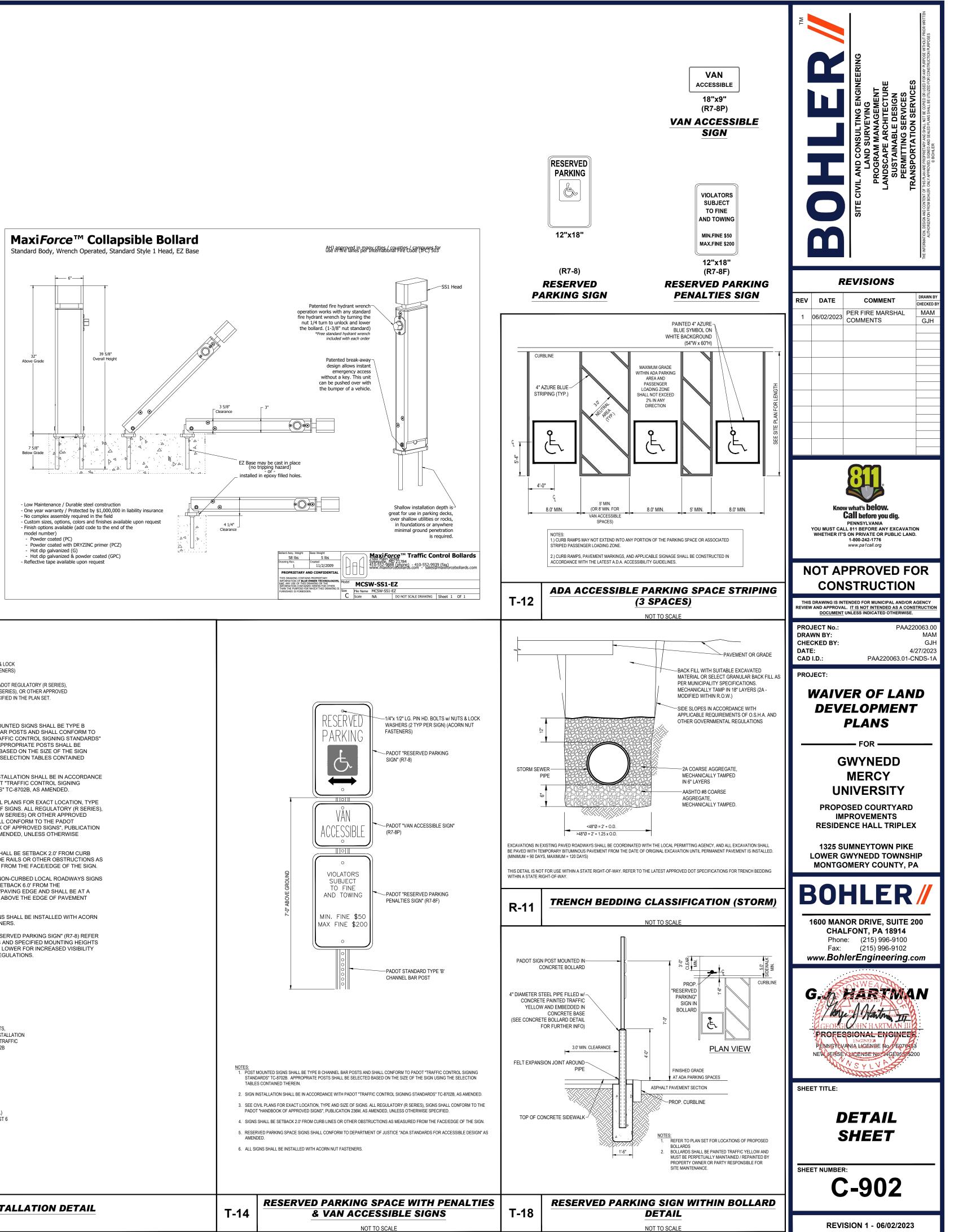
C TREES AND SHRURS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER

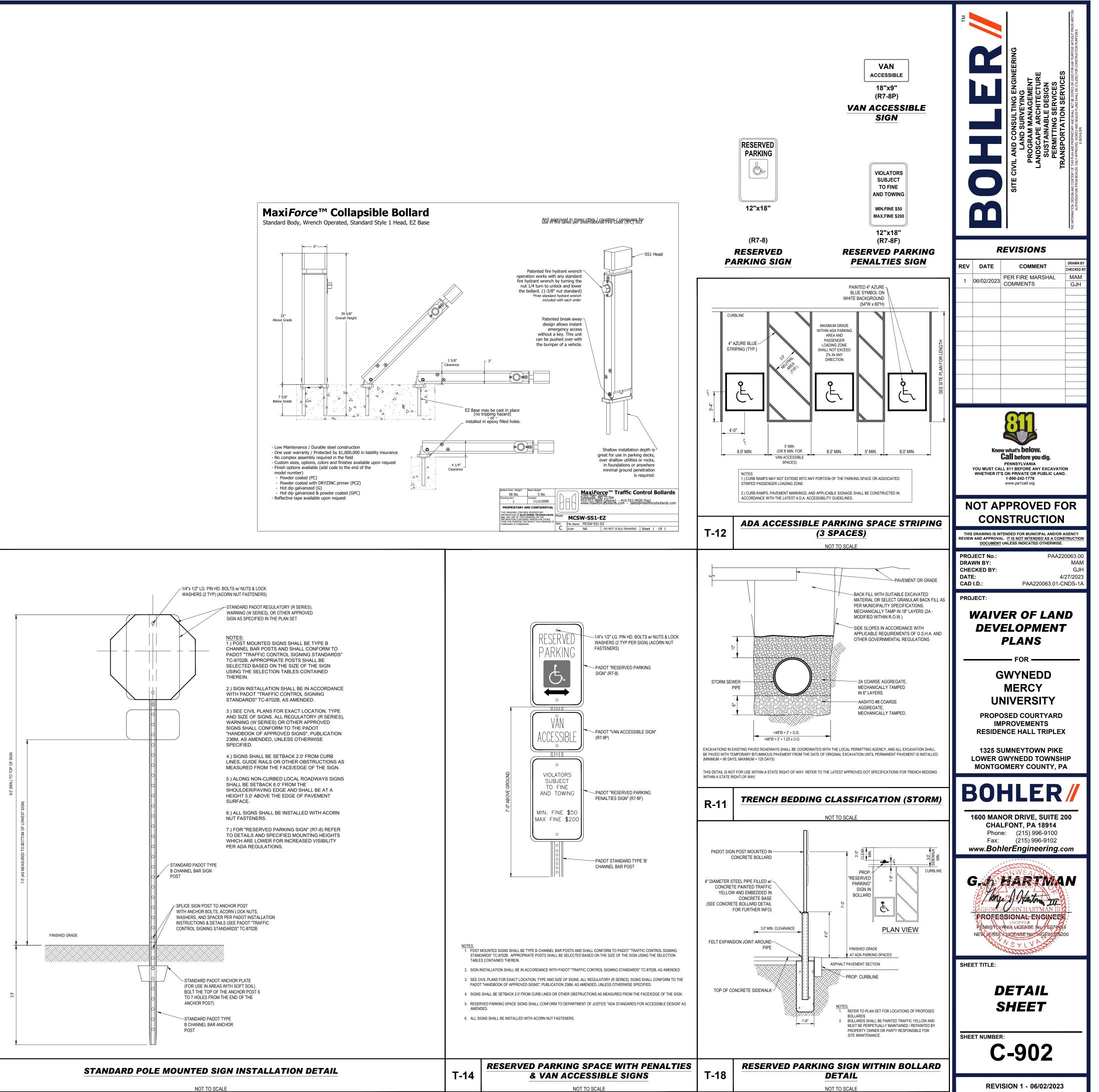
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER

AT LEAST UNTIL PLANTS ARE ESTABLISHED.

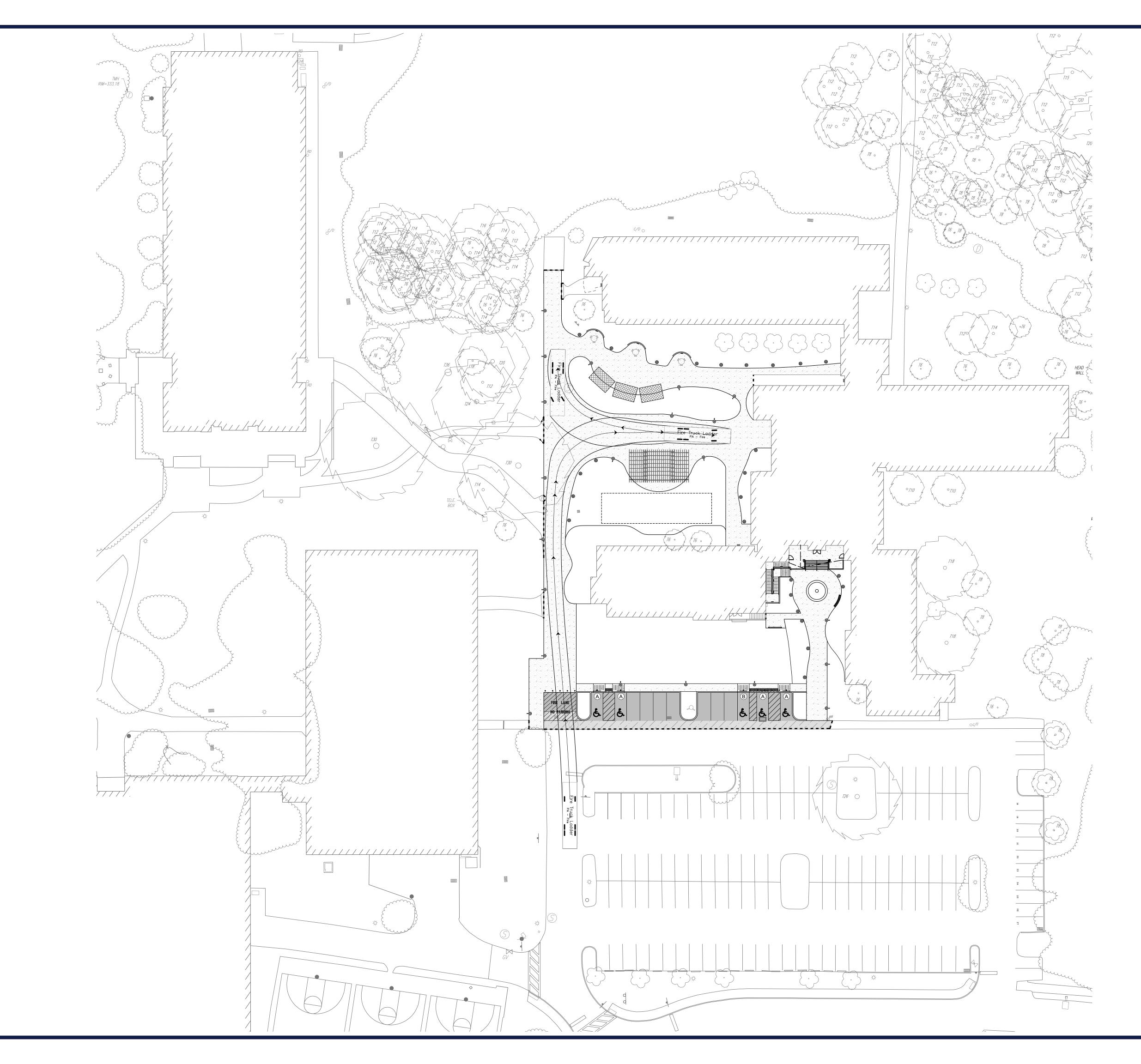


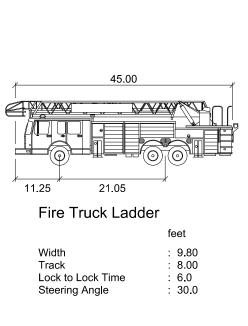
SIDEWALK DETAIL INTERDETAIL I	S (SEE PLAN) K. CLASS MAY CONCRETE SI @ 28 DAYS) ICK, COMPACTED STONE			<text></text>
NOT TO SCALE NOT TO SCALE NO	SPACED AT EQUAL INTERVALS, 5' MAXIMUM LENGTH.	1. BOLLARC HYDRAN' RISER, SI LOCATIO & EXTERI 2. BOLLARC AND MUS REPAINTI	CONCRETE BASE BITUMINOUS JOINT AROUND PIPE TOP OF SLAB OR ASPHALT TOP OF SLAB OR ASPHALT S REQU AT BLDG. CORNERS. FIRE TS, WATER METER, GAS METER, SPRINKLER HOWN TRANSFORMER & ALL UTILITIES AT NS SHOWN ON THESE DRAWINGS INTERIOR OR. S SHALL BE PAINTED TRAFFIC YELLOW T BE PERPETUALLY MAINTAINED / ED BY PROPERTY OWNER OR PARTY SBILE FOR SITE MAINTENANCE.	FOR GWYNEDD MERCY UNIVERSITY PROPOSED COURTYARD IMPROVEMENTS RESIDENCE HALL TRIPLEX 1325 SUMNEYTOWN PIKE LOWER GWYNEDD TOWNSHIP
Image: Second		T-20		1600 MANOR DRIVE, SUITE 200
ICRETE CURB DETAIL T-16 T-16 TRUNCATED DOME PATTERN FOR ADA (FOR USE IN DOT ROADWAYS) C-901	AC-20 ASPHALT EMULSION AA TE SI SI SURFACE E INSTALLED IN THE CURB 20' APART AND RESSION MATERIAL AS SPECIFIED		JUL J	Fax: (215) 996-9102 Provide the providet the pr
	ICRETE CURB DETAIL	T-16	DETECTABLE WARNING SURFACES	

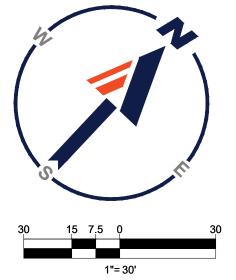




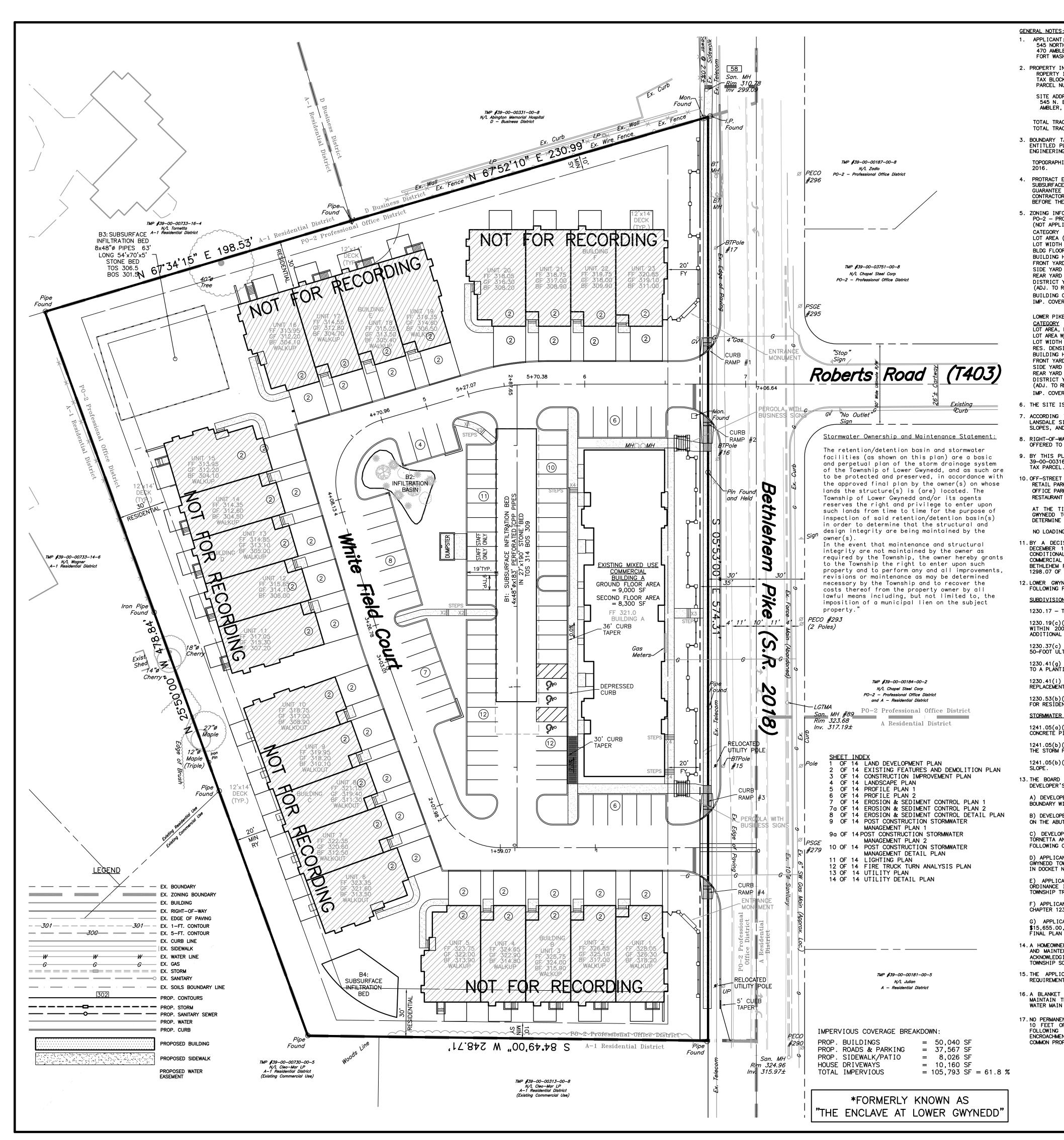








ΜL		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHON AUTHORIZATION FROM BOHLER. ONLY APPROVED SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER. © BOHLER.
	F	REVISIONS	
REV	DATE 06/02/2023	COMMENT PER FIRE MARSHAL COMMENTS	DRAWN BY CHECKED BY MAM GJH
	YOU MUST CA	ww.pa1call.org	
N		PPROVED FC)R
THIS		ISTRUCTION	GENCY
		AL. IT IS NOT INTENDED AS A CONST UNLESS INDICATED OTHERWISE.	0063.00
DRA CHE DATI CAD	WN BY: CKED BY: E: I.D.:		MAM GJH 27/2023
PROJECT: WAIVER OF LAND DEVELOPMENT PLANS			
	_	SWYNEDD	
		MERCY NIVERSITY OSED COURTYARD IPROVEMENTS ENCE HALL TRIPLEX	
	U PROP IM RESIDE 1325 S LOWER (NIVERSITY OSED COURTYARD IPROVEMENTS	IP
E	UI PROPO IM RESIDE 1325 S LOWER (MONTG BOO BOO 1600 MAN CHA Phor Fax:	NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE GWYNEDD TOWNSHI	
E	UI PROPO IM RESIDE 1325 S LOWER (MONTG BOI 600 MAN CHA Phor Fax: WW.BOR CHA	NIVERSITY OSED COURTYARD IPROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE GWYNEDD TOWNSHI OMERY COUNTY, PA HLER NOR DRIVE, SUITE 20 LFONT, PA 18914 Ne: (215) 996-9100 (215) 996-9102	IP 00 00
SHEI		NIVERSITY DSED COURTYARD PROVEMENTS INCE HALL TRIPLEX UMNEYTOWN PIKE WYNEDD TOWNSHI OMERY COUNTY, PA HLER OR DRIVE, SUITE 20 (215) 996-9100 (215) 996-9102 DEFENSION (215) 996-910 DEFENSION (215) 996-910 DEFENSION (215) 996-910 DEFENSION (215) 996-910 DEFENSION (215) 996-910 DEFENSION (215) 996-910 DEFENSION (215) 996-91	

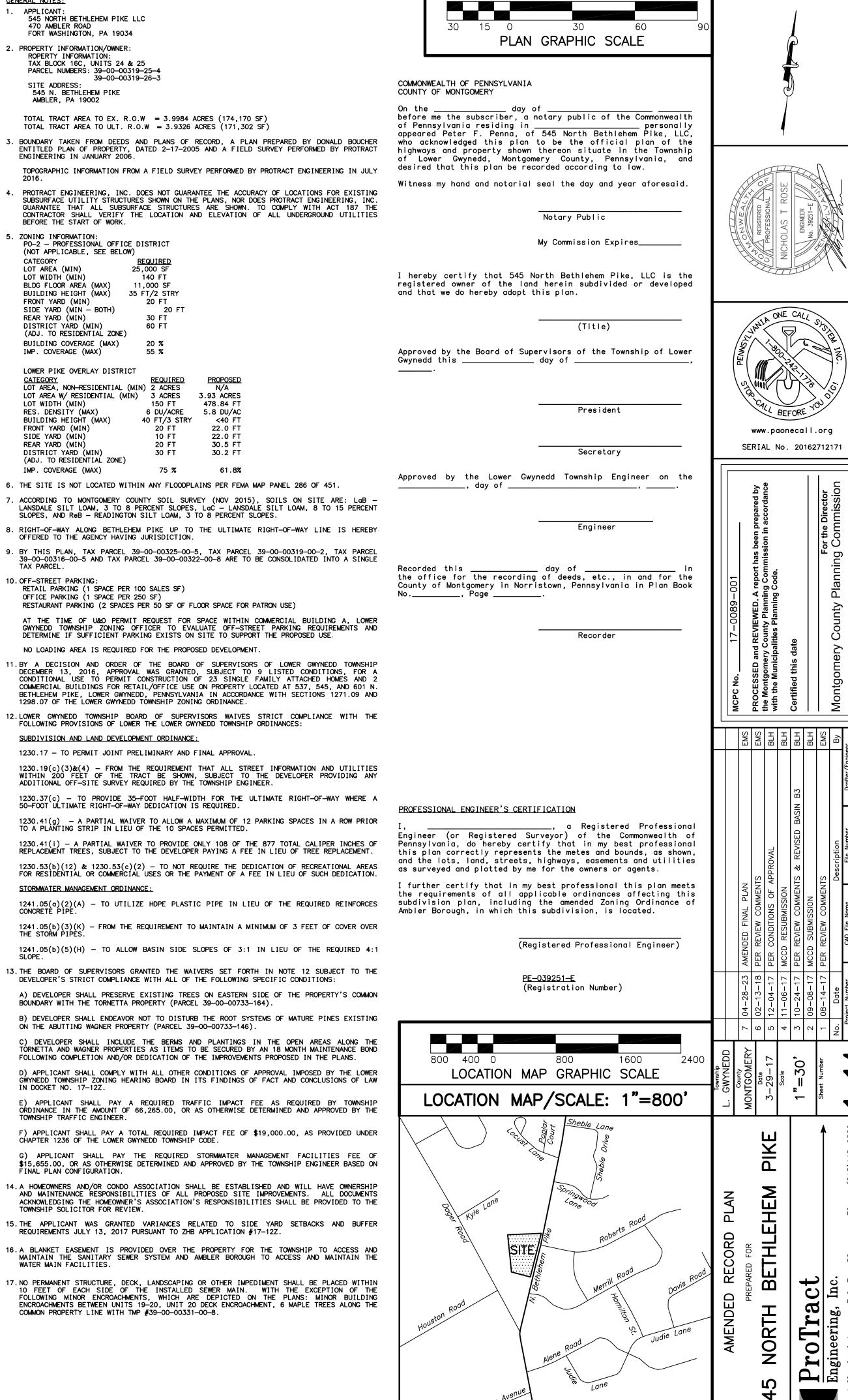


¢	GENERAL NOTES:
	1. APPLICANT: 545 NORTH BETHLEHEM PIKE LLC 470 AMBLER ROAD FORT WASHINGTON, PA 19034
2	2. PROPERTY INFORMATION/OWNER: ROPERTY INFORMATION: TAX BLOCK 16C, UNITS 24 & 25 DAPOEL MUNTERCE, 70 00 00710 05 4
	PARCEL NUMBERS: 39-00-00319-25-4 39-00-00319-26-3 SITE ADDRESS: 545 N. BETHLEHEM PIKE AMBLER, PA 19002
	TOTAL TRACT AREA TO EX. R.O.W = 3.9984 ACRES (174, TOTAL TRACT AREA TO ULT. R.O.W = 3.9326 ACRES (171
	3. BOUNDARY TAKEN FROM DEEDS AND PLANS OF RECORD, A ENTITLED PLAN OF PROPERTY, DATED 2–17–2005 AND A F ENGINEERING IN JANUARY 2006.
	TOPOGRAPHIC INFORMATION FROM A FIELD SURVEY PERFORME 2016.
4	4. PROTRACT ENGINEERING, INC. DOES NOT GUARANTEE THE A SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, N GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHO CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATI BEFORE THE START OF WORK.
ţ	5. ZONING INFORMATION: PO-2 - PROFESSIONAL OFFICE DISTRICT (NOT APPLICABLE, SEE BELOW)
	CATEGORY <u>REQUIRED</u> LOT AREA (MIN) 25,000 SF
	LOT WIDTH (MIN) 140 FT BLDG FLOOR AREA (MAX) 11,000 SF BUILDING HEIGHT (MAX) 35 FT/2 STRY
	FRONT YARD (MIN) 20 FT SIDE YARD (MIN – BOTH) 20 FT
	REAR YARD (MIN) 30 FT DISTRICT YARD (MIN) 60 FT
	(ADJ. TO RESIDENTIAL ZONE) BUILDING COVERAGE (MAX) 20 % IMP. COVERAGE (MAX) 55 %
	LOWER PIKE OVERLAY DISTRICT CATEGORY REQUIRED PROPOSE
	CALEGORYREQUIREDPROPOSELOT AREA, NON-RESIDENTIAL (MIN)2 ACRESN/ALOT AREA W/ RESIDENTIAL (MIN)3 ACRES3.93 ACRELOT WIDTH (MIN)150 FT478.84 FRES. DENSITY (MAX)6 DU/ACRE5.8 DU/ABUILDING HEIGHT (MAX)40 FT/3 STRY<40 F
	LOT WIDTH (MIN) 150 FT 478.84 F RES. DENSITY (MAX) 6 DU/ACRE 5.8 DU/A
	BUILDING HEIGHT (MAX) 40 FT/3 STRY <40 F FRONT YARD (MIN) 20 FT 22.0 F
	SIDE YARD (MIN) 10 FT 22.0 F REAR YARD (MIN) 20 FT 30.5 F
	(·····
	IMP. COVERAGE (MAX) 75 % 61.8
	6. THE SITE IS NOT LOCATED WITHIN ANY FLOODPLAINS PER FI 7. ACCORDING TO MONTGOMERY COUNTY SOIL SURVEY (NOV 2
	LANSDALE SILT LOAM, 3 TO 8 PERCENT SLOPES, LaC – LA SLOPES, AND ReB – READINGTON SILT LOAM, 3 TO 8 PERCE B. RIGHT-OF-WAY ALONG BETHLEHEM PIKE UP TO THE ULTIN
Ċ	OFFERED TO THE AGENCY HAVING JURISDICTION.
ę	9. BY THIS PLAN, TAX PARCEL 39-00-00325-00-5, TAX PAF 39-00-00316-00-5 AND TAX PARCEL 39-00-00322-00-8 ARE TAX PARCEL.
1	10.OFF-STREET PARKING: RETAIL PARKING (1 SPACE PER 100 SALES SF) OFFICE PARKING (1 SPACE PER 250 SF) RESTAURANT PARKING (2 SPACES PER 50 SF OF FLOOR SPACE)
	AT THE TIME OF U&O PERMIT REQUEST FOR SPACE WIT GWYNEDD TOWNSHIP ZONING OFFICER TO EVALUATE OFF- DETERMINE IF SUFFICIENT PARKING EXISTS ON SITE TO SU NO LOADING AREA IS REQUIRED FOR THE PROPOSED DEVELO
1	
	11. BY A DECISION AND ORDER OF THE BOARD OF SUPERV DECEMBER 13, 2016, APPROVAL WAS GRANTED, SUBJECT CONDITIONAL USE TO PERMIT CONSTRUCTION OF 23 SIM COMMERCIAL BUILDINGS FOR RETAIL/OFFICE USE ON PROPER BETHLEHEM PIKE, LOWER GWYNEDD, PENNSYLVANIA IN ACCO 1298.07 OF THE LOWER GWYNEDD TOWNSHIP ZONING ORDINANCE
1	12. LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS WAI FOLLOWING PROVISIONS OF LOWER THE LOWER GWYNEDD TOWN:
	<u>SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:</u> 1230.17 — TO PERMIT JOINT PRELIMINARY AND FINAL APPRO
	1230.19(c)(3)&(4) - FROM THE REQUIREMENT THAT ALL WITHIN 200 FEET OF THE TRACT BE SHOWN, SUBJECT ADDITIONAL OFF-SITE SURVEY REQUIRED BY THE TOWNSHIP
	1230.37(c) - TO PROVIDE 35-FOOT HALF-WIDTH FOR TH 50-FOOT ULTIMATE RIGHT-OF-WAY DEDICATION IS REQUIRED 1230.41(g) - A PARTIAL WAIVER TO ALLOW A MAXIMUM OF
	TO A PLÀŇTING STRIP IN LIEU OF THE 10 SPACES PERMITT 1230.41(i) — A PARTIAL WAIVER TO PROVIDE ONLY 108 O REPLACEMENT TREES, SUBJECT TO THE DEVELOPER PAYING A
	1230.53(b)(12) & 1230.53(c)(2) - TO NOT REQUIRE THE FOR RESIDENTIAL OR COMMERCIAL USES OR THE PAYMENT OF
	<u>STORMWATER MANAGEMENT ORDINANCE:</u> 1241.05(a)(2)(A) - TO UTILIZE HDPE PLASTIC PIPE IN CONCRETE PIPE.
	CONCRETE PIPE. 1241.05(b)(3)(K) - FROM THE REQUIREMENT TO MAINTAIN THE STORM PIPES.
	1241.05(b)(5)(H) — TO ALLOW BASIN SIDE SLOPES OF SLOPE.
1	13. THE BOARD OF SUPERVISORS GRANTED THE WAIVERS SET DEVELOPER'S STRICT COMPLIANCE WITH ALL OF THE FOLLOW A) DEVELOPER SHALL PRESERVE EXISTING TREES ON EASTER
	BOUNDARY WITH THE TORNETTA PROPERTY (PARCEL 39-00-00 B) DEVELOPER SHALL ENDEAVOR NOT TO DISTURB THE ROOT ON THE ABUTTING WAGNER PROPERTY (PARCEL 39-00-00733-
	C) DEVELOPER SHALL INCLUDE THE BERMS AND PLANTIN TORNETTA AND WAGNER PROPERTIES AS ITEMS TO BE SECURE FOLLOWING COMPLETION AND/OR DEDICATION OF THE IMPROVI
	D) APPLICANT SHALL COMPLY WITH ALL OTHER CONDITIONS GWYNEDD TOWNSHIP ZONING HEARING BOARD IN ITS FINDING IN DOCKET NO. 17-12Z.
	E) APPLICANT SHALL PAY A REQUIRED TRAFFIC IMPAC
	ORDINANCE IN THE AMOUNT OF 66,265.00, OR AS OTHERWI TOWNSHIP TRAFFIC ENGINEER.
	ORDINANCE IN THE AMOUNT OF 66,265.00, OR AS OTHERWI TOWNSHIP TRAFFIC ENGINEER. F) APPLICANT SHALL PAY A TOTAL REQUIRED IMPACT FEE CHAPTER 1236 OF THE LOWER GWYNEDD TOWNSHIP CODE.

- FINAL PLAN CONFIGURATION. 14. A HOMEOWNERS AND/OR CONDO ASSOCIATION SHALL BE ESTABLISHED AND WILL HAVE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF ALL PROPOSED SITE IMPROVEMENTS. ALL DOCUMENTS
- 15. THE APPLICANT WAS GRANTED VARIANCES RELATED TO SIDE YARD SETBACKS AND BUFFER REQUIREMENTS JULY 13, 2017 PURSUANT TO ZHB APPLICATION #17-12Z.

TOWNSHIP SOLICITOR FOR REVIEW.

- 16. A BLANKET EASEMENT IS PROVIDED OVER THE PROPERTY FOR THE TOWNSHIP TO ACCESS AND MAINTAIN THE SANITARY SEWER SYSTEM AND AMBLER BOROUGH TO ACCESS AND MAINTAIN THE WATER MAIN FACILITIES.



٦

īŻ

-

-

(215) (215)

58

S